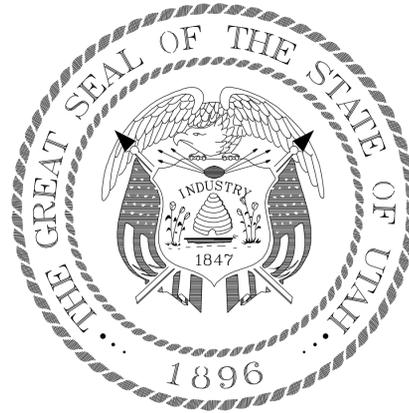


SUCCESS ACADEMY



State of Utah—Department of Administrative Services

DIVISION OF FACILITIES CONSTRUCTION AND MANAGEMENT

4110 State Office Building/Salt Lake City, Utah 84114/538-3018

SARGENT DESIGN GROUP
ARCHITECTURE | PLANNING

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State of Utah—Department of Administrative Services
DIVISION OF FACILITIES CONSTRUCTION AND MANAGEMENT
4110 State Office Building/Salt Lake City, Utah 84114/538-3018

Project:
SUCCESS ACADEMY
MULTI-PURPOSE BUILDING REMODEL

Sheet Title:
COVER SHEET

Revisions:
△ 2.17.01 CODE REVIEW

PROJECT NUMBER: 01418
DATE: 07.11.01
DRAWN BY: J.C.S.
CHECKED BY: J.C.S.
APPROVED BY: J.C.S.

G1.01
SHEET NUMBER:
Sheet of

PROJECT INFORMATION

OWNER: DIVISION OF FACILITIES CONSTRUCTION AND MANAGEMENT
STATE OF UTAH

INSTITUTION: SOUTHERN UTAH UNIVERSITY
CEDAR CITY, UTAH

PROJECT TITLE: MULTIPURPOSE CENTER - SUCCESS ACADEMY REMODEL

PROJECT NUMBER: 01035130

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A2. 11 FLOOR PLAN - FIRE RATED ASSEMBLIES
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△ SHEETS REVISED AS NOTED IN RESPONSE LETTER.

CODE ANALYSIS

APPLICABLE CODES

	Year	Year
International Building Code	2004	National Electrical Code 2005
International Mechanical Code	2004	Uniform Code for Building Conservation
International Plumbing Code	2004	ADA Accessibility Guidelines
International Fire Code	2004	2003 IBC 2003
International Energy Conservation Code	2004	

A. Occupancy and Group:
A3 OCCUPANCY (EXISTING GYMNASIUM AND DANCE STUDIO TO REMAIN)
B OCCUPANCY (EXISTING SUU TO REMAIN)
E OCCUPANCY (SUCCESS ACADEMY HIGH SCHOOL NEW)
 Change in Use: Yes X No _____
 Mixed Occupancy: Yes X No _____
 Special Use and Occupancy (e.g. High Rise, Covered Mall): **NO**

B. Seismic Design Category: **ID**
 Design Wind Speed: **90 mph, EXPOSURE D**

C. Type of Construction (circle one):
 I/A I/B II/A II/B III/A **III/B** IV/HT V/A V/B

D. Fire Resistance Rating
 Requirements for the Exterior Walls based on the fire separation distance (in hours):
 North: 2 South: 2
 East: 2 West: 2

EXISTING EXTERIOR WALLS ARE 8" CONCRETE BLOCK WITH 4" MASONRY BRICK VENEER.
 EXISTING EXTERIOR WALL FIRE RATING PER IBC SECTION 7, TABLE 703.1(2) IS 3.5 HOURS.

E. Mixed Occupancies: **ASSEMBLY, BUSINESS AND EDUCATION**
 Nonseparated Uses: **NONE**

F. Sprinklers:
 Required: YES Provided: YES
 Type of Sprinkler System: **AUTOMATIC SPRINKLERS**
 AUTOMATIC SPRINKLER SYSTEM TO BE LOCATED IN THE E OCCUPANCY AREA ON THE UPPER LEVEL ONLY.

G. Number of Stories: TWO Building Height: _____
 14' -0" SOUTH ELEVATION
 23' -6" NORTH ELEVATION

EXISTING BUILDING, DUE TO EXISTING GRADES UPPER LEVEL EXITS SOUTH ON EXISTING GRADE, LOWER LEVEL EXITS NORTH ON EXISTING GRADE.

H. Actual Area:
 LOWER LEVEL - 34,245 SQUARE FEET (INCLUDES GYMNASIUM AND DANCE STUDIO AREAS)
 UPPER LEVEL - 13,959 SQUARE FEET

I. Tabular Area:
 A3 OCCUPANCY - 9,500 S.F.
 B OCCUPANCY - 19,000 S.F.
 E OCCUPANCY - 14,500 S.F.

J. Area Modifications:

$$A_a = A_t + \left[\frac{A_{lf}}{100} \right] + \left[\frac{A_{ls}}{100} \right]$$

EXISTING LOWER LEVEL AREA MODIFICATION
B OCCUPANCY

$$= 19,000 + \left[\frac{(19,000 \times 15)}{100} \right]$$

$$= 33,250 \text{ SQUARE FEET}$$

A3 OCCUPANCY

$$= 9,500 + \left[\frac{(9,500 \times 15)}{100} \right]$$

$$= 16,625 \text{ SQUARE FEET}$$

UPPER LEVEL - NEW AREA MODIFICATIONS
B OCCUPANCY

$$= 19,000 + \left[\frac{(19,000 \times 15)}{100} \right]$$

$$= 33,250 \text{ SQUARE FEET}$$

E OCCUPANCY

$$= 14,500 + \left[\frac{(14,500 \times 15)}{100} \right]$$

$$= 25,315 \text{ SQUARE FEET}$$

A3 OCCUPANCY

$$= 9,600 + \left[\frac{(9,600 \times 15)}{100} \right]$$

$$= 16,625 \text{ SQUARE FEET}$$

Frontage Increase:

$$I_f = 100 \left[\frac{F}{P} - 0.25 \right] \frac{W}{30}$$

$$= 100 \left[\frac{883}{883} - 0.25 \right] \frac{30}{30}$$

$$= 15$$

b) Sum of the Ratio Calculations for Mixed Occupancies:

Actual Area	Allowable Area
A3 OCCUPANCY - 16,625 S.F.	
B OCCUPANCY - 33,250 S.F.	
E OCCUPANCY - 25,315 S.F.	
TOTAL ACTUAL AREA = 13,959 SQUARE FEET (UPPER LEVEL)	
$\frac{1,153}{16,625} = 0.0694$	A3 OCCUPANCY
$\frac{4,433}{33,250} = 0.1333$	B OCCUPANCY
$\frac{8,313}{25,315} = 0.3299$	E OCCUPANCY
0.5326	TOTAL

TOTAL ACTUAL AREA = 34,143 SQUARE FEET (LOWER LEVEL)	
$\frac{11,620}{33,250} = 0.5299$	B OCCUPANCY
$\frac{20,166}{16,625} = 1.213$	A3 OCCUPANCY
1.7429	TOTAL

TOTAL ACTUAL AREA = 34,143 SQUARE FEET (LOWER LEVEL)	
$\frac{11,620}{33,250} = 0.5299$	B OCCUPANCY
$\frac{20,166}{16,625} = 1.213$	A3 OCCUPANCY
1.7429	TOTAL

c) Total Allowable Area for:
 1) One Story: A (1) N/A
 2) Two Story: A (2) _____

A3 OCCUPANCY - 16,625 S.F.
 B OCCUPANCY - 33,250 S.F.
 E OCCUPANCY - 25,315 S.F.

3) Three Story: A (3) N/A
 d) Unlimited Area Building: Yes N/A No _____
 Code Section: N/A

K. Fire Resistance Rating Requirements for Building Elements (hours).

Element	Hours	Assembly Listing	Element	Hours	Assembly Listing
Exterior Bearing Walls	2	*	Floors - Ceiling Floors	2	FC4150
Interior Bearing Walls	0		Roofs - Ceiling Roofs	0	
Exterior Non-Bearing Walls	0		Exterior Doors and Windows	0	
Structural Frame	0		Shaft Enclosures	0	
Partitions - Permanent	2	UPI616	Fire Walls	0	
Fire Barriers	0		Fire Partitions	1	WP4150
			Smoke Partitions	0	

FIRE RATED ASSEMBLIES FROM GYPSUM ASSOCIATION, FIRE RESISTANCE DESIGN MANUAL, 18TH EDITION, GA-600-2006.

*FROM IBC, SECTION 7, TABLE 703.1(2)

L. Design Occupant Load: 184 (UPPER LEVEL)
 Exit Width Required: 36.8 INCHES
 Exit Width Provided: 12 INCHES

THREE EXISTING EXITS LEAD FROM THE UPPER LEVEL ALTERED BY THIS PROJECT. EACH EXIT IS 12 INCHES WIDE.

ADDITIONAL EGRESS LOAD FROM THE LOWER LEVEL INCREASES THE TOTAL EGRESS LOAD TO 248. THIS INCREASES THE REQUIRED WIDTH TO BE 49.6 INCHES.

M. Minimum Number of Required Plumbing Facilities:
 a) Water Closets - Required (m) 2.5 (f) 2.5
 Provided (m) 1 WC (f) 3 URINALS
 b) Lavatories - Required (m) 2 (f) 2
 Provided (m) 3 (f) 2
 c) Bath Tubs or Showers: N/A
 d) Drinking Fountains: 1 (EXISTING)
 Service Sinks: 1 (EXISTING)

FOOTNOTES:
 1) IN CASE OF CONFLICT WITH THE U.S. DEPARTMENT OF JUSTICE FEDERAL REGISTERS, ADA GUIDELINES AND SPECIFIC REFERENCES TO THE INTERNATIONAL BUILDING CODE ACCESSIBILITY CHAPTERS, THE MORE RESTRICTIVE REQUIREMENTS SHALL GOVERN.
 2) ADDITIONAL CODE INFORMATION SHALL BE PROVIDED AT THE DISCRETION OF THE BUILDING OFFICIAL FOR COMPLEX BUILDINGS, INCLUDING, BUT NOT LIMITED TO:
 A) HIGH RISE REQUIREMENTS.
 B) ATRIUMS.
 C) PERFORMANCE BASED CRITERIA.
 D) MEANS OF EGRESS ANALYSIS.
 E) FIRE ASSEMBLY LOCATION SHEET.
 F) EXTERIOR AND INTERIOR ACCESSIBILITY ROUTE.
 G) FIRE STOPPING, (INCLUDING TESTED DESIGN NUMBER.)

