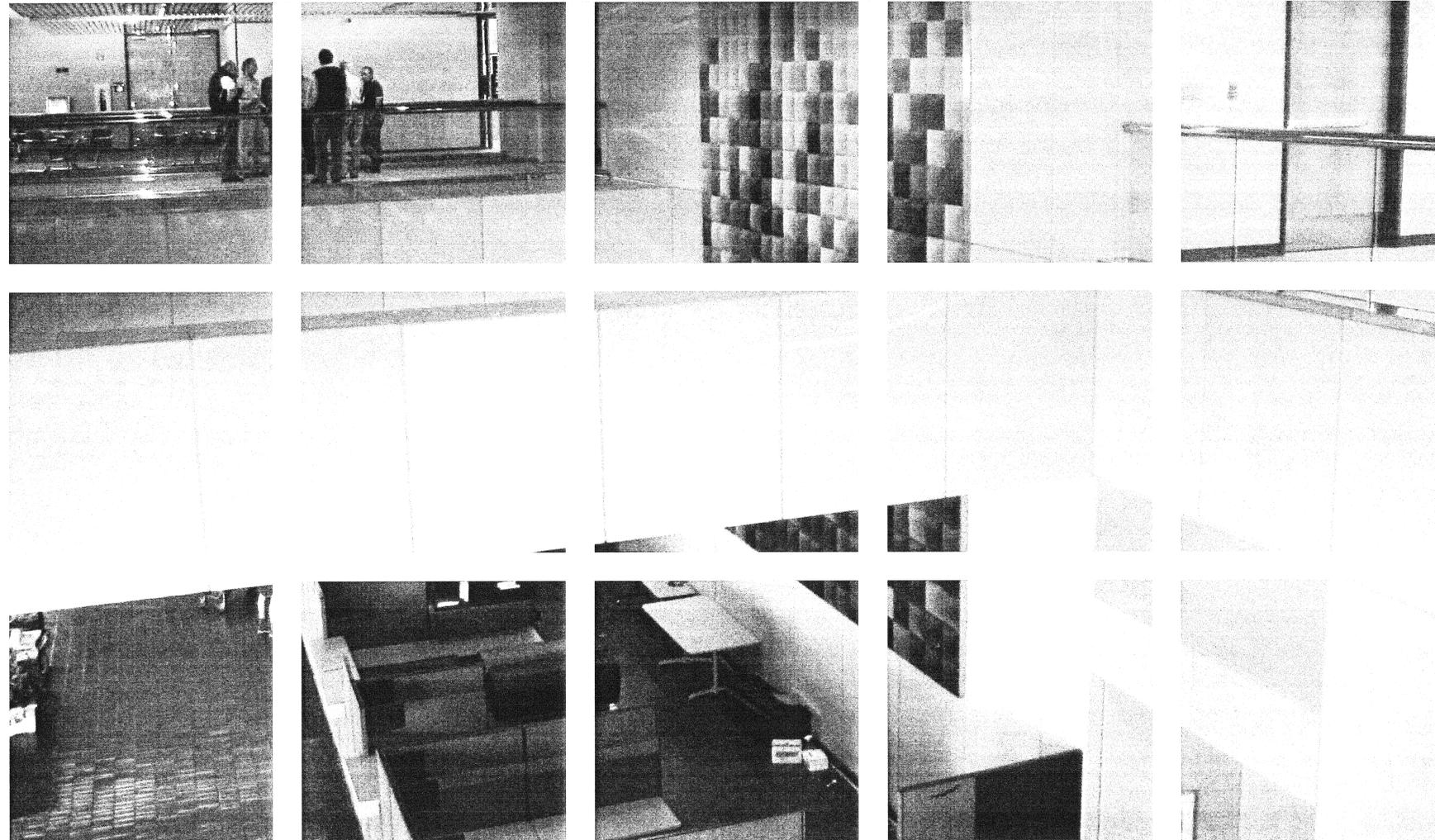


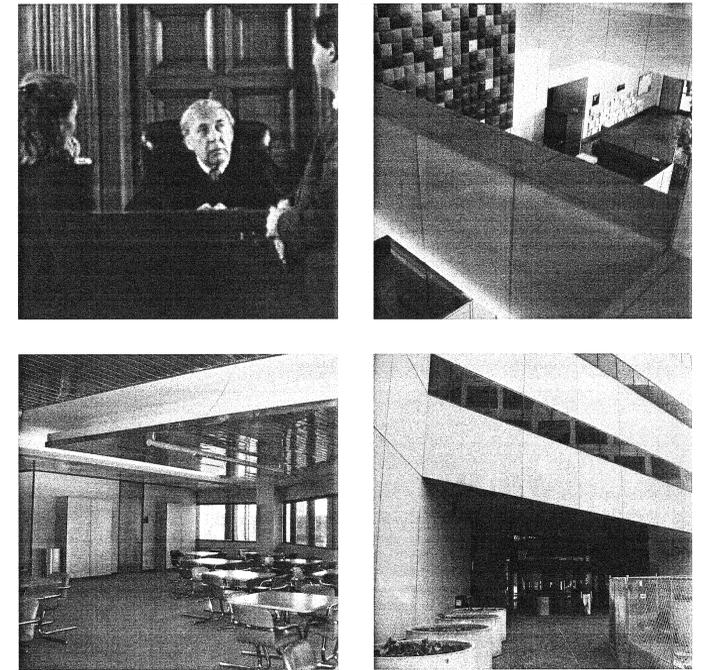
# HEBER M. WELLS BUILDING REMODEL



DFCM PROJECT # 06187310  
HEBER WELLS COMMERCE SPACE ENCLOSURE

Construction Documents

05/10/2006



# REMODELING FOR THE DFCM Project # 06187310 HEBER M. WELLS BUILDING

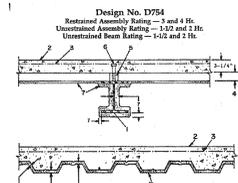
160 East 300 South  
Salt Lake City, Utah 84114

BID SET

## ABBREVIATIONS

A.F.F. ABOVE FINISH FLOOR	F.A. FIRE ALARM	R.O. ROOM OPENING
A.S. AIR SPACE	FIN. FINISH	R.M. ROOM REINFORCED
ASPH. ASPHALT	F.H. FIRE HYDRANT	REIN. REINFORCED
@ AT	G.W.B. GYPSUM WALLBOARD	R.W. RETAINING WALL
ALUM. ALUMINUM	G.Y.P. GYPSUM	S. SUPPLIER
ARCH. ARCHITECTURAL	GALV. GALVANIZED	S.F. STRUCTURAL BRICK UNIT
BLDG. BUILDING	GALV. GALVANIZED	SQ. FT. SQUARE FOOT
BTM. BOTTOM	H.M. HOLLOW METAL	STOR. STORAGE
BD. BOARD	H.C. HANDICAP	SIM. SIMILAR
C.G. CORNER GUARD	H.P. HIGH POINT	SUSP. SUSPENDED
CL. CENTER LINE	HT. HEIGHT	SYS. SYSTEM
CONC. CONCRETE	HORIZ. HORIZONTAL	SPECS. SPECIFICATIONS
C.M.U. CONCRETE MASONRY UNIT	H.W. HARDWOOD	STRG. STRING
CO. COMPANY	INSUL. INSULATION	STRUC. STRUCTURAL
CORR. CORRIDOR	I.D. INSIDE DIAMETER	ST. STEEL
COL. COLUMN	KN. KNOCK	S.S. STAINLESS STEEL
COMP. COMPUTER	K.W. KILOWATTS	SOFT. WOOD
CONT. CONTINUOUS	LBS. POUNDS	SERV. SERVICE
C.S. CLOSURE STRIP	MECH. MECHANICAL	TYP. TYPICAL
C.S. CLOSURE STRIP	MEZZ. MEZZANINE	TRANS. TRANSFORMER
C.T. CERAMIC TILE	MFR/MFR MANUFACTURER	T & B TOP AND BOTTOM
C.L.R. CLEAR	MGR. MANAGER	T.O.P. TOP OF
C.O. CLEAN OUT TO GRADE	M.T. MEN'S TOILET	T. UNLESS OTHERWISE NOTED
C.O.T.G. CLEAN OUT TO GRADE	M.T. MEN'S TOILET	U.O.N./U.N.O. UNDER/NOT OVER
C.I. CAST IRON	MAX. MAXIMUM	UR. URINAL
DEPT. DEPARTMENT	M.A. MASONRY OPENING	VAR. VARIES
DIA. DIAMETER	M.H. MANHOLE	VERT. VERTICAL
D.F. DRINKING FOUNTAIN	MACH. MACHINERY	W.C. WATER CLOSET
DN. DOWN	M.C.C. MOTOR CONTROL CENTER	W.H. WATER HEATER
DISP. DISPENSER	MISC. MISCELLANEOUS	W.T. WOMEN'S TOILET
DM. DIMENSION	N. NORTH	W. WOOD
DTL./DET. DETAIL	NO. NUMBER	W.SCT. WAINSCOT
DWG./DRWG. DRAWING	N.C. NOT IN CONTRACT	W. WITH
DRN. DRAIN	N.O.M. NOT TO SCALE	W.W.F. WELDED WIRE FABRIC
EA. EACH	N.T.S. NOT TO SCALE	
ELEV./EL. ELEVATION	OPG. ON CENTER	
EXIST./E. EXISTING	O.D. OUTSIDE DIAMETER	
ELECT. ELECTRICAL	O.H. OVERHEAD	
EQUIP. EQUIPMENT	OD. OUTSIDE DIAMETER	
E.E.S. EMERGENCY EYEWASH AND SHOWER	PERM. PERIMETER	
E.J. EXTERIOR INSULATION SYSTEM	PL. PLATE	
EXP. EXPANSION JOINT	P.NTH. PENTHOUSE	
F.D. FINISH GRADE	PTN. PARTITION	
F.F. FLOOR DRAIN	P.W. POINT OF CONNECTION	
F.F. FLOOR DRAIN	P.C. PORTLAND CEMENT	
F.F. FLOOR DRAIN	P.NL. PANEL	
F.F. FLOOR DRAIN	P.F.H. PERIMETER FELT JOINT	
F.F. FLOOR DRAIN	Q.T. QUARRY TILE	
F.F. FLOOR DRAIN	R.D. ROOF DRAIN	

## FIRE RESISTANCE DESIGN DATA



Design No. D754  
Restrained Assembly Rating - 3 and 4 H.  
Unrestrained Assembly Rating - 1-1/2 and 2 H.  
Unrestrained Beam Rating - 1-1/2 and 2 H.

