



State of Utah

JON M. HUNTSMAN, JR.
Governor

GARY R. HERBERT
Lieutenant Governor

Department of Administrative Services

KIMBERLY K. HOOD
Executive Director

Division of Facilities Construction and Management

DAVID G. BUXTON
Director

ADDENDUM #1

Date: August 3, 2007

To: Contractors

From: Wayne Smith, Project Manager, DFCM

Reference: Control Room Upgrade
Northern Utah Community Correctional Center
Division of Adult Probation & Parole – Ogden, Utah
DFCM Project No.06178120

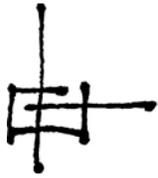
Subject: Addendum No. 1

Pages	Addendum	1	page
	Architects Addendum	6	pages
	Total	7	pages

Note: This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to Disqualification.

- 1.1 **SCHEDULE CHANGES – There are no changes to the project schedule.**
- 1.2 **GENERAL – AJC Architects clarifications and drawings.**

End of Addendum #1



ajc architects

addendum | N.U.C.C. CONTROL ROOM REMODEL

1

2445 S. WATER TOWER WAY, OGDEN, UTAH 84401

ajc architects project #: 0692

dfcm project #: 06178120

date: Thursday, August 2, 2007
time: 11:30 a.m.
pages: 6 (Including Supplemental Drawings)

The bidders on the above captioned project shall be governed by the following changes, additions, and/or deletions in the Drawings and Specifications. This Addendum shall be included as part of the Contract Documents.

Architectural
Addendum

Item 1.1:

Mandatory Pre-Bid Meeting attendance. Attendees included: General Contractors – Garff Construction; Broderick and Hendersen. Electrical Contractors, Communications Contractors, Security Contractors, and Equipment Suppliers and Installers – Chase Electrical Co., Inc.; Marshall Industries; Skyline Electric; Bone Electric; Utah Controls; Automation Design and Service; Professional Systems Technology; Cache Valley Electric; Copper Mountain Electric; CR Lighting and Electrical; Taylor Electric.

Item 1.2

Specification Section 08111 – Steel Frames, Doors and Windows. 2.3 Hollow Metal Steel Frames. B. Interior Frames. Change: “12 gauge” to “**16 gauge**”. 2.5 Standard Hollow Metal Doors. B. Insulated Doors, 1. Change: “Level 4 Physical Performance Level A” to “**Level 2 and Physical Performance Level B (Heavy Duty)**”.

Item 1.3

Drawings. Details C2/AE501, C3/AE501, C4/AE501 and D5/AE501 have been revised and re-issued as Supplemental Drawings SD 1.1, SD 1.2, SD 1.3 and SD 1.4.

Item 1.4

Drawings. Sheet AE101, Construction Floor Plan. Clarification: The new equipment rack is to be installed within the masonry opening for the new hollow metal door and frame. Door #01, to provide clearance for the existing electrical panel. Refer to revised Detail C4/AE501 Supplemental Drawing SD 1.3.

Electrical
Addendum #1

Item 1.1

Electrical Addendum #1. See attached Electrical Addendum #1.

Item 1.2

Specification Section 260715 . 2.01, APPROVED INTEGRATORS: Add – Utah Controls.

Item 1.3

Specification Section 260717. 1.1. APPROVED INTEGRATORS: Add – Utah Controls.

END OF ADDENDUM

By: Kent Rigby, AIA

attachments: Supplemental Drawings SD 1.1, SD 1.2, SD 1.3, SD 1.4. Electrical Addendum #1.