ACCESSIBLE NOTES:

CODE: CURRENT ANSI
 WATER FOUNTAINS:
 1. ONE MUST HAVE A SPOUT WITHIN 36 INCHES OF FLOOR.
 2. SPOUT MUST BE AT THE FRONT OF THE UNIT.
 3. CONTROLS MUST BE AT OR NEAR THE FRONT OF THE UNIT.
 4. A CANTILEVERED UNIT IS REQUIRED TO PROVIDE A CLEAR AREA UNDER THE UNIT OF 21 INCHES HIGH, 30 INCHES WIDE AND 17 INCHES DEEP.
 5. A CLEAR AREA OF 30X48 INCHES IS REQUIRED AT THE FOUNTAIN. THE CLEAR AREA IS REQUIRED TO PROVIDE FOR A FORWARD APPROACH WITH A CANTILEVERED UNIT AND FOR A SIDE APPROACH OTHERWISE.

TOILET FACILITIES:
 1. A 5' DIAMETER UNOBSTRUCTED TURNING SPACE IS REQUIRED IN THE TOILET ROOM.
 2. WHEN A WATER CLOSET IS NOT IN A COMPARTMENT, THE CLEAR AREA REQUIRED IS: A) 48 INCHES WIDE BY 56 INCHES DEEP WITH A SIDE APPROACH. B) 48 INCHES WIDE BY 66 INCHES DEEP WITH A FRONT APPROACH. C) 60 INCHES WIDE BY 56 INCHES DEEP WITH BOTH APPROACHES. D) SIDE BAR IS REQUIRED TO START WITHIN 12 INCHES OF THE BACK WALL AND EXTEND TO 54 INCHES FROM THE BACK WALL. THE REAR BAR IS REQUIRED TO BE 36 INCHES LONG.
 3. WHEN WATER CLOSET IS IN A COMPARTMENT, THE AREA REQUIRED IS: A) 54 INCHES DEEP BY 60 INCHES WIDE WITH A GRAB BAR AT THE BACK AND ONE AT THE SIDE. DOOR IS AT THE FRONT OR SIDE. B) 66 INCHES DEEP BY 36 OR 48 INCHES WIDE WITH GRAB BARS ON BOTH SIDES AND DOOR AT FRONT. C) IF A FLOOR MOUNTED WATER CLOSET IS USED, THE DEPTH DIMENSION INDICATED ABOVE MUST BE INCREASED BY 3 INCHES.
 4. SIDE BARS ARE REQUIRED TO START WITHIN 12 INCHES OF THE BACK WALL AND EXTEND TO 54 INCHES FROM THE BACK WALL. THE REAR BAR IS REQUIRED TO START WITHIN 6 INCHES OF THE SIDE WALL AND BE 36 INCHES LONG. THE BARS ARE TO BE 33 TO 36 INCHES ABOVE THE FINISH FLOOR.
 5. THE TOP OF THE SEAT OF THE WATER CLOSET IS REQUIRED TO BE 11 TO 19 INCHES ABOVE THE FLOOR.
 6. URINALS ARE REQUIRED TO BE STALL TYPE OR HAVE AN ELONGATED RIM AND BE WITHIN 11 INCHES OF THE FLOOR.
 7. A CLEAR AREA OF 30X48 INCHES IS REQUIRED IN FRONT OF THE URINAL.
 8. ACCESSIBLE LAVATORIES SHALL PROVIDE A CLEAR AREA UNDER THE LAVATORY OF 29 INCHES.
 9. A CLEAR AREA OF 30X48 INCHES IS REQUIRED IN FRONT OF THE LAVATORY.
 10. THE BOTTOM OF THE MIRROR IS REQUIRED TO BE WITHIN 40 INCHES OF THE FLOOR.

GENERAL NOTES:

THESE PLANS ARE THE PROPERTY OF DFCM, STATE OF UTAH AND ARE NOT TO BE USED FOR ANY OTHER LOCATION HEREON.

NO CHANGES ARE TO BE MADE TO THESE DRAWINGS WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT/ENGINEER WHOSE SIGNATURE APPLIES HEREON.

DIMENSIONS AS INDICATED ARE THE DIMENSIONS TO BE USED FOR CONSTRUCTION. DO NOT SCALE THE PRINTS. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT DISCREPANCIES TO THE ARCHITECT AND OWNER.

NO FRAMING OF ANY TYPE IS TO BE CONCEALED PRIOR TO INSPECTIONS BY GOVERNING AGENCIES.
 REFERENCE TO ANY DETAILS OR DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWING.

DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY ALL CONTRACTORS. IT IS THE RESPONSIBILITY OF THOSE CONTRACTORS TO EXAMINE THE EXISTING BUILD AND ALL THE CONDITIONS PRIOR TO SUBMITTING BIDS TO THE OWNER SINCE PROPOSALS MUST TAKE INTO CONSIDERATION ALL SUCH CONDITIONS AS IT MAY AFFECT WORK. DISCREPANCIES IN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE RESPONSIBLE PARTIES AND TO THE OWNER. CORRECTED DRAWINGS AND INSTRUCTIONS SHALL BE ISSUED BY THE OWNER PRIOR TO THE INSTALLATION OF ANY WORK. ALL DIMENSIONS ARE TO BE ROUGH UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.

ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODE AND WITH OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF CONSTRUCTION.

IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIAL REQUIRED BY BUILDING CODES OR FOR THE ARCHITECT AND THE OWNER ANY DISCREPANCIES OF CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.

ABBREVIATIONS THROUGH OUT PLANS ARE THOSE IN COMMON USE. NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.

ACCESS PANELS SHALL BE PROVIDED AND INSTALLED WHEREVER REQUIRED BY BUILDING CODES OR FOR THE PROPER OPERATION OR MAINTENANCE OF MECHANICAL PLUMBING OR ELECTRICAL EQUIPMENT, WHETHER OR NOT INDICATED ON THE DRAWINGS. CONTRACTORS SHALL COORDINATE SIZE LOCATION AND TYPE OF ACCESS PANEL WITH OTHER CONTRACTORS WORK AND RECEIVE APPROVAL OF THE ARCHITECT. ACCESS PANELS SHALL BE LOCATED IN AREAS AS INCONSPICUOUS AS POSSIBLE WITHOUT AFFECTING NORMAL OPERATION OR MAINTENANCE OF MECHANICAL, PLUMBING OR ELECTRICAL SYSTEMS.

ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT, AND SHALL BE IN COMPLIANCE WITH ALL APPLICABLE ADA/ANSI REQUIREMENTS AS SET FORTH BY LOCAL COUNTY STATE OR NATIONAL JURISDICTION. LEGAL EXITS SHALL NOT BE BLOCKED AT ANY TIME.

FINAL CLEAN-UP AND DISPOSAL. GENERAL CONTRACTOR TO REMOVE ALL DEBRIS, RUBBISH AND WASTE MATERIAL FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY ALL HAULING AND DUMPING COSTS. CONFORM TO APPLICABLE LOCAL, COUNTY, STATE AND NATIONAL LOCAL LAWS, REGULATIONS, CODES AND ORDERS UPON COMPLETION OF WORK. ALL CONSTRUCTION AREAS (AT A MINIMUM) SHALL BE LEFT VACUUM-CLEAN AND FREE FROM DEBRIS, CLEAN, DUST, DIRT, STAINS AND HAND MARKS, PAINT SPOTS, DROPPINGS AND REPAIR ALL BLEMISHES.

ANY/ALL WORK CONSTRUCTED, ORDERED OR INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE TRADE SUBCONTRACTORS AT THOSE CONTRACTOR'S EXPENSE AND AT NO ADDITIONAL EXPENSE, EITHER DIRECT OR INDIRECT TO THE OWNER, ARCHITECT OR ARCHITECT'S OTHER CONSULTANTS.

GENERAL CONTRACTOR SHALL VERIFY ALL FIRE/SAFETY REQUIREMENTS (I.E. SPRINKLER/EXTINGUISHING SYSTEMS) AND SHALL PROVIDE DESIGN AND DEFERRED SUBMITTAL OF THOSE DESIGN DRAWINGS THROUGH THEIR OWN SUBCONTRACTOR.

WHEN NOTES CONFLICT CONTRACTOR TO BRING CONFLICTS TO THE ATTENTION OF THE ARCHITECT FOR VERIFICATION.

MINIMUM MAT'L. SPECS.