1. Beams - W8 x 28 min. size.  
2. Light - Weight Concrete - Expanded shale, clay or slate aggregate by rotary kiln method; 118 p.c. or 3 p.c. unit weight; 2000 psi compressive strength; minimum 2" R.C. reinforcement.  
3. Insulation - Mineral Wool - 2" - 1 1/2" R.C. 15.  
4. Steel Floor and Form Units - Composite 1-1/2, 2 or 3 in. deep galv. framed units. Min. depth of 2" R.C. Spacing of welded reinforcing steel supports shall be at each side of joint and not to exceed 12 in. O.C. between joints. Adhesive units having puncture or welded supports 1/2 in. O.C. at joints.  
5. Steel Decking - Building Products USA Inc. - 24 in. wide maximum; 30 in. wide Type 8, 24 or 36 in. wide Type 29 or 39; 36 in. wide Type 39; 48 in. wide Type 42; 60 in. wide Type 48; 72 in. wide Type 54; 84 in. wide Type 60; 96 in. wide Type 66; 108 in. wide Type 72; 120 in. wide Type 78; 144 in. wide Type 84; 168 in. wide Type 90; 192 in. wide Type 96; 216 in. wide Type 102; 240 in. wide Type 108; 270 in. wide Type 114; 300 in. wide Type 120; 324 in. wide Type 126; 360 in. wide Type 132; 396 in. wide Type 138; 432 in. wide Type 144; 468 in. wide Type 150; 504 in. wide Type 156; 540 in. wide Type 162; 576 in. wide Type 168; 612 in. wide Type 174; 648 in. wide Type 180; 684 in. wide Type 186; 720 in. wide Type 192; 756 in. wide Type 198; 792 in. wide Type 204; 828 in. wide Type 210; 864 in. wide Type 216; 900 in. wide Type 222; 936 in. wide Type 228; 972 in. wide Type 234; 1008 in. wide Type 240; 1044 in. wide Type 246; 1080 in. wide Type 252; 1116 in. wide Type 258; 1152 in. wide Type 264; 1188 in. wide Type 270; 1224 in. wide Type 276; 1260 in. wide Type 282; 1296 in. wide Type 288; 1332 in. wide Type 294; 1368 in. wide Type 300; 1404 in. wide Type 306; 1440 in. wide Type 312; 1476 in. wide Type 318; 1512 in. wide Type 324; 1548 in. wide Type 330; 1584 in. wide Type 336; 1620 in. wide Type 342; 1656 in. wide Type 348; 1692 in. wide Type 354; 1728 in. wide Type 360; 1764 in. wide Type 366; 1800 in. wide Type 372; 1836 in. wide Type 378; 1872 in. wide Type 384; 1908 in. wide Type 390; 1944 in. wide Type 396; 1980 in. wide Type 402; 2016 in. wide Type 408; 2052 in. wide Type 414; 2088 in. wide Type 420; 2124 in. wide Type 426; 2160 in. wide Type 432; 2196 in. wide Type 438; 2232 in. wide Type 444; 2268 in. wide Type 450; 2304 in. wide Type 456; 2340 in. wide Type 462; 2376 in. wide Type 468; 2412 in. wide Type 474; 2448 in. wide Type 480; 2484 in. wide Type 486; 2520 in. wide Type 492; 2556 in. wide Type 498; 2592 in. wide Type 504; 2628 in. wide Type 510; 2664 in. wide Type 516; 2700 in. wide Type 522; 2736 in. wide Type 528; 2772 in. wide Type 534; 2808 in. wide Type 540; 2844 in. wide Type 546; 2880 in. wide Type 552; 2916 in. wide Type 558; 2952 in. wide Type 564; 2988 in. wide Type 570; 3024 in. wide Type 576; 3060 in. wide Type 582; 3096 in. wide Type 588; 3132 in. wide Type 594; 3168 in. wide Type 600; 3204 in. wide Type 606; 3240 in. wide Type 612; 3276 in. wide Type 618; 3312 in. wide Type 624; 3348 in. wide Type 630; 3384 in. wide Type 636; 3420 in. wide Type 642; 3456 in. wide Type 648; 3492 in. wide Type 654; 3528 in. wide Type 660; 3564 in. wide Type 666; 3600 in. wide Type 672; 3636 in. wide Type 678; 3672 in. wide Type 684; 3708 in. wide Type 690; 3744 in. wide Type 696; 3780 in. wide Type 702; 3816 in. wide Type 708; 3852 in. wide Type 714; 3888 in. wide Type 720; 3924 in. wide Type 726; 3960 in. wide Type 732; 3996 in. wide Type 738; 4032 in. wide Type 744; 4068 in. wide Type 750; 4104 in. wide Type 756; 4140 in. wide Type 762; 4176 in. wide Type 768; 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22680 in. wide Type 3852; 22716 in. wide Type 385

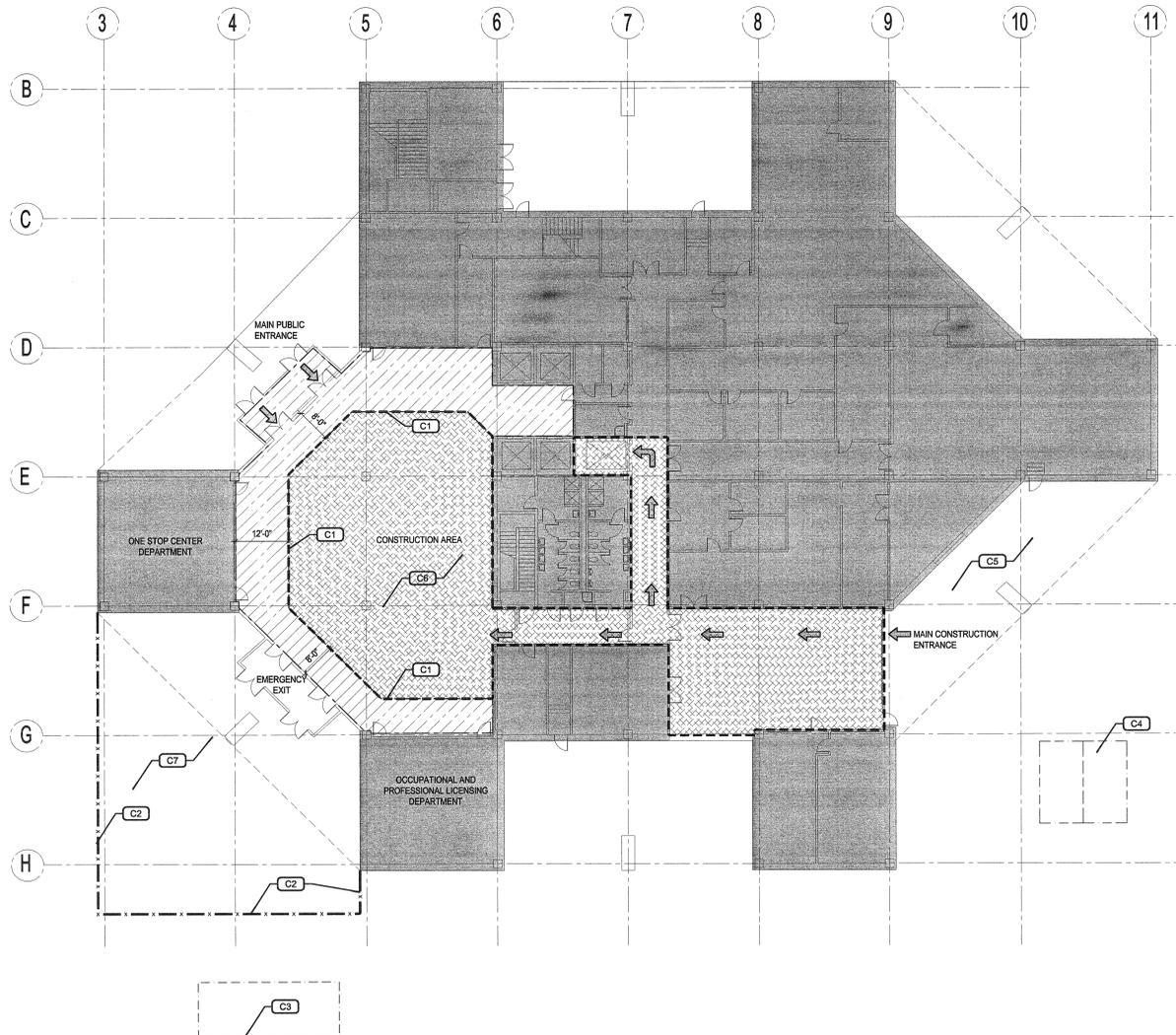
# CONSTRUCTION COORDINATION PLAN FOR DFCM Project # 06187310 HEBER M. WELLS BUILDING



ARCHITECTURE  
VALENTINER  
CRANE  
BRUNJES  
ONYON



VCBO ARCHITECTURE  
524 SOUTH 600 EAST  
SALT LAKE CITY, UTAH 84102  
Phone: (801) 575-8800  
Fax: (801) 531-9650  
WWW: VCBO.com



01 Main Floor Construction Coordination Plan  
SCALE: 1/16" = 1'-0"



## GENERAL INFORMATION

ACCESS AND STAGING ON THIS PROJECT IS LIMITED. PROPOSED CONSTRUCTION SCENARIOS SHALL BE REVIEWED BY ARCHITECT AND OWNER. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION.

NO CONSTRUCTION TRAFFIC IS ALLOWED ON PLAZA. LARGER, HEAVIER CONSTRUCTION MATERIALS SUCH AS STEEL BEAMS, STEEL DECKING, ETC. WILL NEED TO BE BROUGHT INTO THE BUILDING THROUGH A LARGER ACCESS. ITS SUGGESTED THAT A CRANE BE UTILIZED. THIS CRANE CAN BE LOCATED IN THE CIVIC CENTER DWS PARKING LOT WHICH IS CURRENTLY UNDER CONSTRUCTION. POSSIBLE USE OF THE EXISTING CRANE LOCATED DIRECTLY SOUTH OF THE BUILDING'S SOUTHWEST ENTRANCE COULD BE COORDINATED THROUGH ELLSWORTH PALLSEN CONSTRUCTION. CONTACT BRIAN BREADY 801.404.1471 OR PRESTON SOCHA 801.532.8900. MATERIALS COULD BE BROUGHT TO THE PROJECT AND TAKEN DIRECTLY OFF DELIVERY TRUCKS AND SET INSIDE THE BUILDING. TEMPORARY MODIFICATIONS TO THE SOUTHWEST VESTIBULE AND/OR THE 2ND FLOOR WINDOW FRAMES AND RELATED EXTERIOR WALLS WILL BE NECESSARY TO ACCOMMODATE THIS ACCESS. PROVIDE TEMPORARY REMOVABLE PLYWOOD SEAL OR EQUIV. AT WINDOW OPENING.

ALL DEMOLITION SHALL OCCUR ON WEEKENDS AND EVENINGS. DEMOLITION IS CONSIDERED TO BE HIGH IMPACT TO THE PUBLIC AND TENANTS. THIS ALSO INCLUDES THE STRUCTURAL INFILL OF THE SECOND FLOOR AS WELL AS THE STEEL DELIVERY. WELDING SHALL ALSO OCCUR ON WEEKENDS WHEN POSSIBLE.

DFCM WILL PROVIDE FULL TIME SECURITY. DURING AFTER HOURS CONSTRUCTION CONTRACTOR WILL NEED TO NOTIFY DFCM SO THAT SECURITY CAN BE PROVIDED.

## GENERAL NOTES

- 1) MAIN CONSTRUCTION ACCESS SHALL BE FROM DOCK AREA
- 2) NO CONSTRUCTION ACCESS SHALL BE PERMITTED AT THE NW ENTRY OF BUILDING.
- 3) SW ENTRANCE VESTIBULE WILL REMAIN AS EMERGENCY EXIT ONLY.
- 4) APPROPRIATE DIRECTIONAL SIGNAGE FOR PUBLIC CIRCULATION AND EGRESS SHALL BE PROVIDED BY CONTRACTOR AT INTERIOR AND EXTERIOR AND LIT WHERE NECESSARY.
- 5) CONSTRUCTION ACCESS THROUGH FREIGHT ELEVATOR ONLY ON SECOND FLOOR.
- 6) TWO PARKING SPACES AT DOCK WILL BE ALLOTTED TO ACCOMMODATE ONE CONSTRUCTION DUMPSTER. COORDINATE SIZE WITH OWNER.
- 7) PARKING SHALL NOT BE PERMITTED ON SITE.
- 8) TRAILER SPACE WILL NOT BE ALLOTTED
- 9) NO CONSTRUCTION TRAFFIC OR VEHICLES SHALL BE PERMITTED ON PAVERS AT PLAZA. PROVIDE NECESSARY PROTECTION AT CONSTRUCTION AREA.
- 10) CRANE IS PROPOSED FOR CONSTRUCTION MATERIAL ACCESS THRU SECOND LEVEL WINDOWS.
- 11) ERECT AND MAINTAIN DUST PROOF PARTITIONS AND TEMPORARY ENCLOSURES TO LIMIT DUST AND DIRT MIGRATION AND TO SEPARATE AREAS FROM FUMES AND NOISE. TEMPORARY ENCLOSURE TO HAVE SOUND INSULATION.
- 12) ALL WELDING AREAS SHALL BE PROTECTED AND VENTILATED PER CODES
- 13) PROVIDE TEMPORARY CAP FOR SUPPLY AND RETURN GRILLES IN WORK AREA.
- 14) PROVIDE TEMPORARY CAP FOR FLOOR GRILLES IN WORK AREA
- 15) COORDINATE ANY INTERRUPTION TO ELECTRICAL OR COMMUNICATIONS SERVICE IN ANY PART OF THE BUILDING WITH OWNER AND ARCHITECT. NOTIFY OWNER AND ARCHITECT MINIMUM OF SEVEN DAYS IN ADVANCE OF ANY PROPOSED POWER OR COMMUNICATIONS OUTAGE. PROVIDE TEMPORARY LIGHTING AND POWER IN CONSTRUCTION AND PUBLIC ACCESS AREAS, INCLUDING PUBLIC PROTECTION ACCESS WAYS.
- 16) MOVEABLE PARTITIONS AND FURNITURE TO BE REMOVED BY OWNER.
- 17) ART MURAL TO BE RELOCATED BY OWNER.