NUCCC CONTROL ROOM REMODEL

REVISIONS TO THE DRAWINGS

DRAWING E-101

1. The new equipment rack shall be 77" full height rack.

DRAWING E- 301

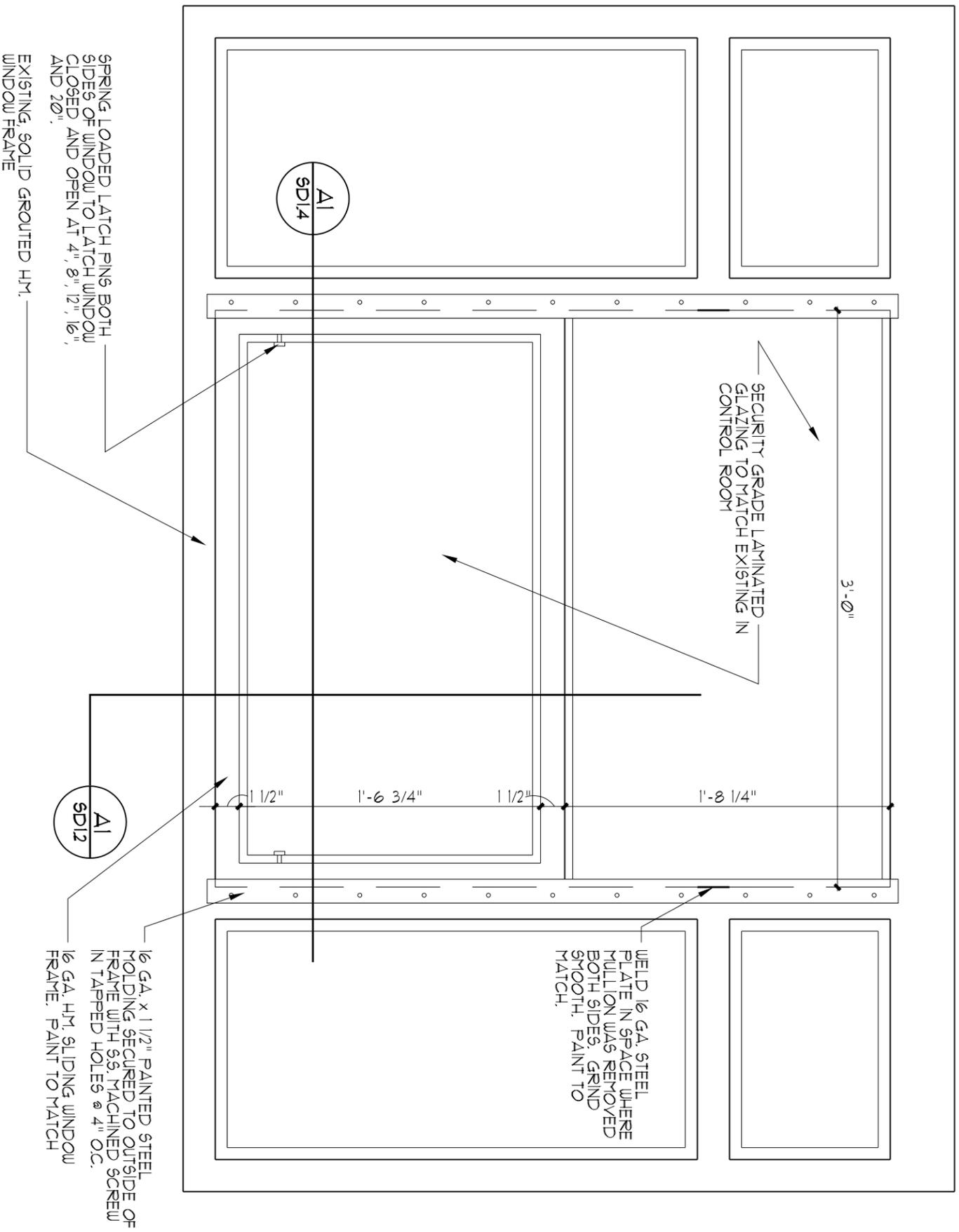
1. Delete reference note #2 shown in three locations @ gridlines 2&D.

DRAWING E- 603

1. Only one graphic panel is required. Delete the second graphic panel as referenced in the specification section.

DRAWING E- 605

1. Delete reference to monitor touch screen.
2. Add three lighting zones to the system to be controlled by the Secureplex.



SPRING LOADED LATCH PINS BOTH SIDES OF WINDOW TO LATCH WINDOW CLOSED AND OPEN AT 4", 8", 12", 16", AND 20".

EXISTING, SOLID GROUTED HM WINDOW FRAME

1/2" GA. x 1 1/2" PAINTED STEEL HOLDING SECURED TO OUTSIDE OF FRAME WITH 5/8" MACHINED SCREW IN TAPPED HOLES @ 4" O.C.