- CONCRETE $f_c = 2,000$ P.S.I.
GRADE "N", $f_c = 1,350$ P.S.I.
- MASONRY TYPE "S", 1,800 P.S.I.
- MORTAR $f_m = 2,000$ P.S.I.
- GROUT ASTM A-615, $f_y = 36$ K.S.I.
- REINFORCING STEEL ASTM A-36, $f_y = 36$ K.S.I.
- STRUCTURAL STEEL ASTM A-36, $f_y = 36$ K.S.I.
- GLUE-LAM BEAMS $E = 2,400$ P.S.I., $E = 1.8 \times 10^6$ P.S.I.
- PLYWOOD ROOF 1/2" STANDARD SHEETING WITH EXT. GLUE PANEL INDEX 32/16
- PLYWOOD FLOOR 3/4" T&G STANDARD SHEETING, PANEL INDEX 48/24 (MAY USE BLOCKING, OR 1/4" UNDERLAYMENT, OR 25/32 WOOD STRIP FINISH FLOOR IN LIEU OF T&G) A-307, $E = 33$ K.S.I.
- BOLTS
- LUMBER:

LUMBER USAGE	ALLOWABLE UNIT STRESS
2X4 STUDS	Fc (PARALLEL) = 600 P.S.I.
2X6 STUDS	Fc (PARALLEL) = 675 P.S.I.
2X6 THRU 2X14 JOISTS	Fd (REPETITIVE) = 1,450 P.S.I.
4X BEAMS	Fd (SINGLE) = 1,250 P.S.I.
6X BEAMS	Fd (SINGLE) = 1,350 P.S.I.
4X4 POSTS	Fc (PARALLEL) = 1,000 P.S.I.
6X6 POSTS	Fc (PARALLEL) = 1,000 P.S.I.
TIMBERS (VEGAS)	Fd (SINGLE) = 1,200 P.S.I.
DECKING	Fd (REPETITIVE) = 1,650 P.S.I.
GLUE-LAM BEAMS	Fd (SIMPLE) = 2,400 P.S.I.
GLUE-LAM BEAMS	Fd (CANTILEVER) = 2,400 P.S.I. or (CONTINUOUS)

LUMBER USAGE	MODULUS OF ELASTICITY
2X4 STUDS	1.5 X 10 ⁶ P.S.I.
2X6 STUDS	1.5 X 10 ⁶ P.S.I.
2X6 THRU 2X14 JOISTS	1.7 X 10 ⁶ P.S.I.
4X BEAMS	1.7 X 10 ⁶ P.S.I.
6X BEAMS	1.6 X 10 ⁶ P.S.I.
4X4 POSTS	1.7 X 10 ⁶ P.S.I.
6X6 POSTS	1.6 X 10 ⁶ P.S.I.
TIMBERS (VEGAS)	1.6 X 10 ⁶ P.S.I.
DECKING	1.7 X 10 ⁶ P.S.I.
GLUE-LAM BEAMS	1.8 X 10 ⁶ P.S.I.
GLUE-LAM BEAMS	1.8 X 10 ⁶ P.S.I.

LUMBER USAGE	SPECIES & GRADE OR COMBINATION SYMBOL
2X4 STUDS	D.F.L. #3
2X6 STUDS	D.F.L. #3
2X6 THRU 2X14 JOISTS	D.F.L. #2
4X BEAMS	D.F.L. #2
6X BEAMS	D.F.L. #1
4X4 POSTS	D.F.L. #2
6X6 POSTS	D.F.L. #1
TIMBERS (VEGAS)	D.F.L. #1
DECKING	COMMERCIAL D.F.L.
GLUE-LAM BEAMS	DF/DF 24F-V4
GLUE-LAM BEAMS	DF/DF 24F-V8

*UNLESS NOTED OTHERWISE ON THE DRAWINGS.

TYPICAL SYMBOLS

NAME	ROOM NAME/NUMBER
XXX	ROOM NAME/NUMBER
DTL SHT	DETAIL CALLOUT
DTL SHT	SECTION CALLOUT
DTL SHT	INTERIOR ELEVATION CALLOUT
#	KEYNOTE
#	DOOR NUMBER
#	WINDOW TYPE

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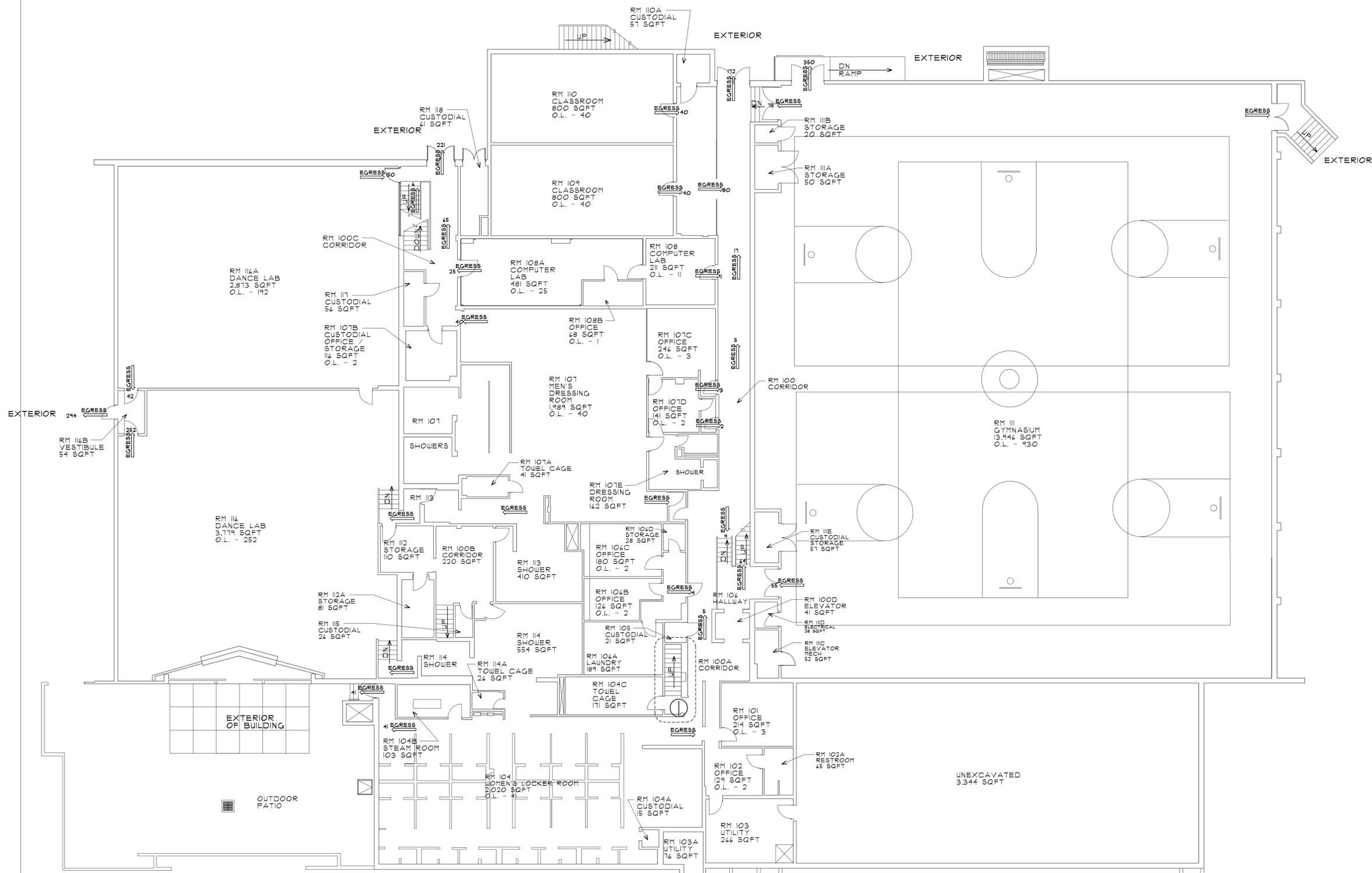
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MULTI-PURPOSE BUILDING REMODEL

Sheet Title:
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 1. 01.14.08 CODE REVIEW
 2. 01.18.08 CODE REVIEW
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EXISTING LOWER LEVEL FLOOR PLAN
 EXISTING OCCUPANCY - BUSINESS
 EXISTING LOWER LEVEL NOT INCLUDED IN PROJECT AND WILL NOT BE MODIFIED DURING CONSTRUCTION.
 A MAJORITY OF THE LOWER LEVEL IS CURRENTLY USED BY THE INTER-COLLEGIATE SPORTS TEAMS AS COACH OFFICE SPACE AND TEAM MEMBER LOCKER SPACE.
 THERE ARE CURRENTLY TWO CLASSROOMS AND TWO COMPUTER LAB ROOMS IN USE ON LOWER LEVEL.
 THE BASKETBALL COURTS ARE NOT USED BY STUDENTS IN GENERAL.
 THE DANCE LAB AREAS ARE USED BY DANCE CLASSES ONLY.

DRAWING NOTES:
 1 STAIRS TO BE ABANDONED. ORIGINALLY ONLY PROVIDED ACCESS TO OLD DANCE LAB FROM DRESSING ROOM ON LOWER LEVEL. WAS NOT USED AS EGRESS FROM DANCE LAB.

FLOOR PLAN - EXISTING LOWER LEVEL
 NOT TO SCALE



REVISOR'S MARK

SARGENT DESIGN GROUP
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 410 State Office Building / Salt Lake City, Utah 84143/208-2018