## LEGEND

- LIMIT OF CONSTRUCTION ACCESS
- LIMIT OF PUBLIC ACCESS
- NO ACCESS

## KEY NOTES

- C1 PROVIDE TEMPORARY PARTITION
- C2 PROVIDE EXTERIOR CONSTRUCTION FENCE
- C3 PROPOSED USE OF EXISTING CRANE LOCATION
- C4 PROPOSED CONSTRUCTION DUMPSTER LOCATION ALLOTTED AT TWO PARKING STALLS
- C5 OPTIONAL USE OF GRAVEL AREA FOR STAGING. RESTORE TO ORIGINAL CONDITION
- C6 PROVIDE PROTECTION AT EXISTING FLOOR.
- C7 PROVIDE PROTECTION AT EXTERIOR PAVERS

DFCM Project # 06187310  
Heber M. Wells Building Remodel  
Salt Lake City, Utah

T.I.

Rev #	Date	Description

Job # 05310  
CAD File  
Drawn EZ Checked PB  
Date 05/10/2006  
Owner #  
Ins. #

Main Floor  
Construction Coordination Plan

AE000  
Sheet of Sheets

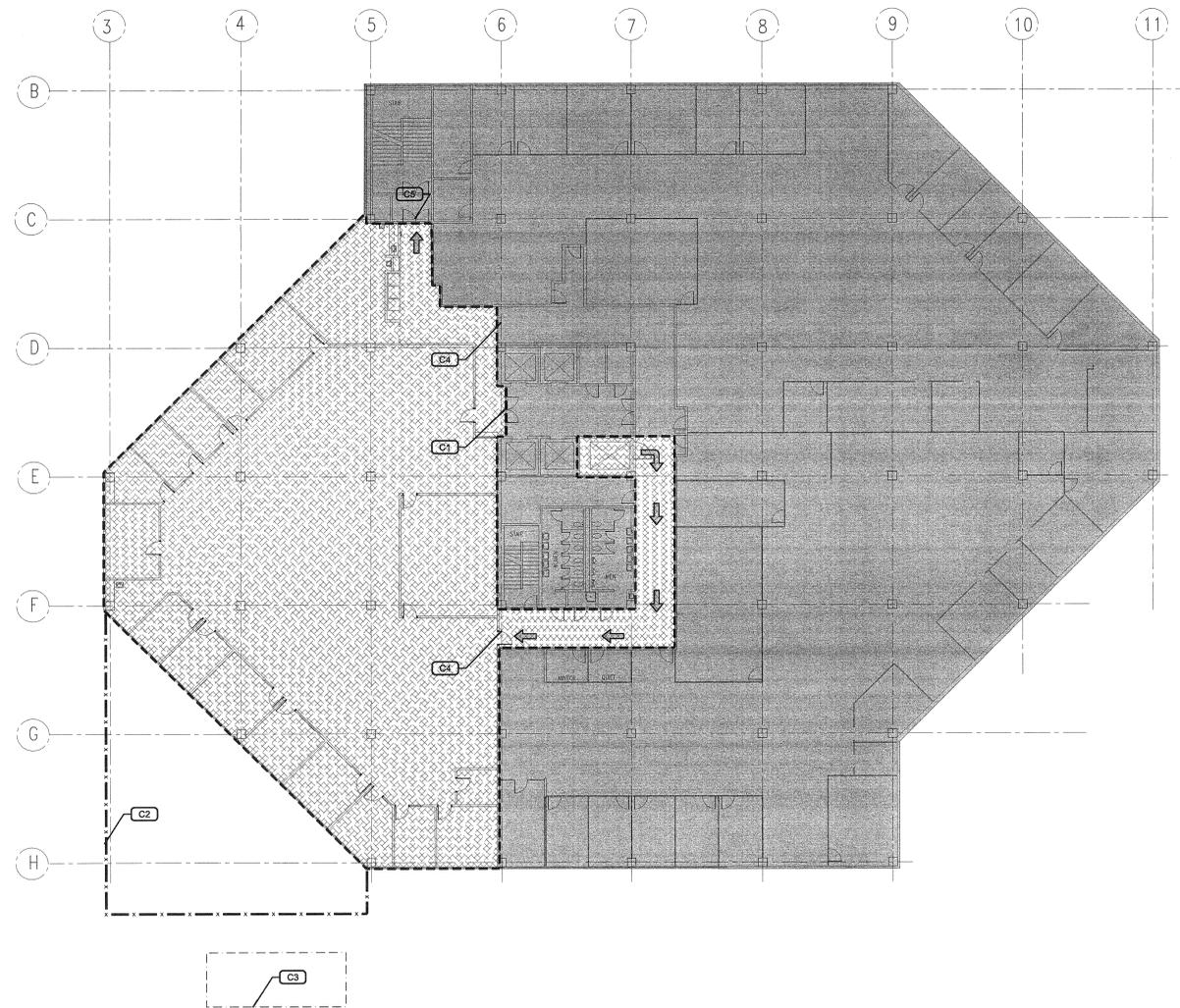
# CONSTRUCTION COORDINATION PLAN FOR DFCM Project # 06187310 HEBER M. WELLS BUILDING



ARCHITECTURE  
VALENTINER  
CRANE  
BRUNJES  
ONYON



VCBO ARCHITECTURE  
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WWW: VCBO.com



01 Second Floor Construction Coordination Plan  
SCALE: 1/16" = 1'-0"



## GENERAL INFORMATION

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- 17) ART MURAL BE RELOCATED BY OWNER.

## LEGEND

- LIMIT OF CONSTRUCTION ACCESS
- NO ACCESS

## KEY NOTES

- PROTECT EXISTING DOORS
- EXTERIOR CONSTRUCTION FENCE BELOW
- PROPOSED CRANE LOCATION
- PROVIDE TEMPORARY PARTITION
- MAINTAIN PUBLIC EGRESS

DFCM Project # 06187310  
Heber M. Wells Building Remodel  
Salt Lake City, Utah

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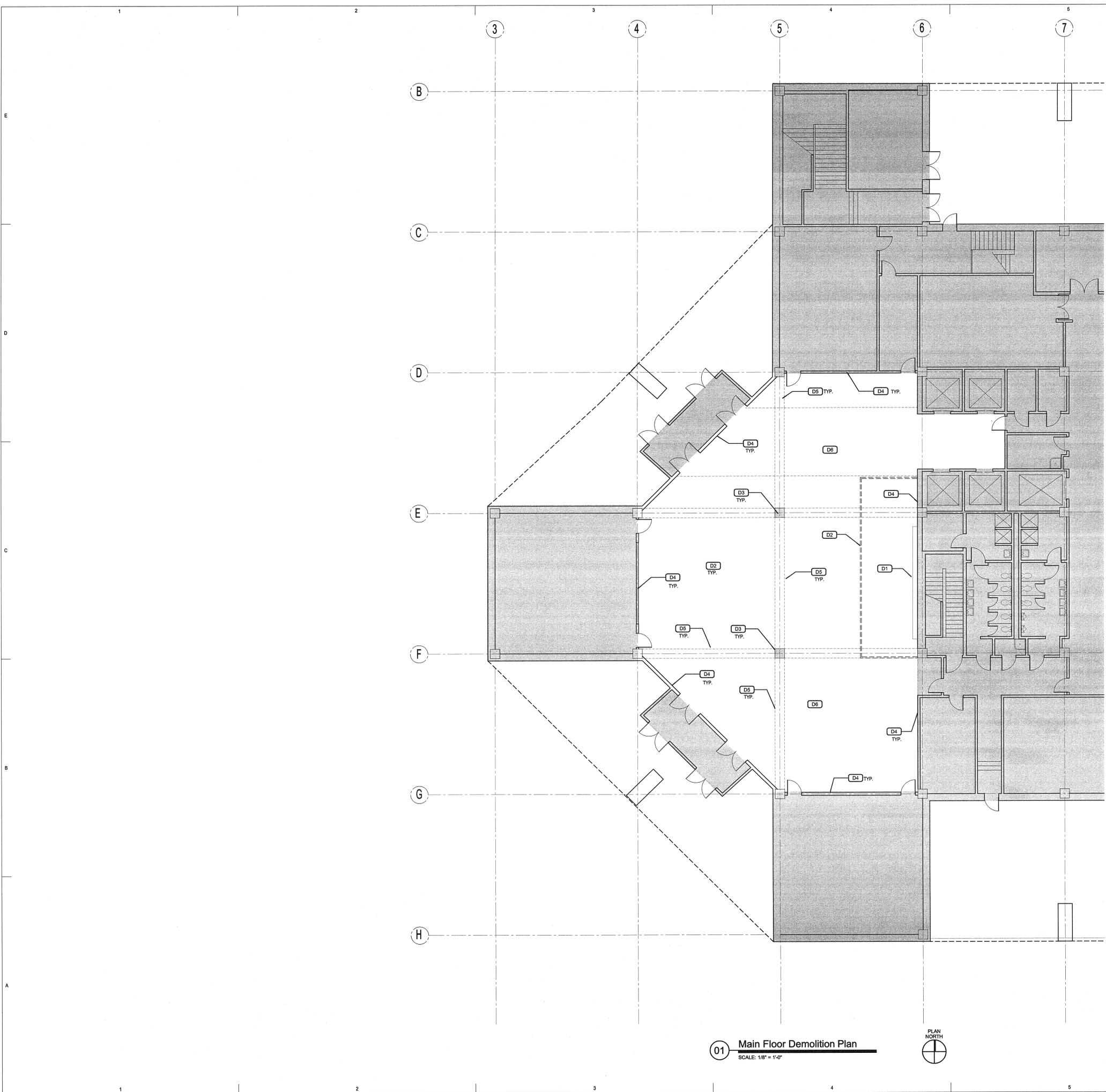
Rev #	Date	Description

Job #	05310
CAD File	
Drawn	GA
Checked	PB
Date	05/10/2006
Owner #	
Ins. #	

Second Floor  
Construction Coordination Plan

AE000a

Sheet of Sheets



01 Main Floor Demolition Plan  
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES:

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2. CONTRACTOR TO TAKE EXTREME CARE TO PROTECT ALL EXISTING SURFACES, SYSTEMS AND ALL ITEMS TO REMAIN.
3. ANY EQUIPMENT UNCOVERED OR FOUND THAT IS NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO ARCHITECT'S ATTENTION IMMEDIATELY.
4. AFTER DEMOLITION, PRIOR TO FINISH, PATCH AND REPAIR ALL EXISTING WALLS AS NECESSARY TO PROVIDE SMOOTH SURFACE SUITABLE FOR PAINTING.
5. REPLACE OR REPAIR GYPSUM BOARD AFTER DEMOLITION WHERE WALLS HAVE BEEN DAMAGED DUE TO THE REMOVAL OF ADJACENT WALL AND / OR DUE TO PREVIOUS DAMAGE. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WALL.
6. IN THE EXISTING SPACES TO BE RENOVATED, CONTRACTOR SHALL REMOVE ALL LIGHT SWITCHES, WIRING DEVICES, CONDUIT, CONDUCTORS, ETC FROM THE WALLS BEING DEMOLISHED. DISCONNECT CONDUCTORS IN THE NEAREST J-BOX IN THE CEILING PLENUM.
7. ALL CONCEALED CONDUIT THAT CANNOT BE REMOVED SHALL BE CUT FLUSH WITH THE FINISHED SURFACES AND CAPPED OFF AFTER THE WIRING HAS BEEN DISCONNECTED AND REMOVED FROM THE CONDUIT.
8. IN AREAS WHERE CIRCUIT CONTINUITY IS INTERRUPTED, BUT MUST BE MAINTAINED DUE TO NATURE OF THE FACILITY, MAKE ALL NECESSARY MODIFICATIONS TO THE CIRCUITS IN ORDER TO MAINTAIN CIRCUIT INTEGRITY.
9. ANY ELECTRICAL OR/AND MECHANICAL DEVICES REMOVED DURING DEMOLITION SHOULD BE SALVAGED TO OWNER'S STOCK.
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11. VERIFY EXISTING CEILING AND LIGHTING CONDITIONS BEFORE ANY CEILING AND/OR LIGHTING FIXTURES ARE REMOVED. ADDRESS ANY CODE COMPLIANCE ISSUES WITH ARCHITECT AND OWNER.
12. MECHANICAL AND ELECTRICAL ENGINEER MUST VISIT THE SITE AFTER EXISTING CEILING GRID AND TILE HAVE BEEN REMOVED TO DETERMINE WHAT MECHANICAL ITEMS SHOULD REMAIN, REUSED OR SALVAGE TO OWNER'S STOCK.