1/2" GA. HM, SLIDING WINDOW FRAME. PAINT TO MATCH

WELD 1/2" GA. STEEL PLATE IN SPACE WHERE MILLION WAS REMOVED BOTH SIDES. GRIND SMOOTH. PAINT TO MATCH.

WINDOW
SCALE: 1 1/2" = 1'-0"

ARCHITECT AJC JOB #0692



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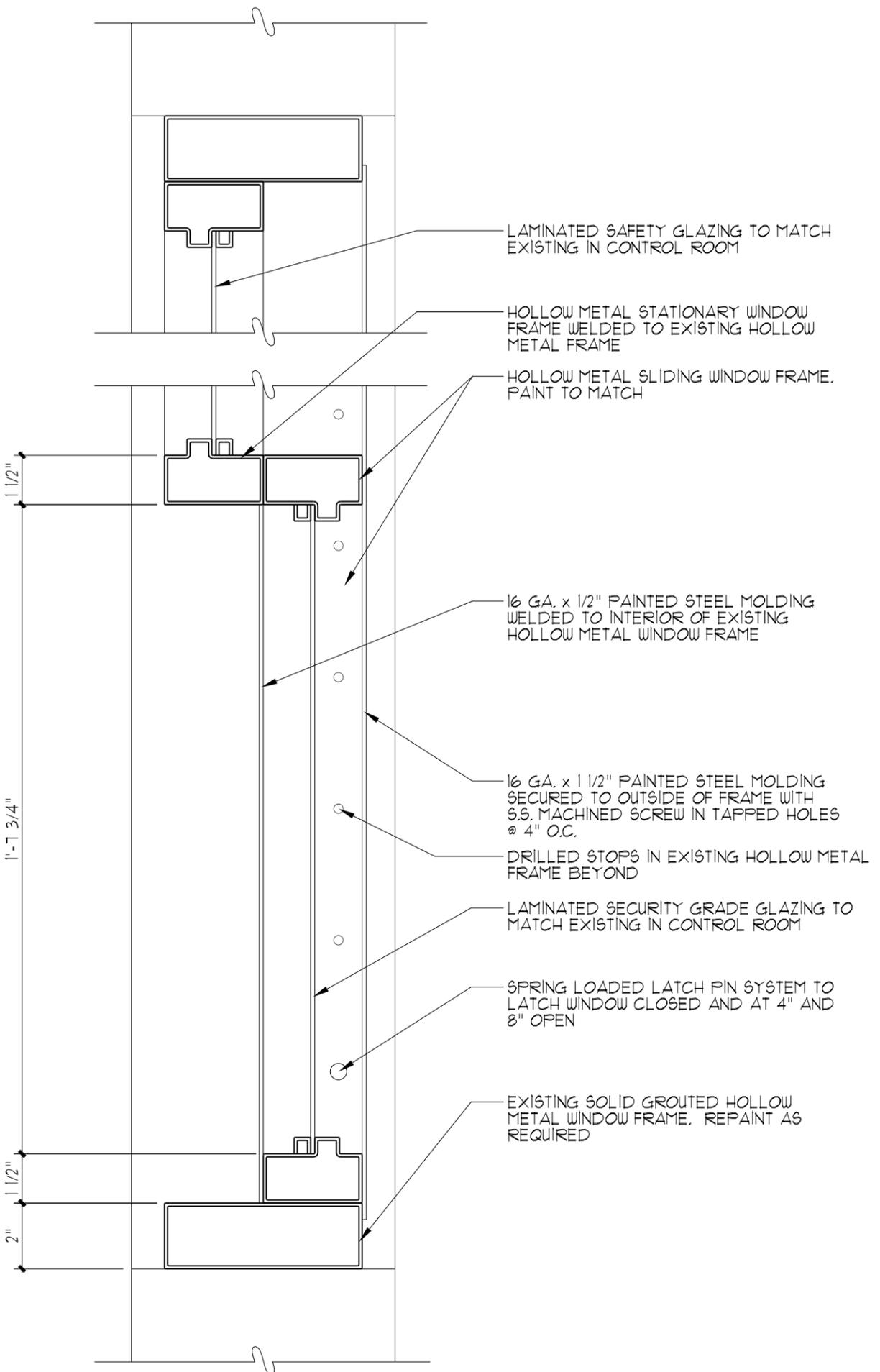
PROJECT DESCRIPTION
NUCC CONTROL ROOM REMODEL