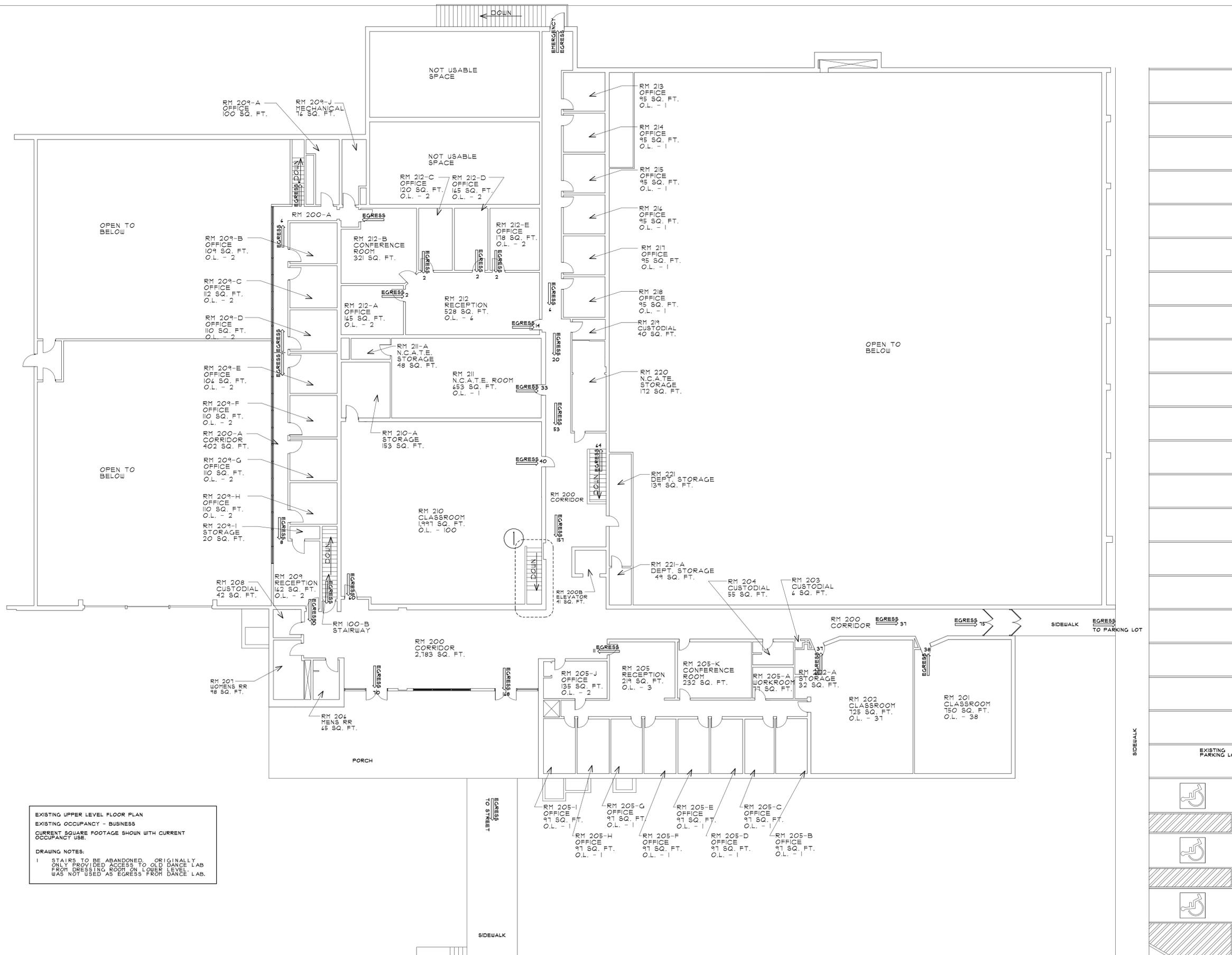
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EXISTING FLOOR PLAN LOWER LEVEL

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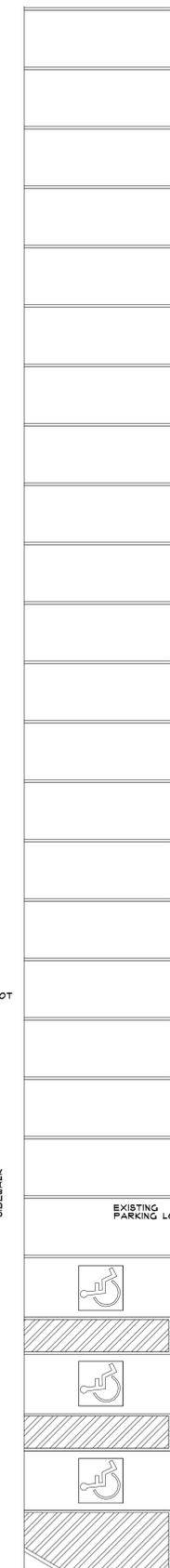
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EXISTING UPPER LEVEL FLOOR PLAN
 EXISTING OCCUPANCY - BUSINESS
 CURRENT SQUARE FOOTAGE SHOWN WITH CURRENT OCCUPANCY USE.

DRAWING NOTES:
 1 STAIRS TO BE ABANDONED. ORIGINALLY ONLY PROVIDED ACCESS TO OLD DANCE LAB FROM DRESSING ROOM ON LOWER LEVEL. WAS NOT USED AS EGRESS FROM DANCE LAB.

FLOOR PLAN - EXISTING UPPER LEVEL
 NOT TO SCALE



Project:
SUCCESS ACADEMY
MULTI-PURPOSE BUILDING REMODEL

Sheet Title:
EXISTING FLOOR PLAN UPPER LEVEL

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 1 12.14.01 CODE REVIEW

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FLOOR PLAN - DEMOLITION
 SCALE: 1/8"=1'-0"



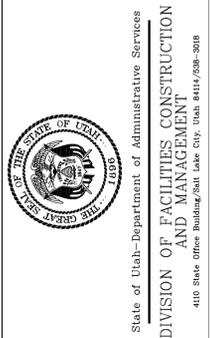
KEY NOTES

- (X) KEY NOTE MARK
- A EXISTING HANDRAIL AND GUARDRAIL TO BE REMOVED.
- B EXISTING STAIRS TO REMAIN. PROVIDE 2X4 STUD WALL AT BOTTOM OF STAIRS WITH 1/2" GYPSUM DRYWALL AS BARRIER.
- C EXISTING MIRRORS TO BE REMOVED AND ANCHORS TO BE REMOVED AND SEALANT APPLIED OVER HOLES.
- D EXISTING CURTAIN TRACK TO BE REMOVED.
- E EXISTING STORAGE ROOM CASEWORK TO REMAIN.
- F DAMAGED GYPSUM DRYWALL TO BE REPAIRED.
- G DAMAGED CEILING TILES TO BE REMOVED AND REPLACED. (CEILING TILE IN COMPUTER ROOM TO BE REMOVED AND REPLACED COMPLETELY.)
- H ALL COSTUMES AND OTHER MATERIALS NOT PART OF FUTURE USE OF ROOM TO BE REMOVED
- I EXISTING CARPET TO BE REMOVED.
- J EXISTING RESTROOM FIXTURES TO BE REMOVED AS REQUIRED. EXISTING URINAL TO BE REMOVED IN EXISTING MEN'S RESTROOM, AS WELL AS RESTROOM PARTITIONS. EXISTING ACCESSORIES TO BE REMOVED AS REQUIRED. ACCESSORIES TO BE REUSED WHEN POSSIBLE.
- K EXISTING PLUMBING CHASE WALL TO REMAIN AND REPAIRED AS REQUIRED.
- L EXISTING DOORS AND DOOR FRAME TO BE REMOVED. REPAIR REMAINING WALL AS REQUIRED.
- M EXISTING WALL BETWEEN OFFICES TO BE REMOVED. EXISTING WALLS REMAINING TO BE REPAIRED AS REQUIRED.
- N EXISTING DOORS TO BE REMOVED.
- O EXISTING CARPET TO BE REMOVED.
- P EXISTING DRINKING FOUNTAIN TO BE REMOVED AND ALL PIPING AND WIRING TO BE CAPED OR REMOVED AS NEEDED.
- Q EXISTING FIREHOSE CABINET TO BE REMOVED. PATCH WALL AS REQUIRED.
- R EXISTING WALL PANELLING TO BE REMOVED AND

GENERAL NOTES:
 CONTRACTOR TO VERIFY EXISTING CONDITIONS BEFORE STARTING DEMOLITION. CONTRACTOR TO REPORT ANY CONFLICTS OR POTENTIAL PROBLEMS TO THE ARCHITECT.
 DURING DEMOLITION CONTRACTOR TO ERECT DUST BARRIERS TO PROTECT ALL AREAS NOT PART OF CONSTRUCTION AS REQUIRED.
 ALL DEBRIS TO BE DISPOSED OF IN APPROVED LANDFILL.
 ALL WORK TO BE DONE IN ACCORDANCE WITH SUU STANDARDS.

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Project:
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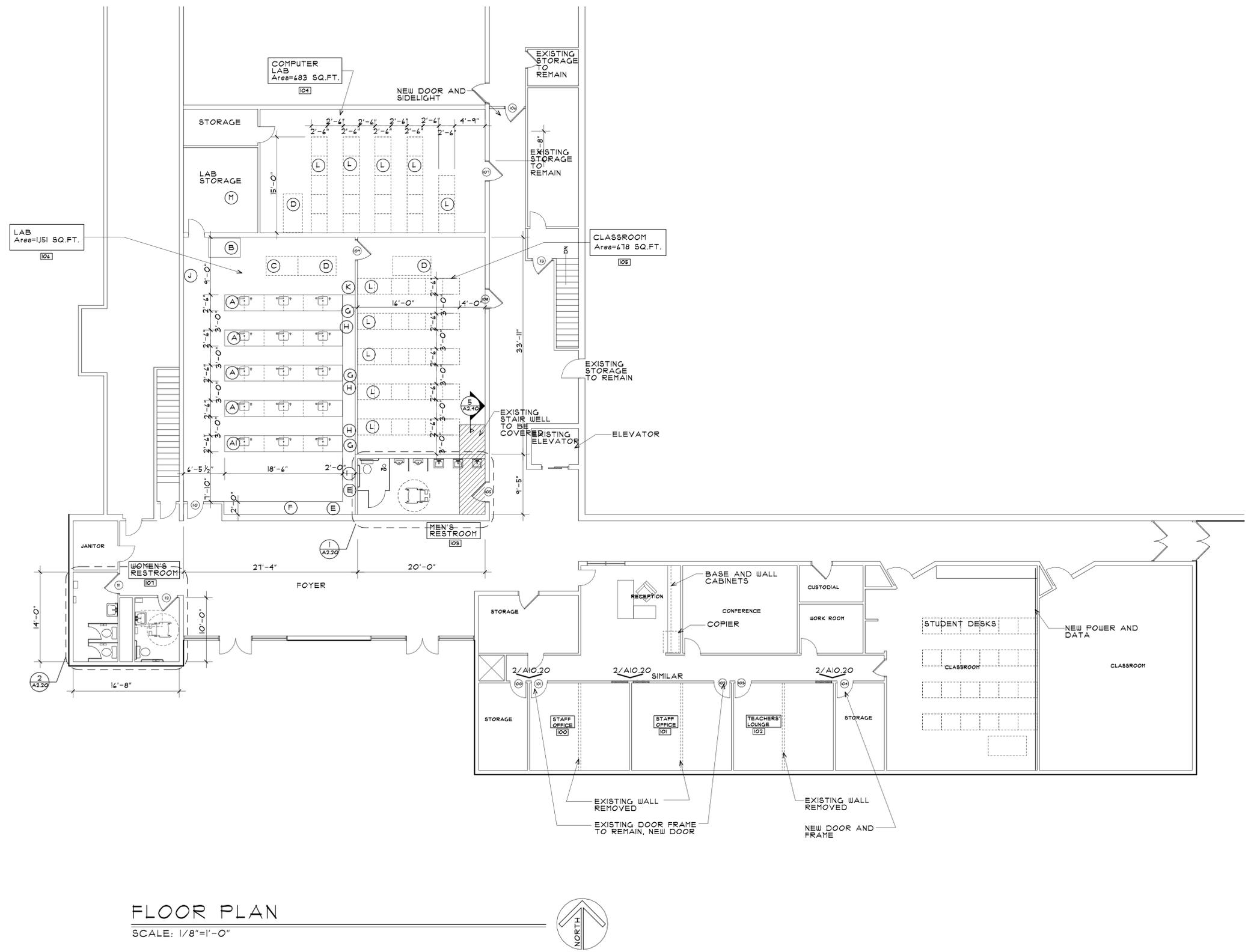
Sheet Title:
EXISTING FLOOR PLAN DEMOLITION