KEY NOTES:

- D1 REMOVE ART WORK. TAKE EXTREME CARE TO PROTECT IT FROM DAMAGE. STORE AS PER OWNER'S DIRECTIONS.
- D2 OWNER SHALL REMOVE ALL EXISTING FURNITURE AND EQUIPMENT PRIOR TO DEMOLITION.
- D3 REMOVE EXISTING GRC PANELS FROM COLUMNS FROM 14'-0" AFF @ JOINT, TO 18'-0" AFF @ NEXT JOINT.
- D4 REMOVE GRC PANELS FROM WALLS FROM 14'-0" AFF @ JOINT TO 19'-0" AFF @ NEXT JOINT.
- D5 LINE @ FLYING BEAMS ABOVE. REMOVE GRC PANELS FROM FLYING BEAMS. COORDINATE WITH REFLECTED CEILING PLAN
- D6 ALL EXISTING FLOOR SURFACES TO REMAIN. PROTECT AS REQUIRED.



VALENTINER  
CRANE  
BRUNJES  
ONYON



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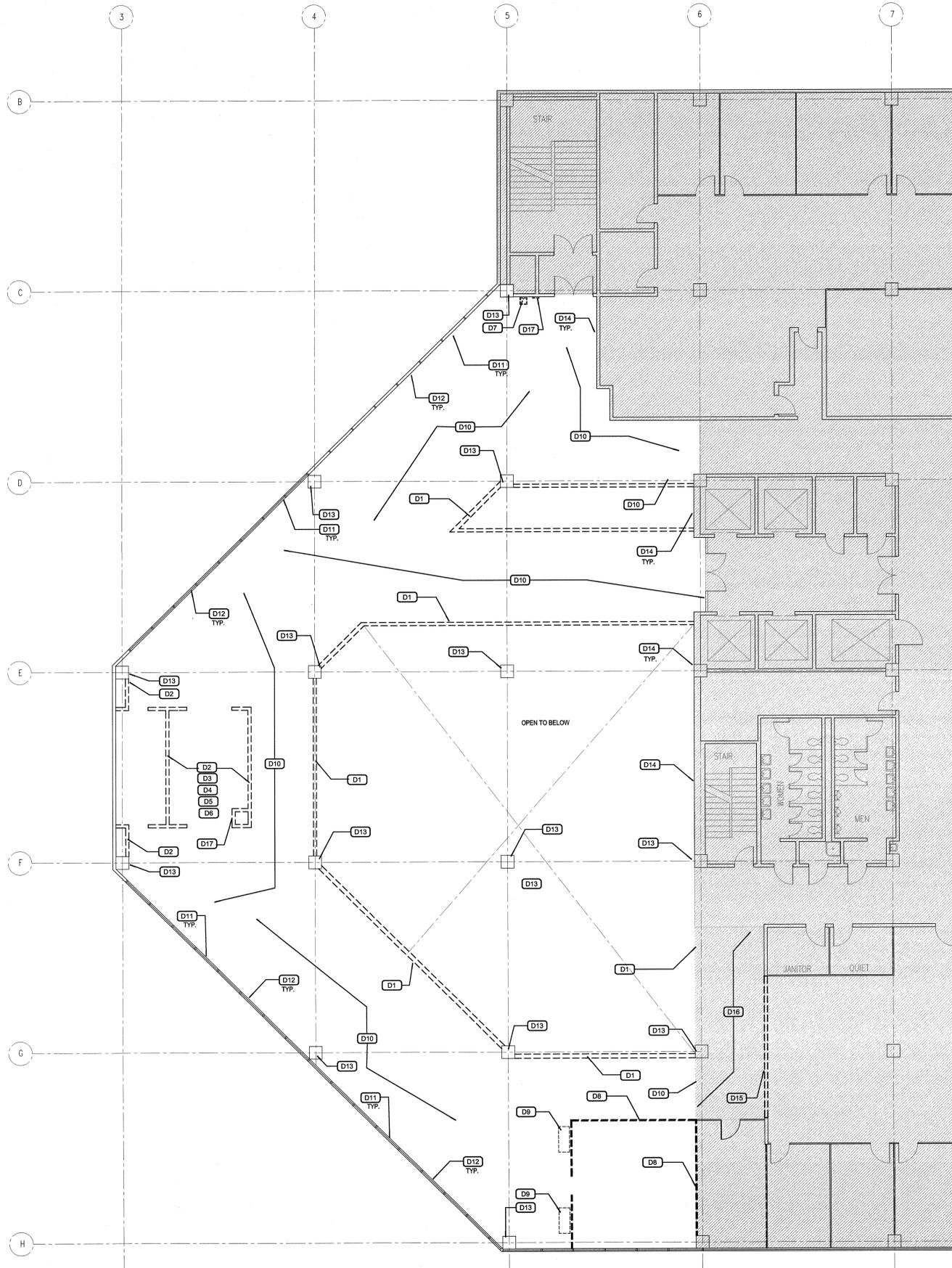
T.I.

Rev #	Date	Description

Job # 05310  
CAD File  
Drawn EZ Checked PB  
Date 05/10/2006  
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Ins. #

Main Floor Demolition Plan

AE001  
Sheet of Sheets



01 Second Floor Demolition Plan  
SCALE: 1/8" = 1'-0"



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  6. IN THE EXISTING SPACES TO BE RENOVATED, CONTRACTOR SHALL REMOVE ALL LIGHT SWITCHES, WIRING DEVICES, CONDUIT, CONDUCTORS, ETC FROM THE WALLS BEING DEMOLISHED. DISCONNECT CONDUCTORS IN THE NEAREST J-BOX IN THE CEILING PLENUM.
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  11. VERIFY EXISTING CEILING AND LIGHTING CONDITIONS BEFORE ANY CEILING AND/OR LIGHTING FIXTURES ARE REMOVED. ADDRESS ANY CODE COMPLIANCE ISSUES WITH ARCHITECT AND OWNER.
  12. MECHANICAL AND ELECTRICAL ENGINEER MUST VISIT THE SITE AFTER EXISTING CEILING GRID AND TILE HAVE BEEN REMOVED TO DETERMINE WHAT MECHANICAL ITEMS SHOULD REMAIN, REUSED OR SALVAGE TO OWNER'S STOCK.

- KEY NOTES:
- D1 REMOVE ALL RAILING, GLASS PANELS, ASSOCIATED PARTS. SALVAGE TO OWNER'S STOCK.
  - D2 REMOVE EXISTING WALLS.
  - D3 REMOVE ALL CABINETRY, STORE AS DIRECTED BY OWNER, REUSE IF POSSIBLE IN NEW LOCATION.
  - D4 CAP ALL PIPES AFTER DISCONNECTING FROM PLUMBING FIXTURES.
  - D5 REMOVE AND CAP ALL MECHANICAL DEVICES THAT WERE SUPPORTING KITCHEN / VENDING OPERATIONS.
  - D6 REMOVE ALL VENDING MACHINES AND OTHER ITEMS SUCH AS REFRIGERATOR, ICE MACHINE, ETC. STORE AS DIRECTED BY OWNER.
  - D7 REMOVE AND RELOCATE EXISTING DRINKING FOUNTAIN AS PER PLANS.
  - D8 REMOVE DEMOUNTABLE PARTITIONS AND DOORS.
  - D9 REMOVE EXISTING CABINETS. SALVAGE TO OWNER'S STOCK.
  - D10 REMOVE EXISTING CARPET AND WALL BASE. PROTECT WALL FINISHES THAT ARE TO REMAIN.
  - D11 REMOVE EXISTING BLIND. SALVAGE TO OWNER'S STOCK.
  - D12 REMOVE ALL WALL COVERING AND GYP. BD. WALL BASE. ALL MECHANICAL AND ELECTRICAL ITEMS FROM PERIMETER WALLS.
  - D13 EXISTING COLUMN TO REMAIN AS IS. PROTECT SURFACE DURING CONSTRUCTION. REPAIR IF DAMAGED.
  - D14 EXISTING WALL FINISH TO REMAIN AS IS. PROTECT SURFACE DURING CONSTRUCTION. REPAIR IF DAMAGED.
  - D15 REMOVE WALL. COORDINATE EXACT DIMENSIONS WITH OWNER.
  - D16 EXISTING CARPET TO REMAIN.
  - D17 EXISTING FIRE EXTINGUISHER CABINET TO BE RELOCATED AS PER PLANS.



ARCHITECTURE  
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BRUNJES  
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DFCM Project # 06187310  
Heber M. Wells Building Remodel  
Salt Lake City, Utah  
T.I.

Rev #	Date	Description

Job # 05310  
CAD File  
Drawn EZ Checked PB  
Date 05/10/2006  
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Second Floor Demolition Plan

AE002  
Sheet of Sheets



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12. MECHANICAL AND ELECTRICAL ENGINEER MUST VISIT THE SITE AFTER EXISTING CEILING GRID AND TILE HAVE BEEN REMOVED TO DETERMINE WHAT MECHANICAL ITEMS SHOULD REMAIN, REUSED OR SALVAGE TO OWNER'S STOCK.

**ELECTRICAL NOTES**

**LIGHTING SYSTEM & FIXTURES**  
1. ELECTRICAL CONTRACTOR SHALL REMOVE ALL LIGHTING FIXTURES FOR STORAGE AT A PLACE TO BE DESIGNATED BY THE OWNER. ELECTRICAL CONTRACTOR SHALL LEAVE IN PLACE THE RELOC CABLE, WHICH IS ATTACHED TO THE LIGHTING FIXTURE. THE CABLE SHALL BE SECURED TO THE FIXTURE IN A MANNER TO BE DETERMINED BY THE BUILDING OWNER. ELECTRICAL CONTRACTOR SHALL RETAIN ALL OF THE RELOC LIGHTING WIRING SYSTEM COMPONENTS AND SHALL CONTACT THE BUILDING OWNER AS TO WHERE THESE COMPONENTS WILL BE STORED FOR FUTURE USE. ELECTRICAL CONTRACTOR SHALL LEAVE IN PLACE THE HOMERUN MODULES FOR THE LIGHTING SYSTEM AS WELL AS THE CONDUIT, WIRE AND BOXES FROM THE MODULE TO THE PANELBOARD.