2445 S. WATER TOWER WAY
OGDEN, UTAH 84401

SHEET NAME:
SUPPLEMENTAL WINDOW DETAIL

ISSUE DATA
ISSUE DATE: AUGUST 2007
ISSUE TYPE: SUPP. DWG.
DRAWN BY: MW
CHECKED BY: KR
CAD FILE NAME:
SHEET NUMBER:

SD1.1
TOTAL PAGES



WINDOW
SCALE: 3" = 1'-0"

A1
SD2.1



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ARCHITECT AJC JOB #0692

PROJECT DESCRIPTION

NUCC CONTROL ROOM REMODEL

2445 S. WATER TOWER WAY
OGDEN, UTAH 84401

SHEET NAME:

SUPPLEMENTAL WINDOW DETAIL

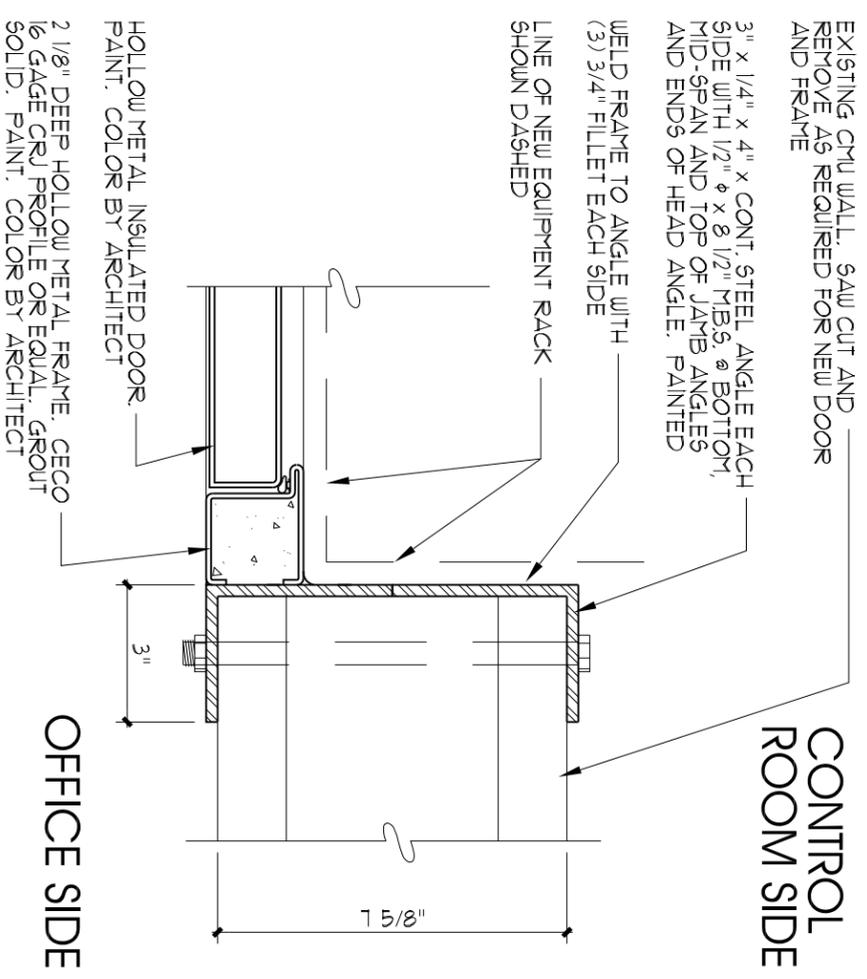
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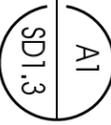
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TOTAL PAGES

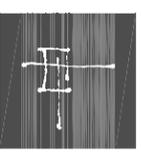


DOOR JAMB

SCALE: 3" = 1'-0"