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FLOOR PLAN
SCALE: 1/8"=1'-0"



KEY NOTES

- (X) KEY NOTE MARK
- A STUDENT LAB TABLES & STUDENT SINGLE-FACE SCIENCE LAB SERVICE CENTER WITH 3 SINKS, 6 MULTISERVICE FIXTURES, 3 GFI PROTECTED AC DUPLEX RECEPTACLES, 9/16" GAS ROD SOCKETS, SIX 1/2" NOZZLES, SIX BOOK COMPARTMENTS AND FOUR DRAWERS AT EACH CABINET. ALL DRAWNS AND DOORS LOCK. UNIT CONSTRUCTED OF SOLID OAK, OAK AND HARDWOOD VENEERS WITH BLACK CHEMICAL RESISTANT EPOXY RESIN TOP.
- AI ADA STUDENT LAB TABLE SAME AS ABOVE BUT ONE SECTION OF TABLE TO MEET ADA REQUIREMENTS FOR ACCESSIBILITY.
- B FUME HOOD PROVIDE FUME HOOD SIMILAR TO HAMILTON LABORATORY SAFEAIRE II FUME HOOD. MEET THE UL 1805 STANDARD HOOD TO BE 34" DEEP BY 48" WIDE FLOOR MOUNTED. CONNECT TO EXHAUST SYSTEM. PROVIDE WATER, GAS, AIR AND POWER.
- C TEACHER DEMONSTRATION TABLE 40" W X 30" D X 34" H, WITH SINK AND DRAWERS, WITH ONE MULTISERVICE FIXTURE, GFI PROTECTED AC DUPLEX RECEPTACLE, TOP IS 1/2" BLACK, CHEMICAL RESISTANT EPOXY RESIN LOCKABLE.
- D TEACHER'S DESK
- E STORAGE CABINETS - WALL STORAGE CASE WITH HINGED OAK DOORS, CONSTRUCTION TO BE SOLID OAK AND HARDWOOD VENEERS. WIDTH VARIES, DEPTH 22 INCHES AND 84 INCHES IN HEIGHT. FIVE INTERIOR SHELVES WITH FOUR ADJUSTABLE DOORS TO BE LOCKABLE. NUMBER OF UNITS DETERMINED BY OVERALL WIDTH OF CABINETS NEEDED.
- F DISPLAY CABINETS - WALL STORAGE CASE WITH GLASS DOORS, CONSTRUCTION TO BE SOLID OAK AND HARDWOOD VENEERS. WIDTH VARIES, DEPTH 22 INCHES AND 84 INCHES IN HEIGHT. FIVE INTERIOR SHELVES WITH FOUR ADJUSTABLE DOORS LOCKABLE. NUMBER AND WIDTH OF INDIVIDUAL UNITS BASED ON OVERALL LENGTH OF SPACE.
- G WALL STORAGE CABINETS - OAK DOOR WALL CABINET WIDTH VARIES, DEPTH 12 INCHES AND HEIGHT 30 INCHES TO BE MOUNTED AT HEIGHT TO MATCH FULL HEIGHT STORAGE CABINETS. TWO ADJUSTABLE SHELVES.
- H BASE STORAGE CABINETS - (2) DOOR OAK BASE CABINET WIDTH VARIES, DEPTH 22 INCHES AND HEIGHT TO MATCH STUDENT SCIENCE LAB SERVICE CENTER, ONE ADJUSTABLE SHELF, LOCKABLE DOORS.
- I SAFETY STATION - EMERGENCY STATION, 48" WIDE AND 22" DEEP, HEIGHT TO MATCH STORAGE CABINETS. STATION TO INCLUDE: EMERGENCY SHOWER HEAD, FIRE BLANKETS, SPILL KITS, FIRST AID KITS AND FIRE EXTINGUISHER.
- J EYE WASH STATION - WALL MOUNTED GRAVITY FLOW, 16 GALLON EYE WASH UNIT.
- K MASTER SHUT OFF SWITCHES FOR WATER, GAS AND POWER TO STUDENT STATIONS.
- L STUDENT DESKS PROVIDED BY SUCCESS ACADEMY
- M CHEMICAL STORAGE CABINET.

GENERAL NOTES:
PROVIDE DATA CONNECTIONS AT EACH GROUP OF 6 STUDENTS.
INFORMATION PRESENT IN KEY NOTES PROVIDED AS GUIDE IN THE SUBMITTING OF PROPOSED FURNITURE, FIXTURES AND EQUIPMENT.

ALL FURNITURE, FIXTURES AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S GUIDELINES AND AS REQUIRED TO COMPLY WITH WARRANTY REQUIREMENTS.
ALL WORK TO BE DONE IN ACCORDANCE WITH SUU FACILITIES MANAGEMENT STANDARDS.

ALL NEW WALL CONSTRUCTION TO BE 20 GAUGE STEEL STUDS.

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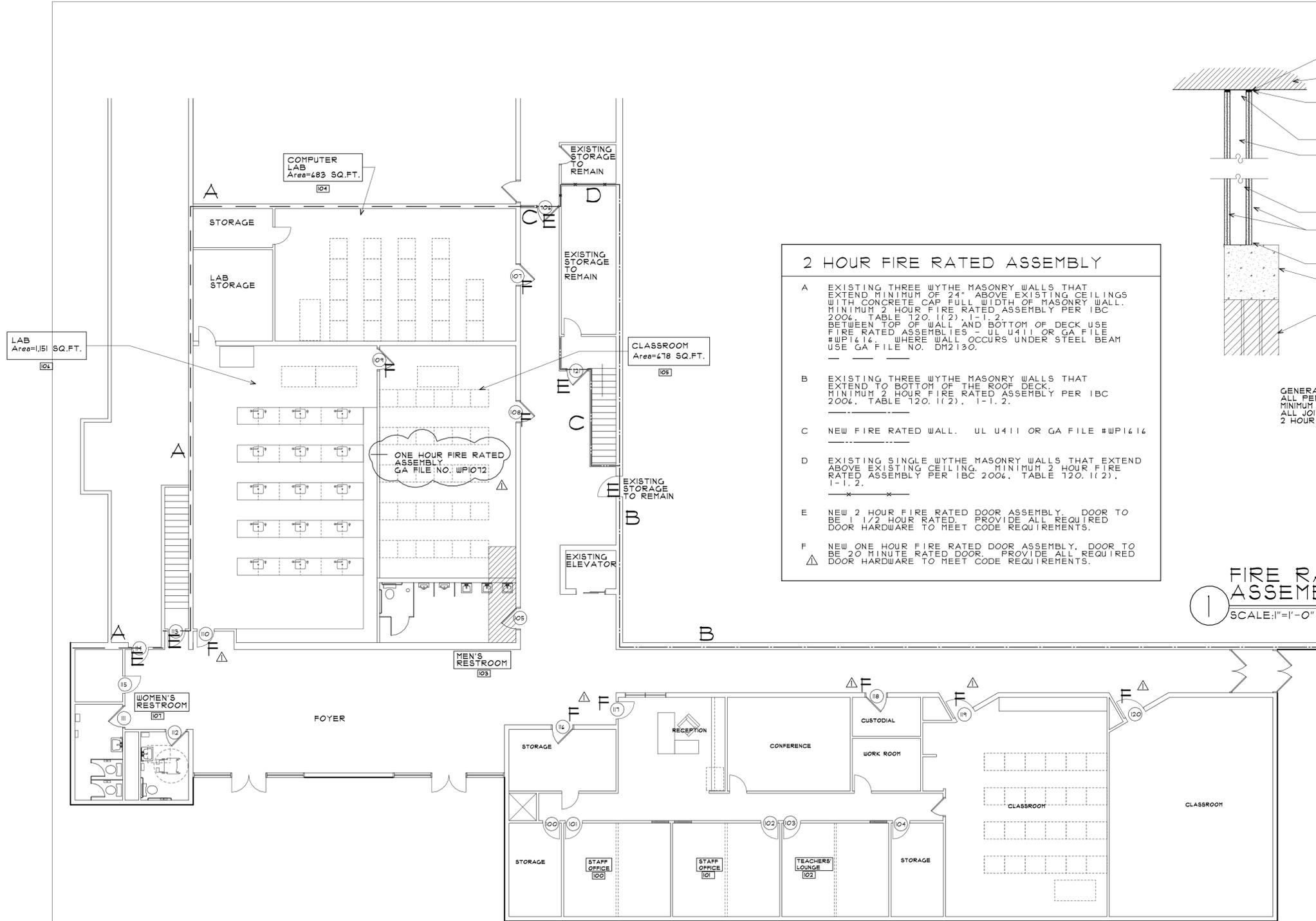
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Sheet Title: **FLOOR PLAN**

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2 HOUR FIRE RATED ASSEMBLY

A EXISTING THREE WYTHE MASONRY WALLS THAT EXTEND MINIMUM OF 24" ABOVE EXISTING CEILINGS WITH CONCRETE CAP FULL WIDTH OF MASONRY WALL. MINIMUM 2 HOUR FIRE RATED ASSEMBLY PER IBC 2006, TABLE 120.1(2), I-1, 2. BETWEEN TOP OF WALL AND BOTTOM OF DECK USE FIRE RATED ASSEMBLIES - UL U411 OR GA FILE #WPI614. WHERE WALL OCCURS UNDER STEEL BEAM USE GA FILE NO. DM2130.