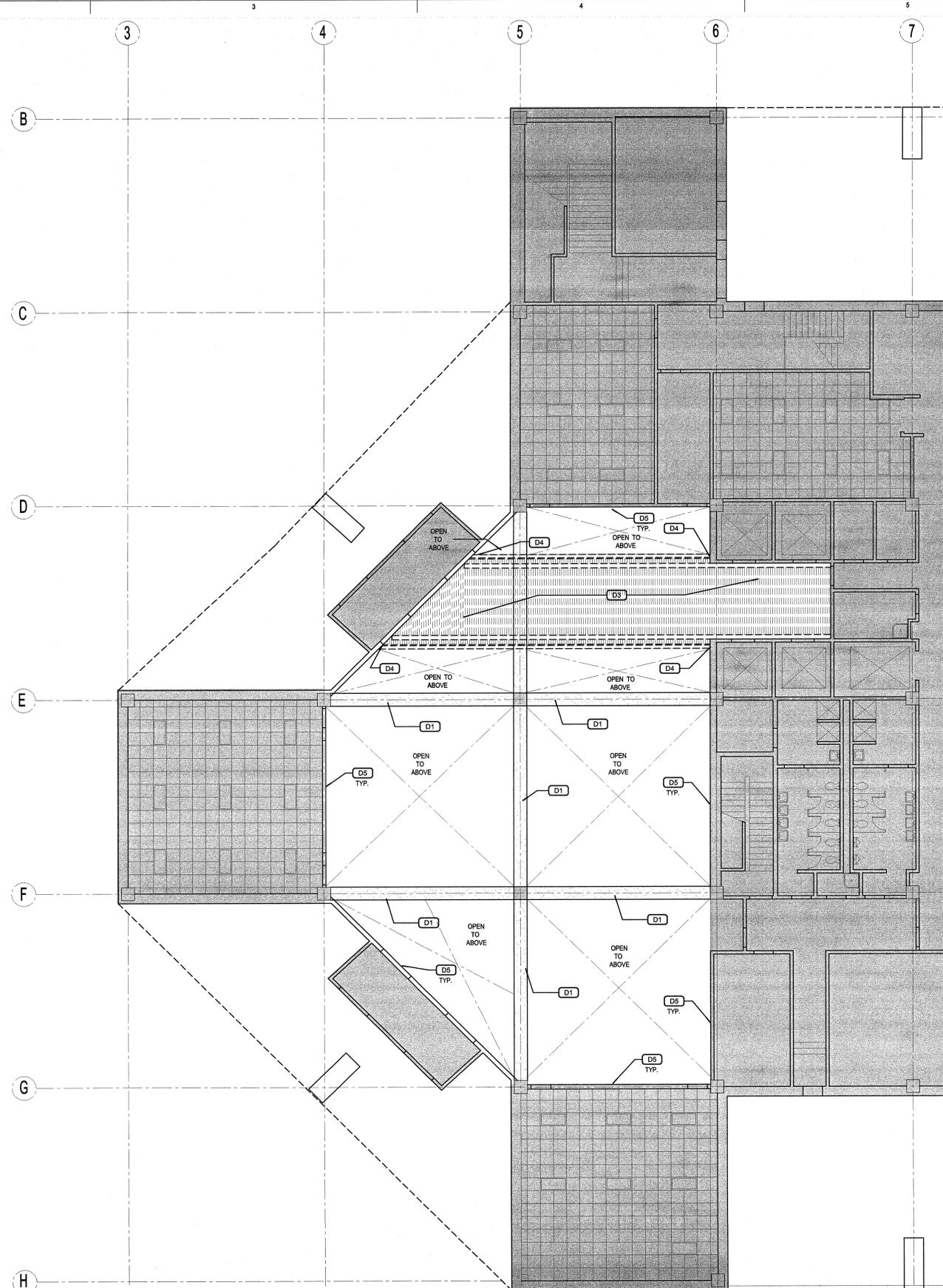
**FIRE ALARM SYSTEM**  
2. ELECTRICAL CONTRACTOR SHALL REMOVE ALL FIRE ALARM DEVICES, WIRE, BOXES AND CONDUIT ON THE FLOORS. ALL DEVICES THAT SHALL BE REMOVED SHALL BE DONE SO THAT THE INTEGRITY OF THE FIRE ALARM SYSTEM IS MAINTAINED DURING THE ENTIRE PHASE OF DEMOLITION AS WELL AS THE CONSTRUCTION PHASE. ALL DEVICES SHALL BE RETAINED AND STORED IN AN AREA DESIGNATED BY THE BUILDING OWNER. ELECTRICAL CONTRACTOR TO DISPOSE OF THE CABLING IN A MANNER TO BE APPROVED BY THE BUILDING OWNER.

**CEILING PLAN LEGEND**

- EXISTING CEILING TILE AND LIGHTING TO BE REMOVED.
- EXISTING LIGHT FIXTURE TO BE REMOVED.
- EXISTING METAL CEILING AND LIGHTING TO BE REMOVED.
- EXISTING GYPSUM BOARD CEILING TO BE REMOVED.

**KEYED NOTES:**

- D1** REMOVE ALL GRC PANELS FROM FLYING BEAMS.
- D2** NOT USED.
- D3** REMOVE METAL CEILING, LIGHTING AND ASSOCIATED PARTS IN THIS AREA. SALVAGE TO OWNER'S STOCK.
- D4** PATCH AND REPAIR DAMAGED WALL SURFACES AFTER REMOVING CEILING.
- D5** REMOVE GRC PANELS ALONG PERIMETER WALLS FROM 14'-0" AFF @ JOINT, TO 19'-0" AFF @ NEXT JOINT.



**01 Main Floor Demolition Ceiling Plan**  
SCALE: 1/8" = 1'-0"



DFCM Project # 06187310  
Heber M. Wells Building Remodel  
Salt Lake City, Utah

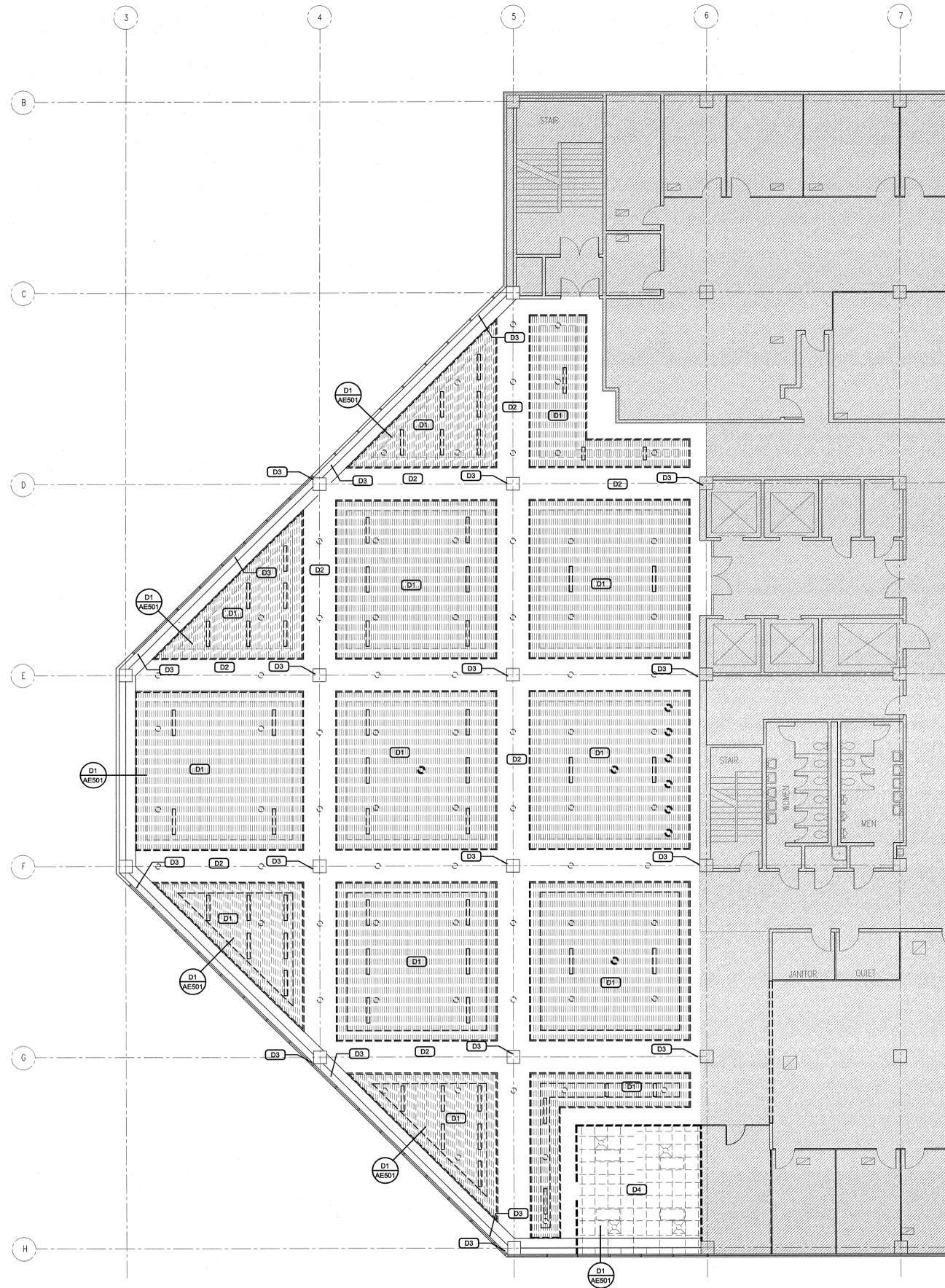
Rev #    Date    Description

Job #    05310  
CAD File  
Drawn    EZ    Checked    PB  
Date    05/10/2006  
Owner #  
Ins. #

Main Floor Demolition Ceiling Plan

**AE021**

Sheet of Sheets



01 Second Floor Demolition Ceiling Plan  
 SCALE: 1/8" = 1'-0"  
 PLAN NORTH

- GENERAL DEMOLITION NOTES:
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  - REPLACE OR REPAIR GYPSUM BOARD AFTER DEMOLITION WHERE WALLS HAVE BEEN DAMAGED DUE TO THE REMOVAL OF ADJACENT WALL AND / OR DUE TO PREVIOUS DAMAGE. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WALL.
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  - ANY ELECTRICAL OR/AND MECHANICAL DEVICES REMOVED DURING DEMOLITION SHOULD BE SALVAGED TO OWNER'S STOCK.
  - CARE SHOULD BE TAKEN AS NOT TO DAMAGE ANY HVAC CONTROLS WIRING DURING DEMOLITION AND RENOVATION PROCESS. ANY DAMAGE SHOULD BE REPORTED IMMEDIATELY, SO THAT THEY MAY BE EASILY CORRECTED BEFORE PROBLEMS DEVELOP.
  - VERIFY EXISTING CEILING AND LIGHTING CONDITIONS BEFORE ANY CEILING AND/OR LIGHTING FIXTURES ARE REMOVED. ADDRESS ANY CODE COMPLIANCE ISSUES WITH ARCHITECT AND OWNER.
  - MECHANICAL AND ELECTRICAL ENGINEER MUST VISIT THE SITE AFTER EXISTING CEILING GRID AND TILE HAVE BEEN REMOVED TO DETERMINE WHAT MECHANICAL ITEMS SHOULD REMAIN, REUSED OR SALVAGE TO OWNER'S STOCK.

- ELECTRICAL NOTES
- LIGHTING SYSTEM & FIXTURES  
 1. ELECTRICAL CONTRACTOR SHALL REMOVE ALL LIGHTING FIXTURES FOR STORAGE AT A PLACE TO BE DESIGNATED BY THE OWNER. ELECTRICAL CONTRACTOR SHALL LEAVE IN PLACE THE RELOC CABLE WHICH IS ATTACHED TO THE LIGHTING FIXTURE. THE CABLE SHALL BE SECURED TO THE FIXTURE IN A MANNER TO BE DETERMINED BY THE BUILDING OWNER. ELECTRICAL CONTRACTOR SHALL RETAIN ALL OF THE RELOC LIGHTING WIRING SYSTEM COMPONENTS AND SHALL CONTACT THE BUILDING OWNER AS TO WHERE THESE COMPONENTS WILL BE STORED FOR FUTURE USE. ELECTRICAL CONTRACTOR SHALL LEAVE IN PLACE THE HOMERUN MODULES FOR THE LIGHTING SYSTEM AS WELL AS THE CONDUIT, WIRE AND BOXES FROM THE MODULE TO THE PANEL BOARD.
- FIRE ALARM SYSTEM  
 2. ELECTRICAL CONTRACTOR SHALL REMOVE ALL FIRE ALARM DEVICES, WIRE, BOXES AND CONDUIT ON THE FLOORS. ALL DEVICES THAT SHALL BE REMOVED SHALL BE DONE SO THAT THE INTEGRITY OF THE FIRE ALARM SYSTEM IS MAINTAINED DURING THE ENTIRE PHASE ON DEMOLITION AS WELL AS THE CONSTRUCTION PHASE. ALL DEVICES SHALL BE RETAINED AND STORED IN AN AREA DESIGNATED BY THE BUILDING OWNER. ELECTRICAL CONTRACTOR TO DISPOSE OF THE CABLING IN A MANNER TO BE APPROVED BY THE BUILDING OWNER.

CEILING PLAN LEGEND

- EXISTING CEILING TILE AND LIGHTING TO BE REMOVED.
- EXISTING LIGHT FIXTURE TO BE REMOVED.
- EXISTING METAL CEILING AND LIGHTING TO BE REMOVED.
- EXISTING GYPSUM BOARD CEILING TO BE REMOVED.

KEYED NOTES:

- D1 REMOVE ALL EXISTING METAL CEILING AND LIGHTING. SALVAGE TO OWNER'S STOCK.
- D2 REMOVE GYPSUM BOARD CEILING ABOVE METAL CEILING. SEE DETAIL D1/AE501. EXISTING FIRE SPRINKLERS TO BE REUSED.
- D3 PROTECT COLUMNS AND WALL SURFACES FROM DAMAGE DURING DEMOLITION.
- D4 REMOVE CEILING AND LIGHT FIXTURES.



