



State of Utah

JON M. HUNTSMAN, JR.
Governor

GARY R. HERBERT
Lieutenant Governor

Department of Administrative Services

KIMBERLY K. HOOD
Executive Director

Division of Facilities Construction and Management

F. KEITH STEPAN
Director

ADDENDUM #1

Date: May 17, 2007
To: Contractors
From: Tim Parkinson, Project Manager, DFCM
Reference: HVAC Upgrade – Ogden 2nd District Courts
Administrative Office of the Courts – Ogden, Utah
DFCM Project No. 06143150

Subject: **Addendum No. 1**

| | | | |
|-------|----------------------------|----------|--------------|
| Pages | Addendum | 1 | page |
| | <u>Architects Addendum</u> | <u>6</u> | <u>pages</u> |
| | Total | 7 | pages |

Note: This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to Disqualification.

- 1.1 **SCHEDULE CHANGES – There has been no changes to the Project Schedule.**
- 1.2 **GENERAL – Scott P. Evans Architects & Associates – Specifications and Drawings.**

End of Addendum #1



May 16, 2007

PROJECT:

**OGDEN 2ND DISTRICT COURT
HVAC UPGRADE**
DFCM Project No. 06143150

ADDENDUM NO. # 1

The data included herein is issued by the Architect as a clarification and addition to drawings, specifications, and contract documents relative to the above project. Except as effected by data herein, all other parts of the Contract Documents shall remain in full force and effect as issued by the Architect, *April 24, 2007* (This Date Applies to all Project Bid Documents). It shall be the sole responsibility of the bidder to appropriately disseminate this data to all concerned prior to the assigned bid date and time. Receipt of the addendum shall be recorded by the bidder in the appropriate space on the proposal form included in the Contract Documents.

I. GENERAL ITEMS:

Item #1

For phasing of this project please see the attached mechanical's addendum.

II. ARCHITECTURAL:

A. DRAWINGS:

Item #1

There are two locations on the first floor that need to be furred out – refer to attached supplementary drawings ASD-01, ASD-02 & ASD-03.

III. MECHANICAL:

See attached mechanical addendum

“Our Success Is Measured By The Level Of Our Client's Success”.

SCOTT P. EVANS – ARCHITECT & ASSOCIATES P.C.
108 West Center Street, Bountiful, Utah 84010
Phone 801-298-1368 Fax 801-298-2192
info@spe-architect.com www.spe-architect.com

IV. ELECTRICAL:

None

V. SUPPLEMENTARY DRAWINGS:

- ASD-01 FIRST FLOOR PLAN
- ASD-02 FUR OUT DETAIL
- ASD-03 FUR OUT DETAIL

VI. SUPPLEMENTARY SPECIFICATIONS:

None



SCOTT P. EVANS - ARCHITECT
& ASSOCIATES P.C.