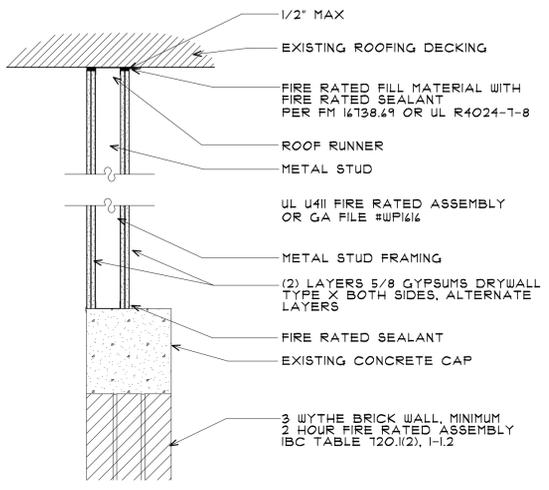
B EXISTING THREE WYTHE MASONRY WALLS THAT EXTEND TO BOTTOM OF THE ROOF DECK. MINIMUM 2 HOUR FIRE RATED ASSEMBLY PER IBC 2006, TABLE 120.1(2), I-1, 2.

C NEW FIRE RATED WALL. UL U411 OR GA FILE #WPI614

D EXISTING SINGLE WYTHE MASONRY WALLS THAT EXTEND ABOVE EXISTING CEILING. MINIMUM 2 HOUR FIRE RATED ASSEMBLY PER IBC 2006, TABLE 120.1(2), I-1, 2.

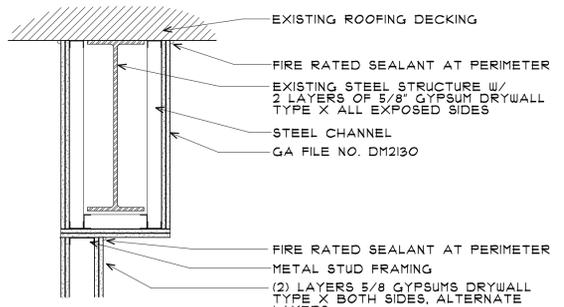
E NEW 2 HOUR FIRE RATED DOOR ASSEMBLY. DOOR TO BE 1 1/2 HOUR RATED. PROVIDE ALL REQUIRED DOOR HARDWARE TO MEET CODE REQUIREMENTS.

F NEW ONE HOUR FIRE RATED DOOR ASSEMBLY. DOOR TO BE 20 MINUTE RATED DOOR. PROVIDE ALL REQUIRED DOOR HARDWARE TO MEET CODE REQUIREMENTS.



GENERAL NOTES:
ALL PENETRATIONS TO BE TREATED WITH MINIMUM 2 HOUR FIRE RATED SEALANTS.
ALL JOINTS TO BE TREATED WITH MINIMUM 2 HOUR FIRE RATED SEALANTS.

1 FIRE RATED ASSEMBLY
SCALE: 1"=1'-0"

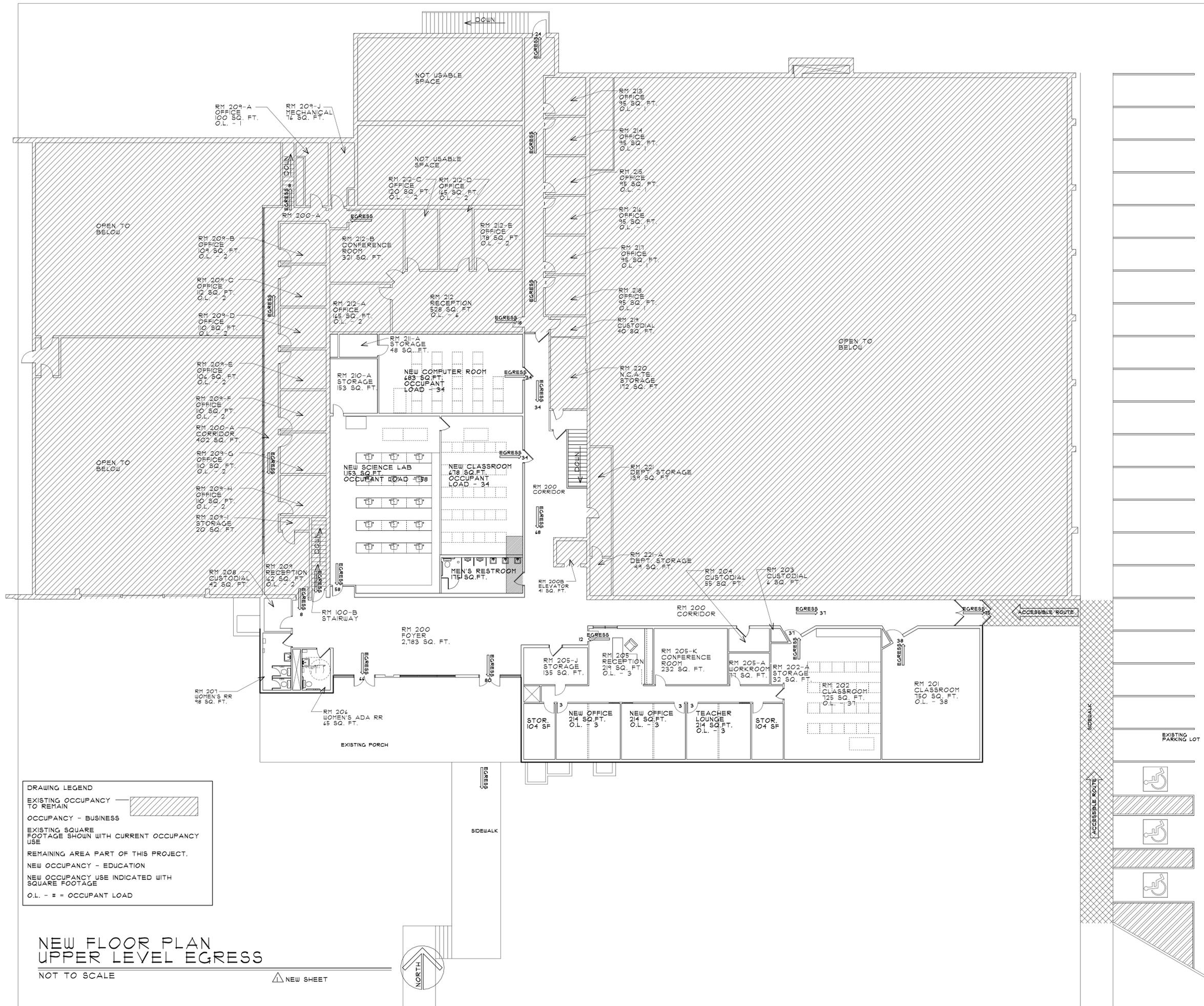


GENERAL NOTES:
ALL PENETRATIONS TO BE TREATED WITH MINIMUM 2 HOUR FIRE RATED SEALANTS.
ALL JOINTS TO BE TREATED WITH MINIMUM 2 HOUR FIRE RATED SEALANTS.

2 FIRE RATED ASSEMBLY
SCALE: 1"=1'-0"

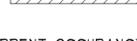
FLOOR PLAN - FIRE RATED ASSEMBLIES
SCALE: 1/8"=1'-0"

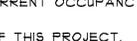


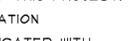


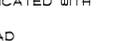
DRAWING LEGEND

EXISTING OCCUPANCY TO REMAIN 

OCCUPANCY - BUSINESS 

EXISTING SQUARE FOOTAGE SHOWN WITH CURRENT OCCUPANCY USE 

REMAINING AREA PART OF THIS PROJECT. 

NEW OCCUPANCY - EDUCATION 

NEW OCCUPANCY USE INDICATED WITH SQUARE FOOTAGE 

O.L. - # = OCCUPANT LOAD

**NEW FLOOR PLAN
UPPER LEVEL EGRESS**

NOT TO SCALE

 NEW SHEET



Project:
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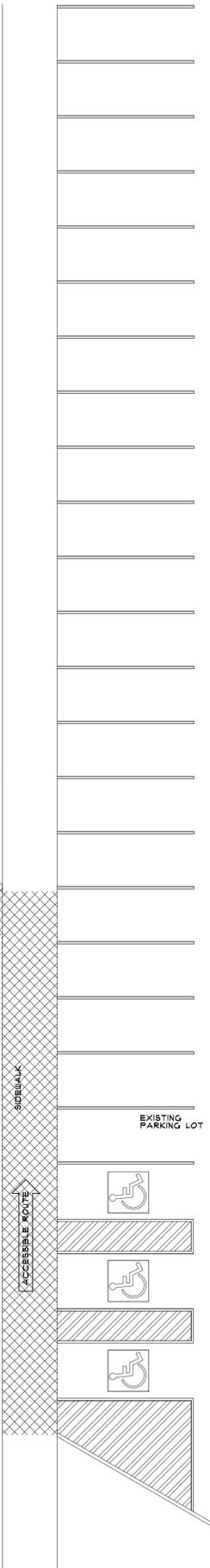
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**NEW FLOOR PLAN
EGRESS
UPPER LEVEL**