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 CRANE  
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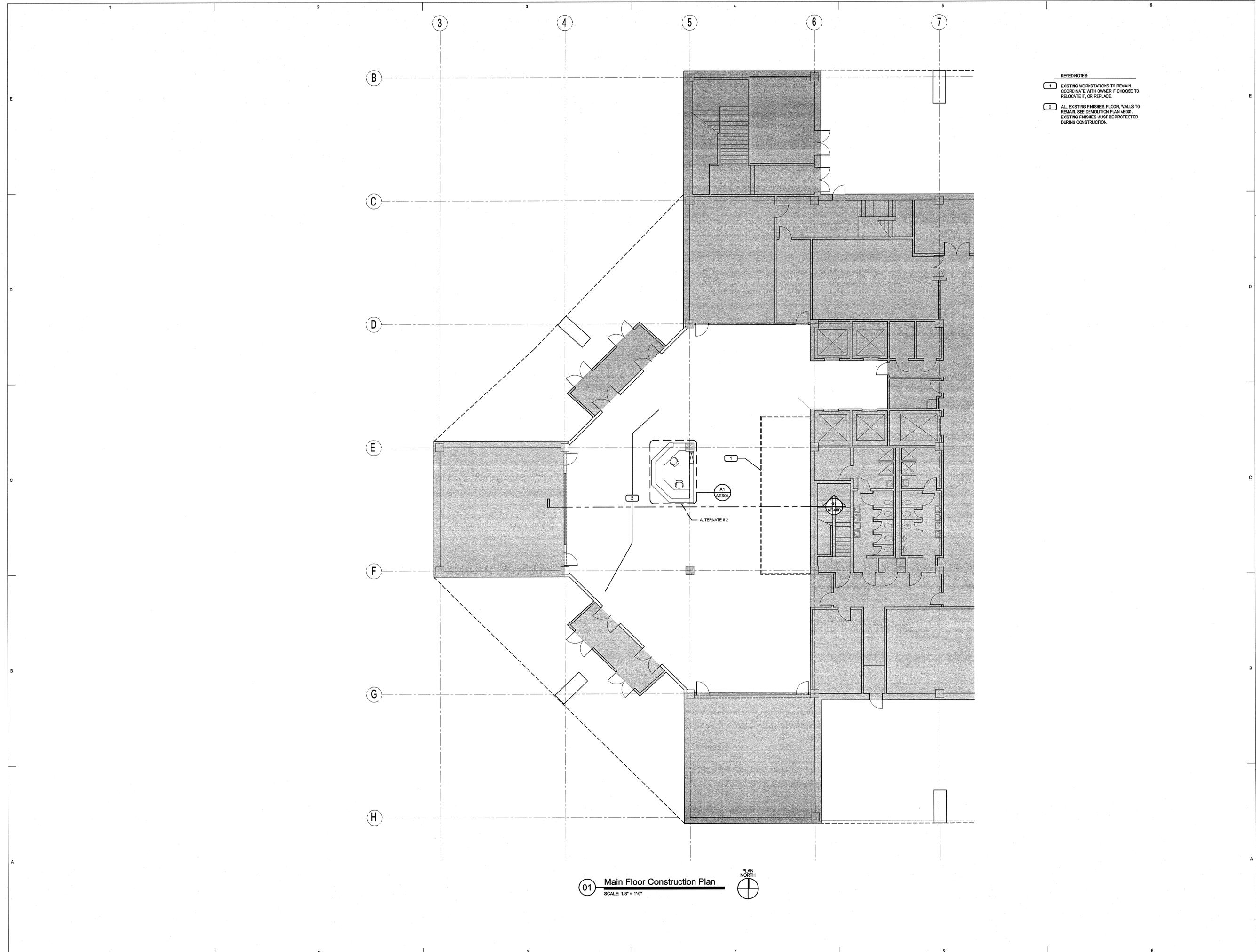
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Iss. #	

Second Floor Demolition  
 Ceiling Plan

AE022  
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- KEYED NOTES:
- 1 EXISTING WORKSTATIONS TO REMAIN. COORDINATE WITH OWNER IF CHOOSE TO RELOCATE IT, OR REPLACE.
  - 2 ALL EXISTING FINISHES, FLOOR, WALLS TO REMAIN. SEE DEMOLITION PLAN AE001. EXISTING FINISHES MUST BE PROTECTED DURING CONSTRUCTION.

01 Main Floor Construction Plan  
SCALE: 1/8" = 1'-0"



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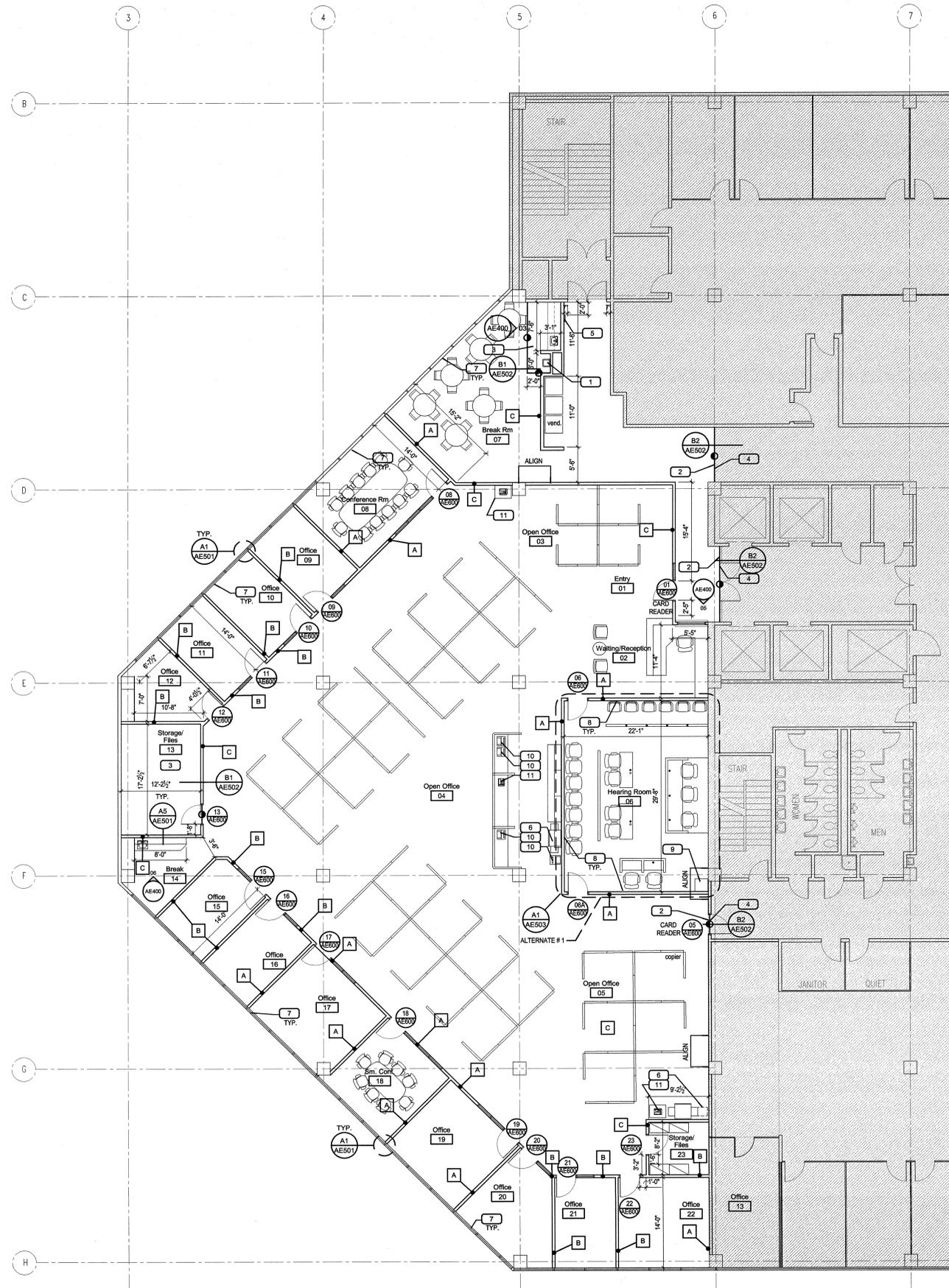
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Main Floor Construction Plan

AE101  
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01 Second Level Floor Plan  
SCALE: 1/8" = 1'-0"



FURNITURE FOR REFERENCE ONLY

- GENERAL NOTES:
1. FOR TYPICAL MOUNTING HEIGHTS AND ADA REQUIREMENTS REFER TO AE500.
  2. PROVIDE 20 GAUGE METAL BLOCKING @ ALL UPPER AND LOWER CABINETS.
  3. ALL DOOR JAMBS TO BE 4" FROM WALL UON.
  4. ALL DIMENSIONS ARE TO FINISH WALLS.
  5. AFTER DEMOLITION, PRIOR TO FINISH, PATCH AND REPAIR ALL EXISTING WALLS AS NECESSARY TO PROVIDE SMOOTH SURFACE SUITABLE FOR PAINTING.
  6. PATCH AND REPAIR EXISTING WALL WHERE ELECTRICAL OR MECHANICAL DEVICES WERE REMOVED.
  7. REPAIR OR REPLACE GYPSUM BOARD AFTER DEMOLITION WHERE WALLS HAVE BEEN DAMAGED DUE TO THE REMOVAL OF AN ADJACENT WALL AND / OR DUE TO PREVIOUS DAMAGED. PROVIDE SMOOTH TRANSITION BETWEEN EXISTING AND NEW WALLS.
  8. PROVIDE HORIZONTAL BLINDS AT ALL NEW WINDOW GLAZING AND EXISTING EXTERIOR GLAZING. REFER TO DOOR AND WINDOW SCHEDULE FOR SIZES.
  9. CONTRACTOR TO PROVIDE FIRE SCHEDULING ON WINDOW WALLS IF MISSING OR REMOVED DURING DEMOLITION.

- FINISH NOTES:
1. ALL NEW SPACE TO RECEIVE NEW CARPET AND NEW WALL BASE AS PER SPECIFICATION. COLOR SELECTED BY OWNER.
  2. ALL NEW SPACE (EXISTING AND NEW WALLS) TO BE PAINTED. COLOR SELECTED BY OWNER.
  3. AREA IN FRONT OF BREAK ROOM CABINETS AND DRINKING FOUNTAIN WALL RECEIVE VCT. COLOR SELECTED BY OWNER.
  4. PLASTIC LAMINATE AS PER SPECIFICATION. COLOR SELECTED BY OWNER.