ARCHITECT A/C JOB #0692



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PROJECT DESCRIPTION

NUCC CONTROL ROOM REMODEL

2445 S. WATER TOWER WAY
 OGDEN, UTAH 84401

SHEET NAME:

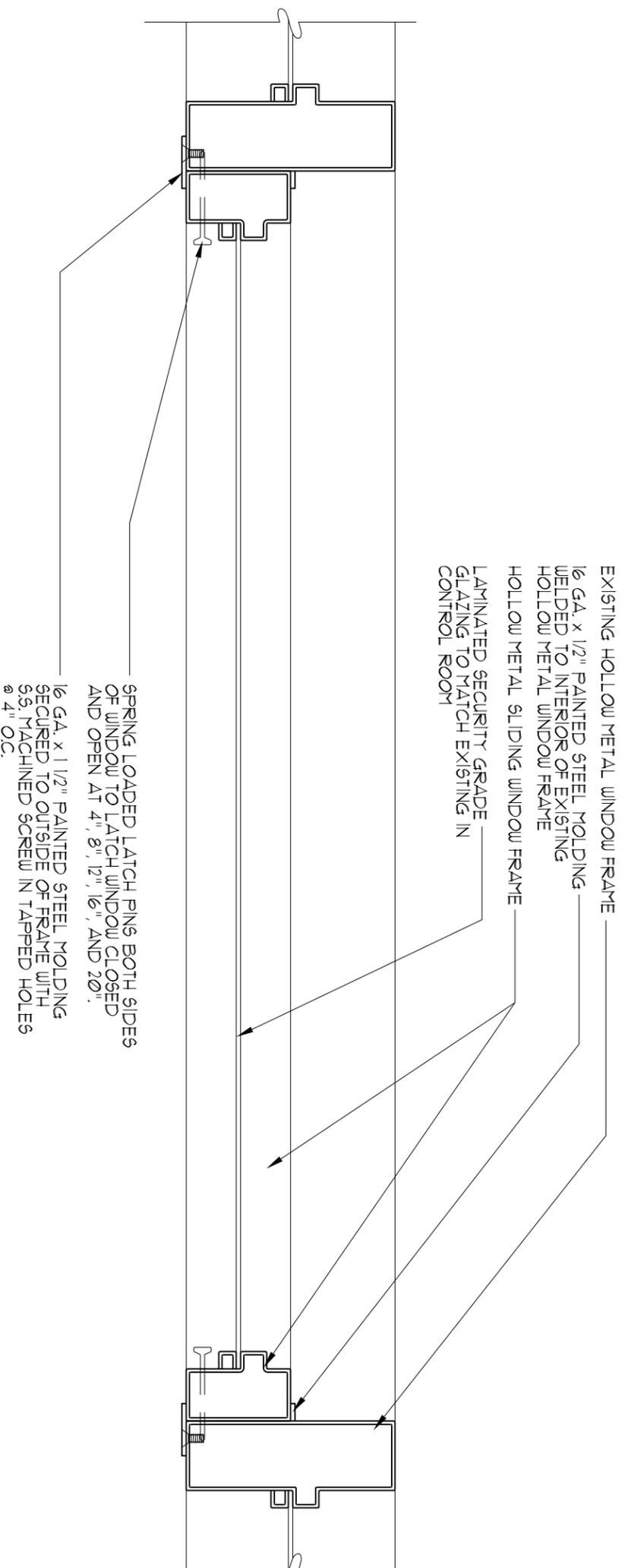
SUPPLEMENTAL DOOR JAMB DETAIL

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 DRAWN BY: MW
 CHECKED BY: KR
 CAD FILE NAME:

SHEET NUMBER:

SD1.3



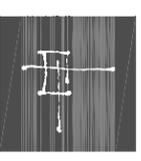
WINDOW

SCALE: 1 1/2" = 1'-0"

A1

SD1.4

ARCHITECT AJC JOB #0692



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PROJECT DESCRIPTION

NUCC CONTROL
ROOM REMODEL

2445 S. WATER TOWER WAY
OGDEN, UTAH 84401

SHEET NAME:

SUPPLEMENTAL
WINDOW DETAIL

ISSUE DATA

ISSUE DATE: AUGUST 2007
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SD1.4

TOTAL PAGES