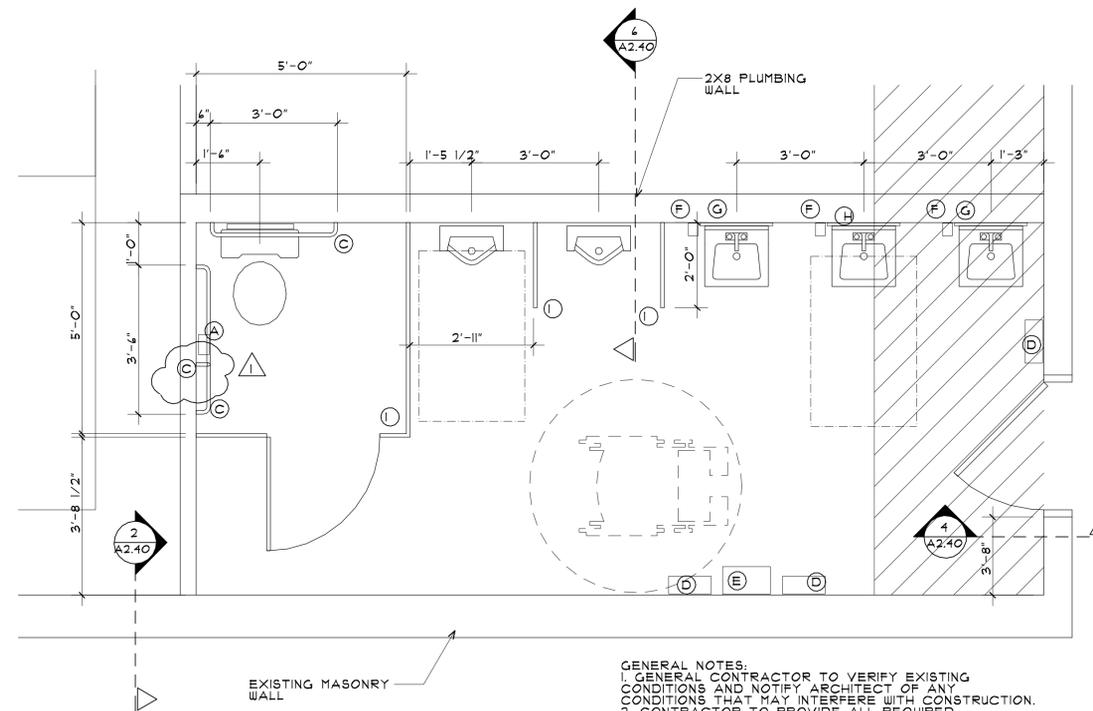
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GENERAL NOTES:
 1. GENERAL CONTRACTOR TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY CONDITIONS THAT MAY INTERFERE WITH CONSTRUCTION.
 2. CONTRACTOR TO PROVIDE ALL REQUIRED ANCHORS AND SUPPORTS FOR RESTROOM ACCESSORIES AND PLUMBING FIXTURES.

1 MEN'S RESTROOM - ENLARGED PLAN
 SCALE: 1/2" = 1'-0"

RESTROOM ACCESSORIES

ACCESSORY MARK	DESCRIPTION
A	TOILET TISSUE DISPENSER B-2888 CLASSIC SERIES SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER.
B	SANITARY NAPKIN DISPOSAL B-254 CLASSIC SERIES SURFACE MOUNTED SANITARY NAPKIN DISPOSAL.
C	GRAB BARS B-4804 44X34" B-4804 44X42" B-4804 44X18" MOUNTED VERTICAL
D	PAPER TOWEL DISPENSER PROVIDED BY SUU FACILITIES MANAGEMENT
E	TRASH CAN PROVIDED BY SUU FACILITIES MANAGEMENT
F	SOAP DISPENSER PROVIDED BY SUU FACILITIES MANAGEMENT
G	MIRROR B-2408 24X36 SERIES STANDARD SIZE TEMPERED GLASS WELDED-FRAME
H	MIRROR - ADA B-243 1830 SERIES FIXED-POSITION TILT MIRROR
I	TOILET PARTITIONS - BOBRICK, 1040 SIERRA SERIES, SOLID COLOR REINFORCED COMPOSITE TOILET PARTITION SYSTEM, COLOR SELECTED BY ARCHITECT FROM STANDARD COLOR SELECTION, FULL-HEIGHT STAINLESS STEEL HARDWARE, FLOOR MOUNTED

GENERAL NOTES:
 ALL ACCESSORIES IDENTIFIED ARE BOBRICK RESTROOM ACCESSORIES. ALL ACCESSORIES IDENTIFIED ARE FOR REFERENCE AND ALTERNATES APPROVED BY THE ARCHITECT.
 STAINLESS STEEL FINISH FOR ALL ACCESSORIES.
 ALL ACCESSORIES TO BE MOUNTED PER MANUFACTURER'S STANDARDS AND GUIDELINES.
 ALL ACCESSORIES TO BE MOUNTED PER ADA GUIDELINES AS REQUIRED.
 ALL ACCESSORIES TO BE IN ACCORDANCE WITH SUU FACILITIES MANAGEMENT STANDARDS

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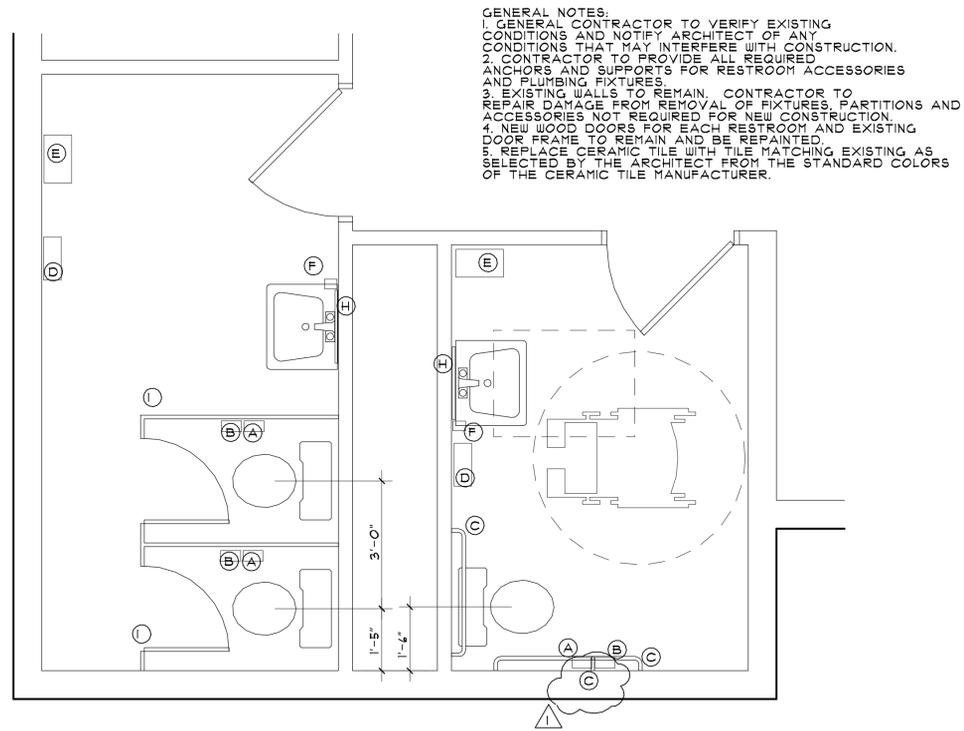
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 MULTI-PURPOSE BUILDING REMODEL

Sheet Title:
FLOOR PLAN ENLARGED RESTROOMS

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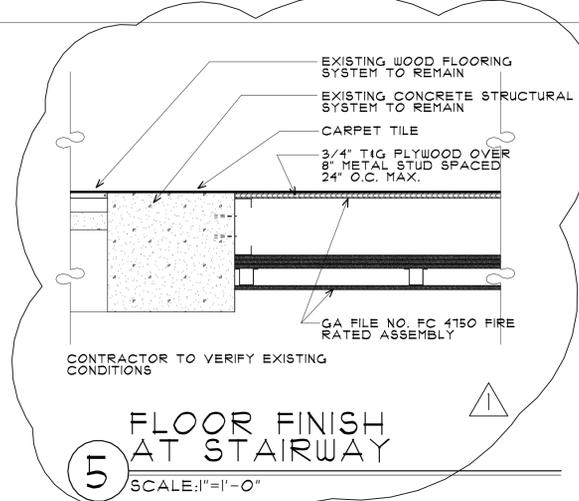
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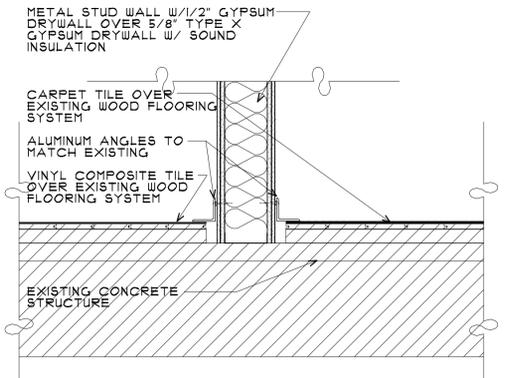


GENERAL NOTES:
 1. GENERAL CONTRACTOR TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY CONDITIONS THAT MAY INTERFERE WITH CONSTRUCTION.
 2. CONTRACTOR TO PROVIDE ALL REQUIRED ANCHORS AND SUPPORTS FOR RESTROOM ACCESSORIES AND PLUMBING FIXTURES.
 3. EXISTING WALLS TO REMAIN. CONTRACTOR TO REPAIR DAMAGE FROM REMOVAL OF FIXTURES, PARTITIONS AND ACCESSORIES NOT REQUIRED FOR NEW CONSTRUCTION.
 4. NEW WOOD DOORS FOR EACH RESTROOM AND EXISTING DOOR FRAME TO REMAIN AND BE REPAINTED.
 5. REPLACE CERAMIC TILE WITH TILE MATCHING EXISTING AS SELECTED BY THE ARCHITECT FROM THE STANDARD COLORS OF THE CERAMIC TILE MANUFACTURER.