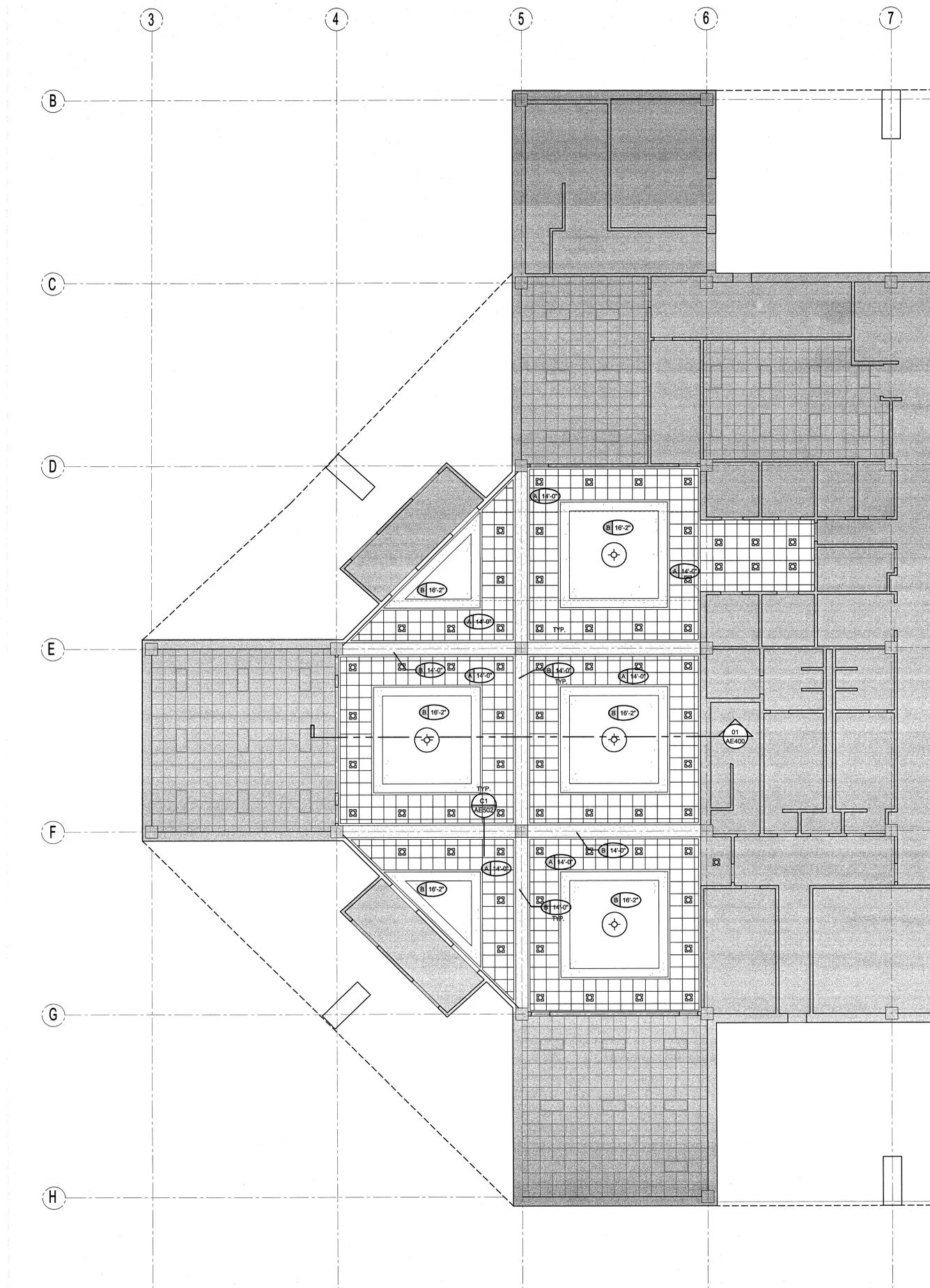
- KEY NOTES:
- 1 RELOCATED DRINKING FOUNTAIN.
  - 2 NEW CARPET FROM THIS POINT.
  - 3 NEW VCT.
  - 4 EXISTING CARPET TO REMAIN TO THIS POINT.
  - 5 RELOCATED FIRE EXTINGUISHING CABINET. SEE DETAIL C3/AE502
  - 6 COPIER N.I.C.
  - 7 INSTALL NEW LAYER GYP. BD ON EXISTING STUDS ALONG PERIMETER WALL. SEAL AROUND WINDOW FRAMES OR IF NECESSARY INSTALL TRIM PIECE TO FINISH ANY UNEVEN EDGE BETWEEN NEW WALL, EXISTING CEILING AND EXISTING WINDOW FRAME. INSTALL NEW VINYL WALL BASE.
  - 8 SOUND PANELS TYP. AT HEARING ROOM
  - 9 SOUND CABINET SEE ELECTRICAL
  - 10 PRINTER N.I.C.
  - 11 FAX N.I.C.

- WALL TYPES:
- A 5/8" GYP. BD ON 3-5/8" METAL STUDS, 16" O.C. WITH SOUND BATT INSULATION IN WALL CAVITY AND ABOVE CEILING TO DECK. SEE DET. A3/AE501.
  - B 5/8" GYP. BD ON 3-5/8" METAL STUDS, 16" O.C. WITH BATT INSULATION IN WALL CAVITY AND 6" ABOVE CEILING. SEE DET. B2/AE501, A5/AE501.
  - C 5/8" GYP. BD ON 3-5/8" METAL STUDS, 16" O.C. WITHOUT INSULATION. SEE DET. B2/AE501 & A5/AE501.



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**CEILING GENERAL NOTES**

1. ALL LIGHT FIXTURES SHALL BE PLACED IN THE CENTER OF THE GYP. BOARD AREA OR CEILING GRID UNLESS OTHERWISE NOTED.
2. FOR INSTALLATION OF CEILING GRID REF. BA/AE501.
3. PAINT ALL GYP. BO. CEILINGS & SOFFITS.
4. SHADED AREAS INDICATE EXISTING CEILING & FIXTURES TO REMAIN (NOT LISTED IN LEGEND.)
5. MODIFY SPRINKLER HEAD LOCATIONS TO ACCOMMODATE NEW LIGHTING PLAN. RAISE & LOWER TO ACCOMMODATE NEW CEILING HEIGHTS.
6. CONTRACTOR TO REPLACE ALL CEILING GRIDS & TILE WHERE ALL WALLS WERE REMOVED AS NECESSARY TO MAKE CEILING CONTINUOUS.
7. FOR TYPICAL INSTALLATION OF CEILING AT WALL SEE DETAIL BA/AE501.

**CEILING TYPES**

- (A) X-X' 2'X2' SUSPENDED GRID SYSTEM AND ACOUSTICAL PANELS
- (B) X-X' PAINTED GYPSUM BOARD

**ELECTRICAL NOTES**

- LIGHTING SYSTEM & FIXTURES**  
 1. ELECTRICAL CONTRACTOR SHALL REMOVE ALL LIGHTING FIXTURES FOR STORAGE AT A PLACE TO BE DESIGNATED BY THE OWNER. ELECTRICAL CONTRACTOR SHALL LEAVE IN PLACE THE RELOC. CABLE, WHICH IS ATTACHED TO THE LIGHTING FIXTURE. THE CABLE SHALL BE SECURED TO THE FIXTURE IN A MANNER TO BE DETERMINED BY THE BUILDING OWNER. ELECTRICAL CONTRACTOR SHALL RETAIN ALL OF THE RELOC. LIGHTING WIRING SYSTEM COMPONENTS AND SHALL CONTACT THE BUILDING OWNER AS TO WHERE THESE COMPONENTS WILL BE STORED FOR FUTURE USE. ELECTRICAL CONTRACTOR SHALL LEAVE IN PLACE THE HOMERUN MODULES FOR THE LIGHTING SYSTEM AS WELL AS THE CONDUIT, WIRE AND BOXES FROM THE MODULE TO THE PANELBOARD.
- FIRE ALARM SYSTEM**  
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**CEILING PLAN LEGEND**

- NEW 2'X2' SUSPENDED GRID SYSTEM W/ 2'X2' ACOUSTICAL PANELS
- NEW GYP. BOARD

01 Main Floor Reflected Ceiling Plan  
 SCALE: 1/8" = 1'-0"  
 PLAN NORTH



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Main Floor Reflected Ceiling Plan

AE121  
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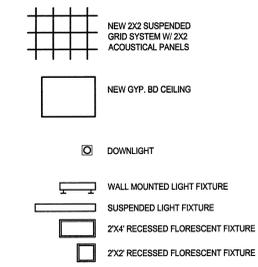
**CEILING GENERAL NOTES**

1. ALL LIGHT FIXTURES SHALL BE PLACED IN THE CENTER OF THE GYP. BOARD AREA OR CEILING GRID UNLESS OTHERWISE NOTED.
2. FOR INSTALLATION OF CEILING GRID REF: BA/AE501.
3. PAINT ALL GYP. BD. CEILINGS & SOFFITS.
4. SHADED AREAS INDICATE EXISTING CEILING & FIXTURES TO REMAIN (NOT LISTED IN LEGEND.)
5. MODIFY SPRINKLER HEAD LOCATIONS TO ACCOMMODATE NEW LIGHTING PLAN. RAISE & LOWER TO ACCOMMODATE NEW CEILING HEIGHTS.
6. CONTRACTOR TO REPLACE ALL CEILING GRIDS & TILE WHERE ALL WALLS WERE REMOVED AS NECESSARY TO MAKE CEILING CONTINUOUS.
7. FOR TYPICAL INSTALLATION OF CEILING AT WALL SEE DETAIL BA/AE501.

**CEILING TYPES**

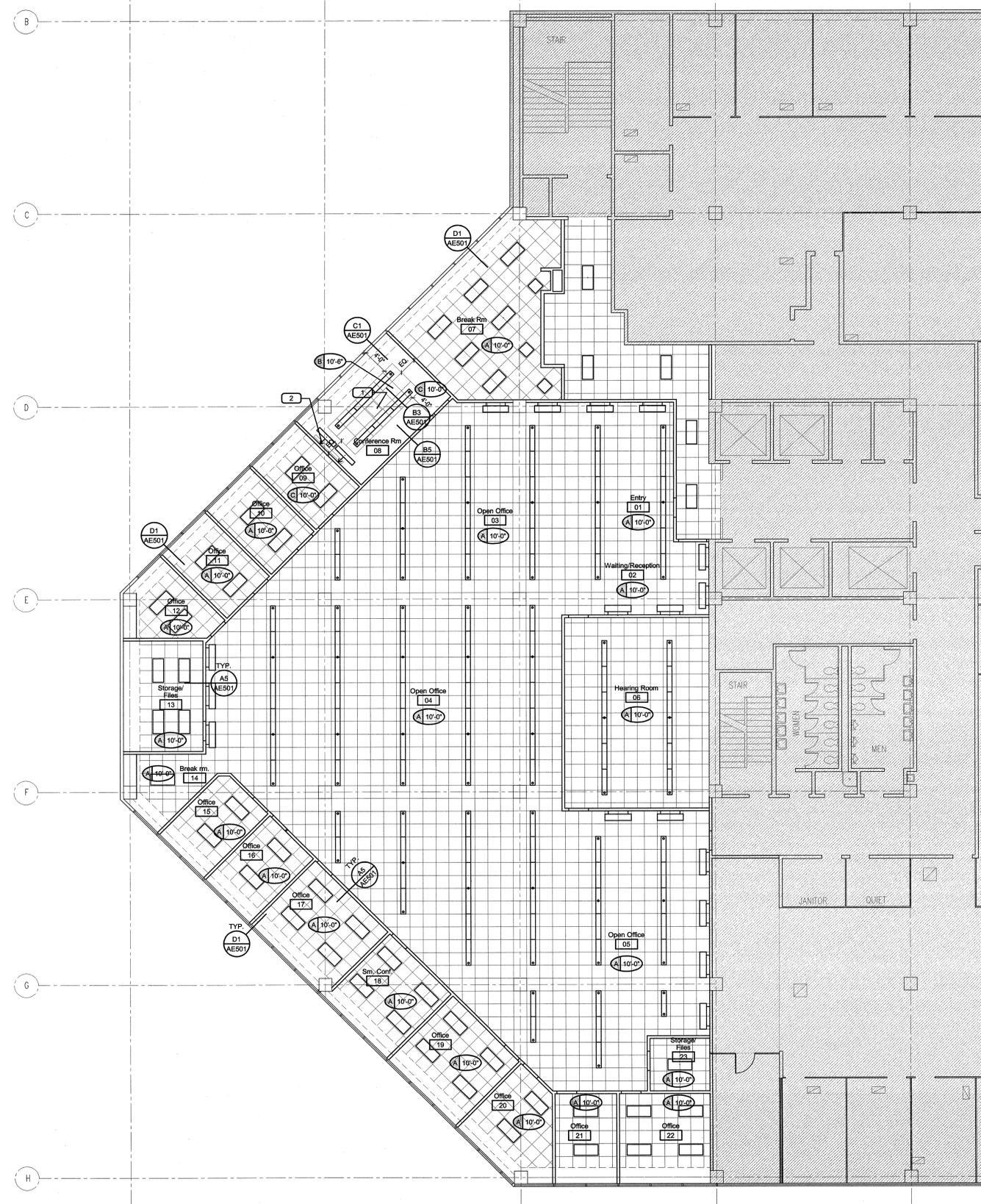
- (A) 10'-0" 2'X2' SUSPENDED GRID SYSTEM AND ACOUSTICAL PANEL, TYPICAL CEILING HEIGHT.
- (B) 10'-0" 2'X2' SUSPENDED GRID SYSTEM AND ACOUSTICAL PANEL.
- (C) 10'-0" PAINTED GYPSUM BOARD

**CEILING PLAN LEGEND**



**KEY NOTES:**

1. CEILING MOUNTED PROJECTOR, SEE DET. A1/AE501.
2. CEILING MOUNTED PROJECTOR SCREEN, SEE DET. C2/AE501.



**01 Second Floor Reflected Ceiling Plan**  
SCALE: 1/8" = 1'-0"



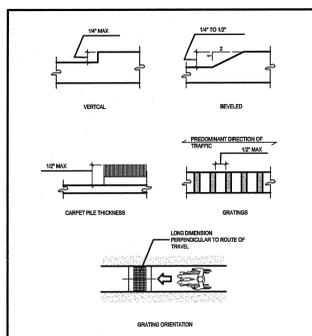
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**Heber M. Wells Building Remodel**  
Salt Lake City, Utah

Rev #	Date	Description

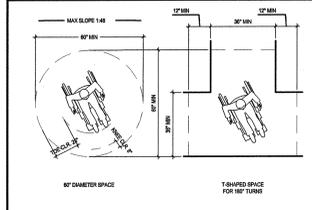
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Second Floor Reflected Ceiling Plan