108 WEST CENTER STREET
BOUNTIFUL, UTAH 84010
(801) 298-1368 FAX (801) 298-2192

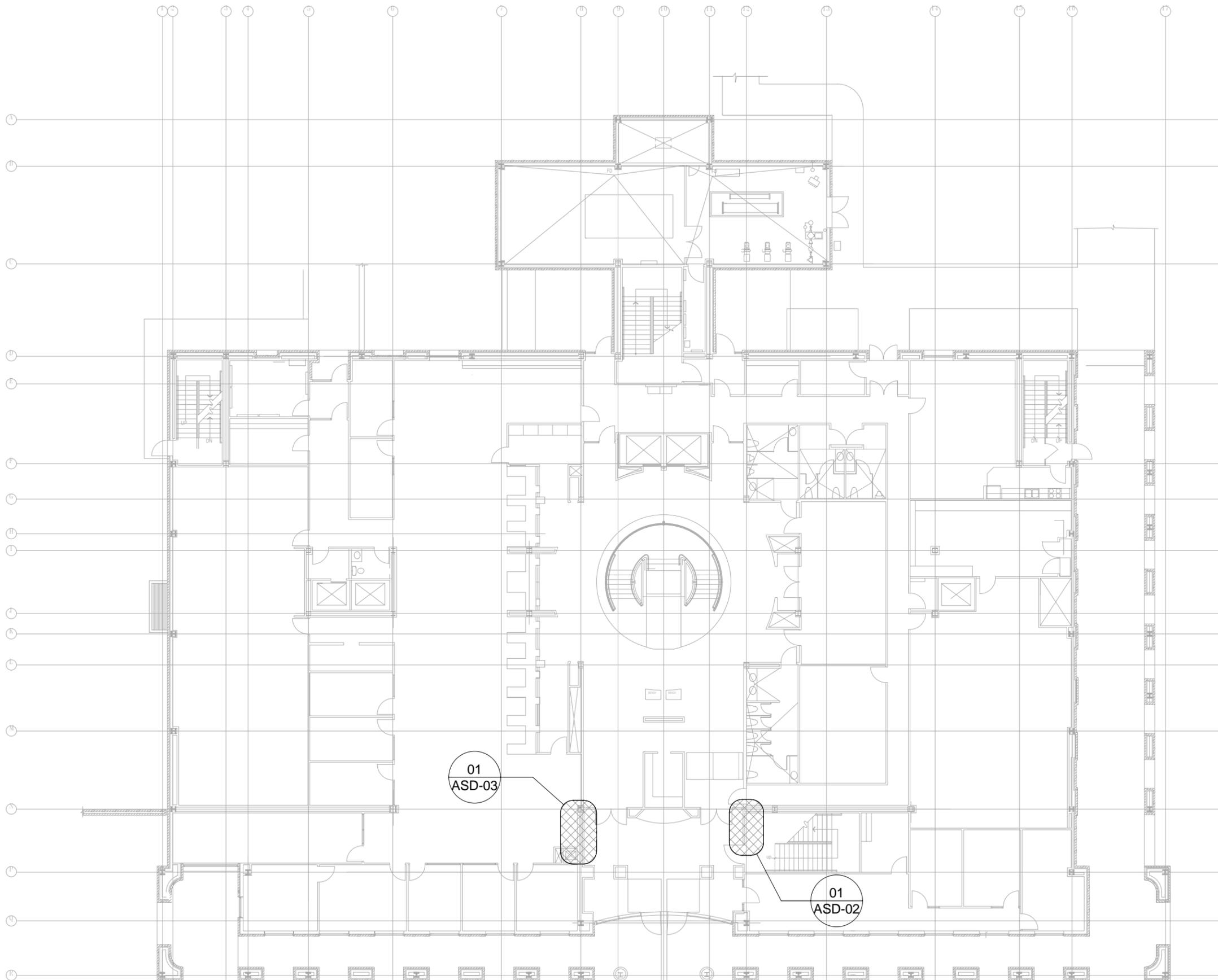
OGDEN 2nd DISTRICT COURT HVAC UPGRADE

SUPPLEMENTARY DRAWING

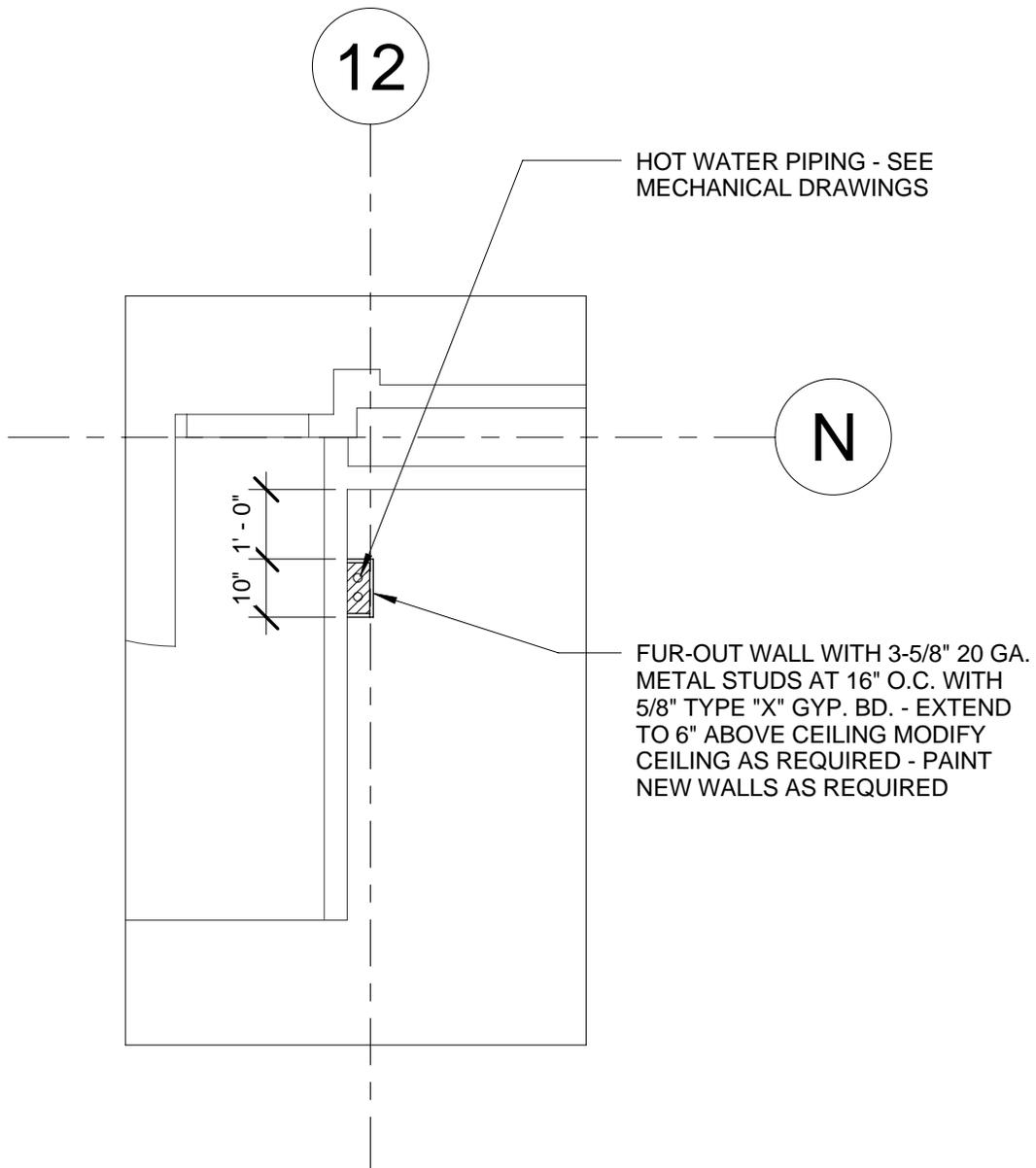
06-09

05/16/07

ASD-01



01 ASD-01 1ST FLOOR PLAN
1" = 20'-0"



01

ASD-02 FUR OUT DETAIL

3/8" = 1'-0"



SCOTT P. EVANS - ARCHITECT
& ASSOCIATES P.C.

108 WEST CENTER STREET
BOUNTIFUL, UTAH 84010
(801) 298-1368 FAX (801) 298-2192

OGDEN 2nd DISTRICT COURT HVAC UPGRADE

SUPPLEMENTARY DRAWING

06-09

05/16/07

ASD-02

HOT WATER PIPING - SEE MECHANICAL DRAWINGS

FUR-OUT WALL WITH 3-5/8" 20 GA. METAL STUDS AT 16" O.C. WITH 5/8" TYPE "X" GYP. BD. - EXTEND TO 6" ABOVE CEILING MODIFY CEILING AS REQUIRED - PAINT NEW WALLS AS REQUIRED

10" 6"

8

N

01

ASD-03 FUR OUT DETAIL

3/8" = 1'-0"



SCOTT P. EVANS - ARCHITECT
& ASSOCIATES P.C.

108 WEST CENTER STREET
BOUNTIFUL, UTAH 84010
(801) 298-1368 FAX (801) 298-2192

OGDEN 2nd DISTRICT COURT HVAC UPGRADE

SUPPLEMENTARY DRAWING

06-09

05/16/07

ASD-03

ADDENDUM

DATE: May 15, 2007
PROJECT NO: 6202
PROJECT: Ogden 2nd District Courts
HVAC Upgrade

DIVISION - 15

SPECIFICATIONS

SECTION - 15100 The following paragraphs are to be inserted.

SYSTEM DESCRIPTION:

Phasing: The split system AC units must be installed and commissioned prior to any demolition work on the judge's chambers. All other work may be completed as necessary during the construction schedule.

Existing Conditions:

The contractor shall notify the architect and engineer of any equipment and/or systems that are discovered to not be working properly, or are damaged, so that steps may be taken and presented to the owner for resolution.

SECTION – 15700 The following paragraphs are to be inserted.

Pump Suction Diffusers:

During Construction, install construction grade strainers on the main heating water pumps.

Cleaning of Piping System and Chemical Treatment:

Power Engineering is the only acceptable contractor to perform the cleaning and chemical treatment. The mechanical contractor is responsible for the cost. The main heating water system is to be cleaned and treated with chemical to restore the system to its current level of chemical treatment.

SECTION 15900- The following is to be inserted into this section.

Scope of Work:

All existing pneumatic tubing is to be disconnected and removed.

DRAWINGS

M-101

1. The mechanical piping that serves RH-1 and drops in the stairwell will be modified as follows: Both the supply and return piping will drop along the wall in a furred chase in the southwest corner of the stairwell, per architectural details.