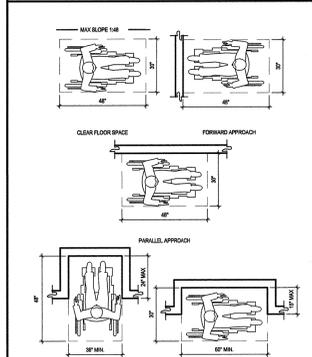




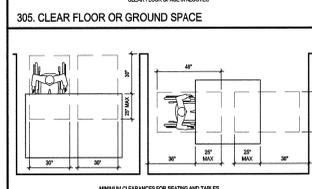
303. CHANGES IN LEVEL



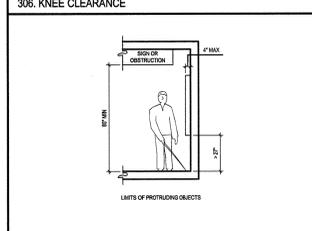
304. WHEELCHAIR TURNING SPACE



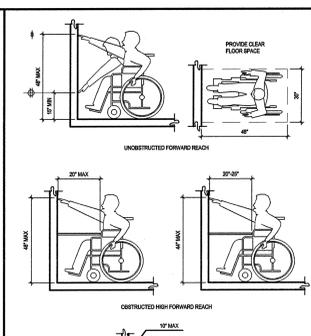
305. CLEAR FLOOR OR GROUND SPACE



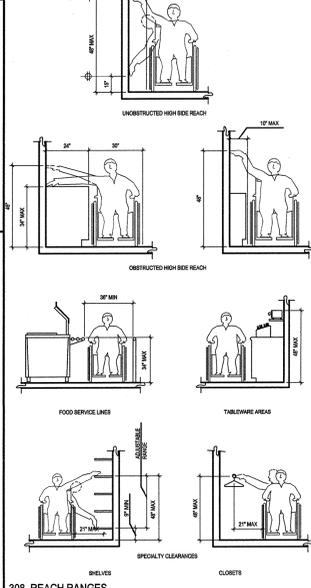
306. KNEE CLEARANCE



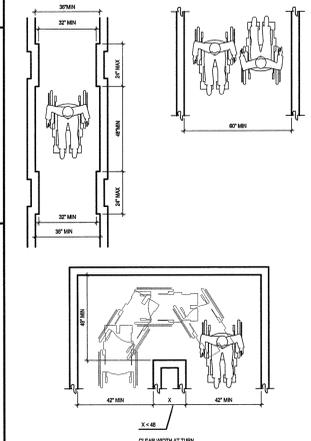
307. PROTRUDING OBJECTS



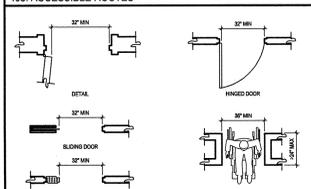
308. REACH RANGES



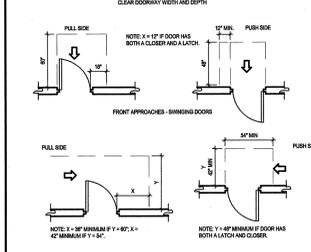
309. DOORS AND DOORWAYS



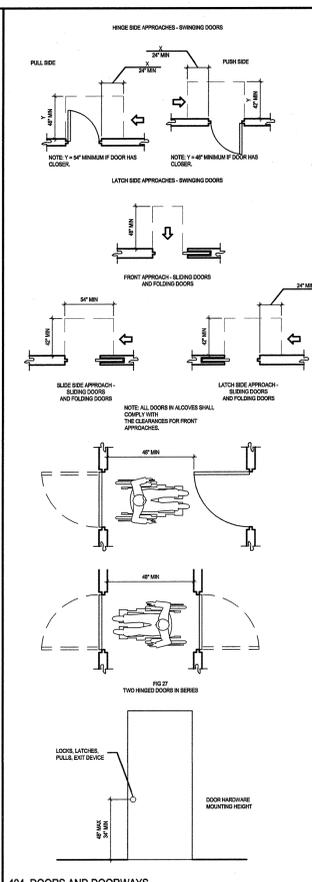
310. RAMP



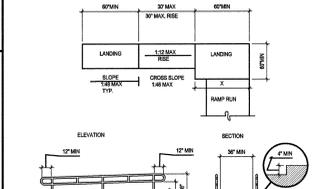
311. CURB ANGLES



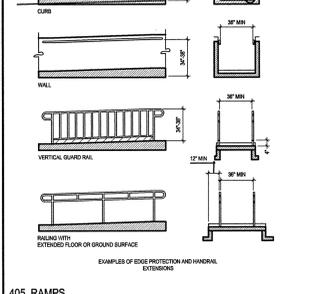
312. ELEVATORS



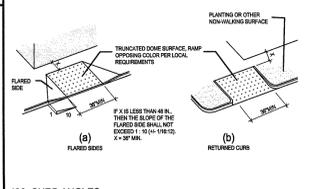
313. HANDRAILS



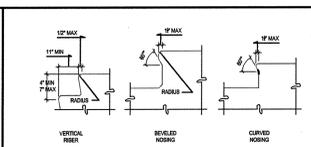
314. DRINKING FOUNTAINS



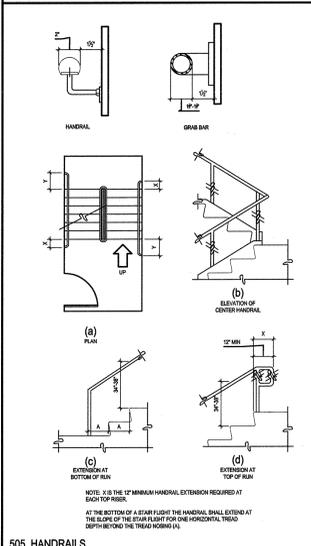
315. TOILETS AND TOILET COMPARTMENTS



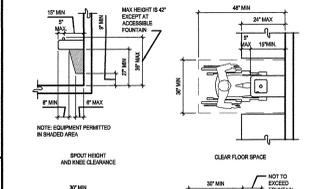
316. SHOWER COMPARTMENTS



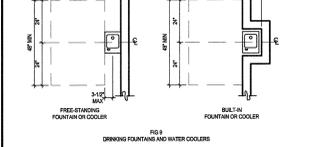
317. STAIR NOSINGS



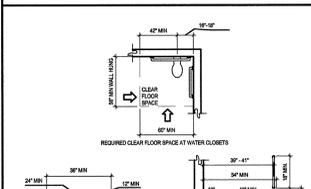
318. HANDRAILS



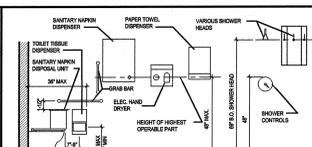
319. DRINKING FOUNTAINS



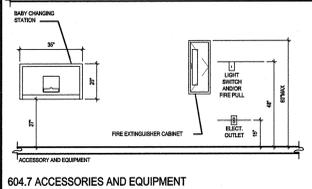
320. TOILETS AND TOILET COMPARTMENTS



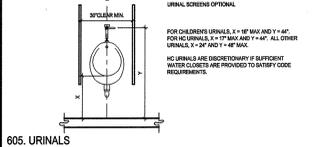
321. SHOWER COMPARTMENTS



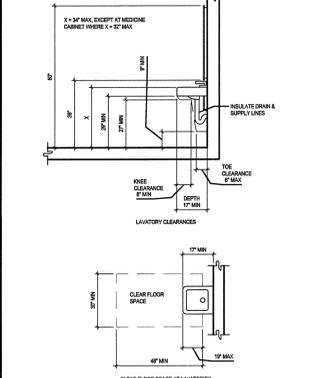
322. SHOWER COMPARTMENTS



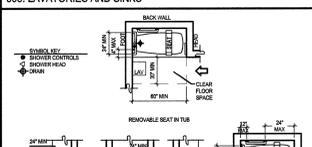
323. ACCESSORIES AND EQUIPMENT



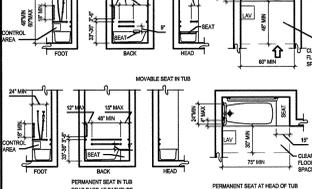
324. URINALS



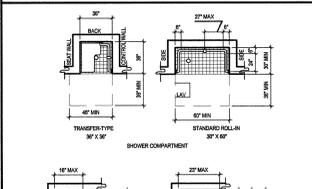
325. LAVATORIES AND SINKS



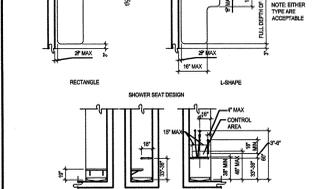
326. BATHTUBS



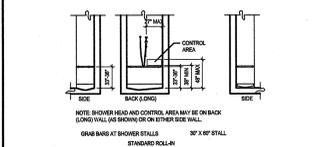
327. SHOWER COMPARTMENTS



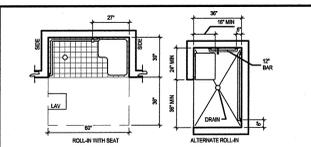
328. SHOWER COMPARTMENTS



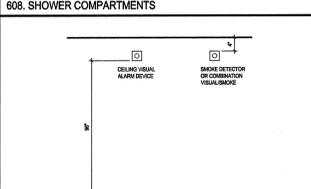
329. SHOWER COMPARTMENTS



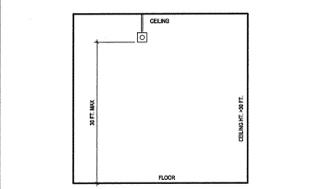
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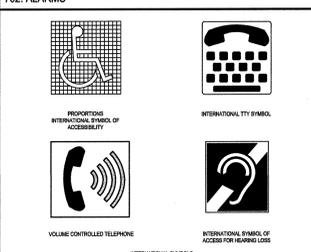
331. SHOWER COMPARTMENTS



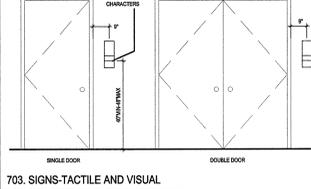
332. ACCESSORIES AND EQUIPMENT



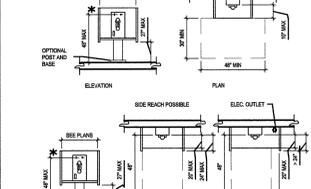
333. ALARMS



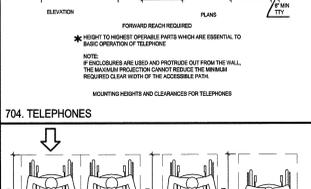
334. SIGNS-TACTILE AND VISUAL



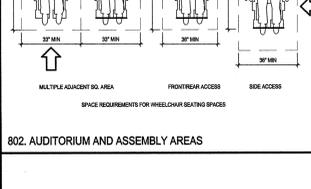
335. SHOWER COMPARTMENTS



336. SHOWER COMPARTMENTS



337. SHOWER COMPARTMENTS



338. SHOWER COMPARTMENTS



339. SHOWER COMPARTMENTS

**GENERAL NOTES**

- THREE DIGIT NUMBERS REFER TO AISC 117-1800 CHAPTER SECTION NUMBERS.
- ACCESSIBLE SHOWER SEALS AND ROLLING SURFACES WITH A BEARING SURFACE NO STEEPER THAN 1:48. CURBS SHALL BE NO STEEPER THAN 1:48. RAMP SURFACES WITH SLOPES EXCEEDING 1:50 SHALL BE TREATED AS RAMP SURFACES WITH SLOPES NO STEEPER THAN 1:48. PROVIDE HANDRAILS AND EDGE PROTECTION PER AISC 117.100.
- CLEAR FLOOR OR GROUND SURFACES SHALL HAVE A SLOPE NO STEEPER THAN 1:48.
- CONTRACTOR TO PROVIDE BLOODING/BACKING FOR ALL ACCESSIBLE STALLS TO WHITETRAK 200 1/8" T.L.D.C.
- SHOWER FOUNTAINS, TOILETS, AND URINALS ARE TO BE MANUFACTURED AS PER MANUFACTURER'S RECOMMENDATIONS FOR STANDARD UNITS UNLESS THEY ARE DESIGNATED TO BE FOR HANDICAPPED USE. I.C. ACCESSIBLE UNITS TO BE MOUNTED 48" FROM FLOOR.