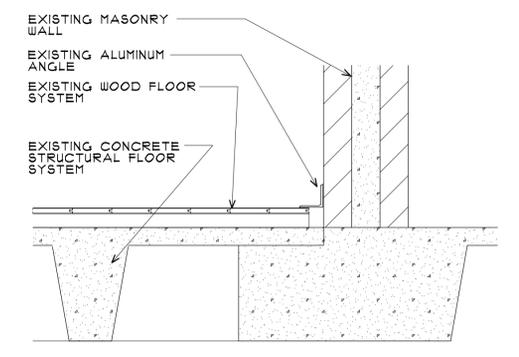
2 WOMEN'S RESTROOM - ENLARGED PLAN
 SCALE: 1/2" = 1'-0"



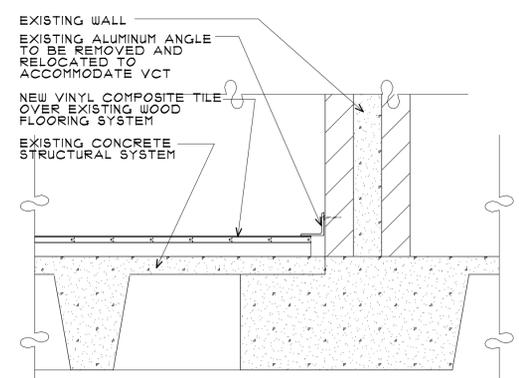
5 FLOOR FINISH AT STAIRWAY
 SCALE: 1"=1'-0"



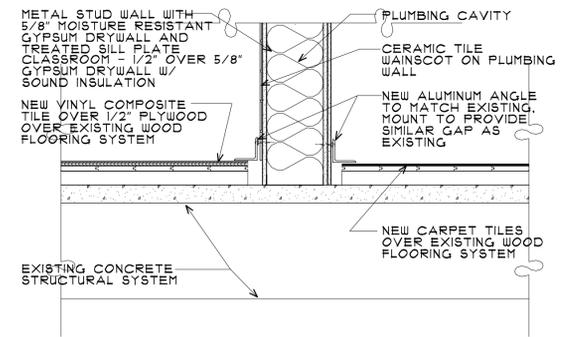
6 FLOOR FINISH AT LAB AND CLASSROOM WALL
 SCALE: 1"=1'-0"



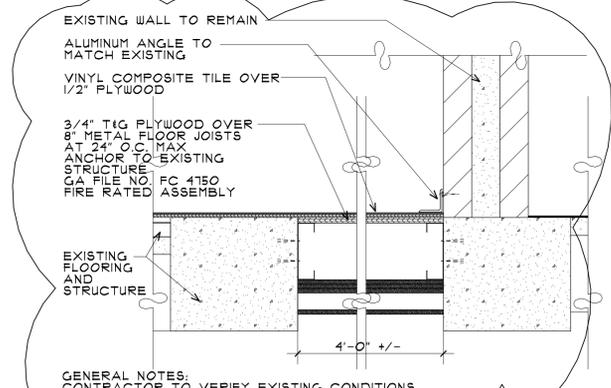
1 EXISTING FLOOR/WALL IN CLASSROOM
 SCALE: 1"=1'-0"



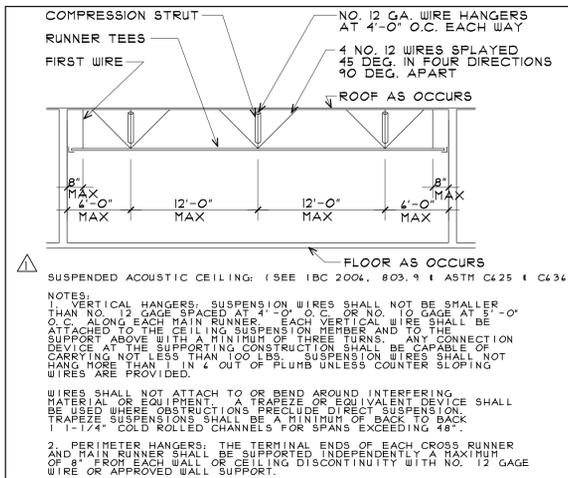
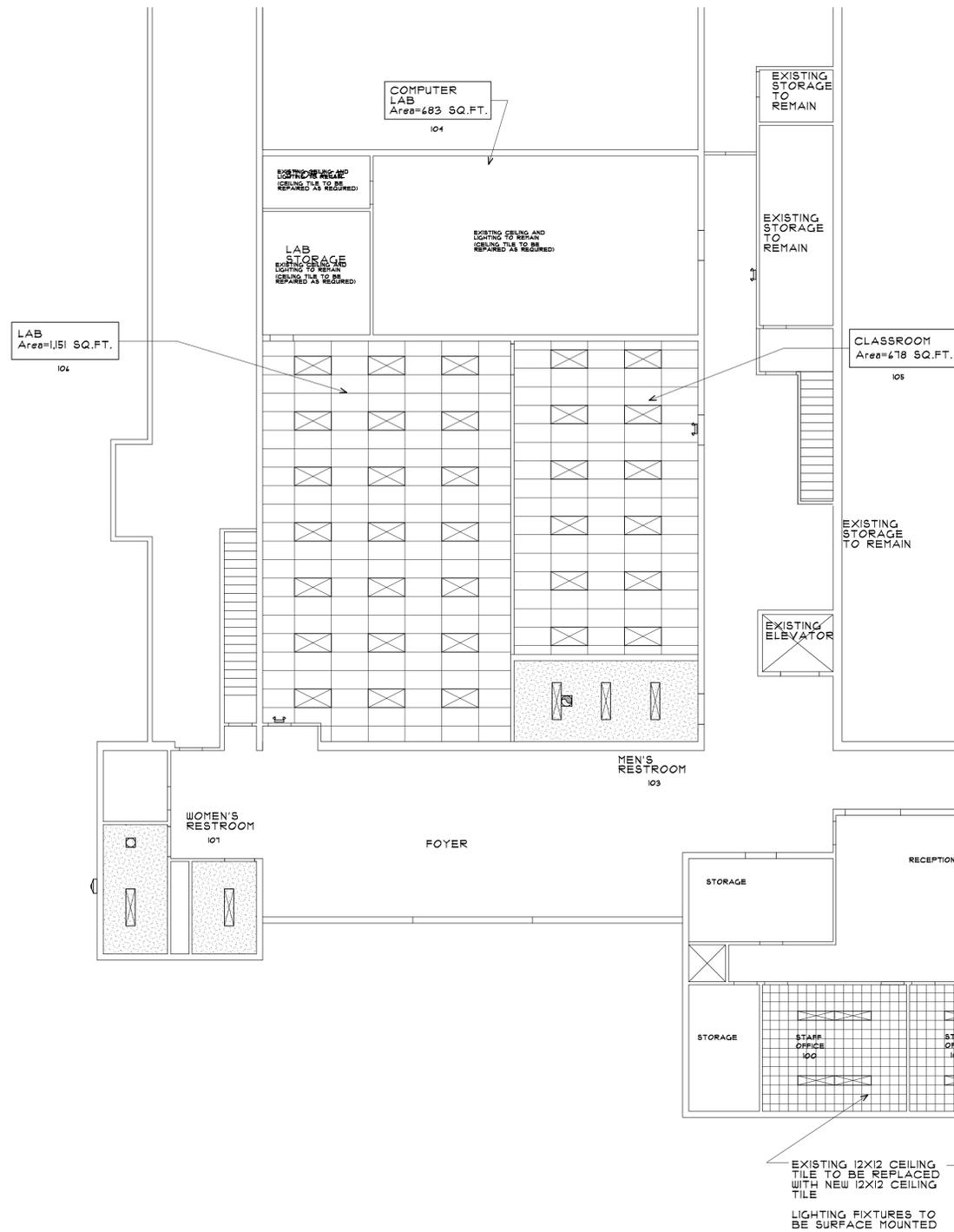
2 FLOOR FINISH IN SCIENCE LAB
 SCALE: 1"=1'-0"



GENERAL NOTES:
 1/2" PLYWOOD PLACED TO SPAN OVER THE EXISTING STAIR WELL AND WOOD FLOORING.
3 FLOOR FINISH IN MEN'S RESTROOM
 SCALE: 1"=1'-0"



GENERAL NOTES:
 CONTRACTOR TO VERIFY EXISTING CONDITIONS.
4 FLOOR FINISH IN MEN'S RESTROOM
 SCALE: 1"=1'-0"



3. LATERAL FORCE BRACING: HORIZONTAL RESTRAINTS SHALL BE EFFECTED BY FOUR NO. 12 GAGE WIRES SECURED TO THE MAIN RUNNER WITHIN TWO INCHES OF THE CROSS RUNNER INTERSECTION AND SPLAYED 90 DEGREES FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING. A STRUT FASTENED TO THE MAIN RUNNER SHALL EXTEND TO AND BE FASTENED TO THE STRUCTURAL MEMBERS SUPPORTING THE ROOF OR FLOOR ABOVE. THE STRUT SHALL BE ADEQUATE TO RESIST THE VERTICAL COMPONENT INDUCED BY THE BRACING WIRES. THE HORIZONTAL RESTRAINT POINTS SHALL BE PLACED 12 FEET ON CENTER IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 4'-0" FROM EACH WALL. ATTACHMENT OF THE RESTRAINT WIRES TO THE STRUCTURE SHALL BE ADEQUATE FOR THE LOAD THAT IS NOT PROVIDED FROM ALL HORIZONTAL PIPING OR DUCT WORK THAT IS NOT PROVIDED WITH BRACING RESTRAINTS FOR HORIZONTAL FORCE. BRACING WIRES SHALL BE ATTACHED TO THE GRID AND TO THE STRUCTURE IN SUCH A MANNER THAT THEY CAN SUPPORT A DESIGN LOAD OF NOT LESS THAN 200 LBS OR THE ACTUAL DESIGN LOAD, WHICHEVER IS GREATER, WITH A SAFETY FACTOR OF 2.

4. PERIMETER MEMBERS: FOR TILE CEILINGS, ENDS OF MAIN RUNNERS AND CROSS MEMBERS SHALL BE TIED TOGETHER TO PREVENT THEIR SPREADING.

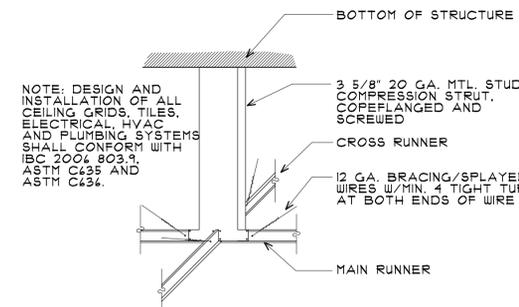
5. MAIN RUNNERS AND CROSS RUNNERS MAY BE ATTACHED TO THE PERIMETER MEMBER AT TWO ADJACENT WALLS WITH CLEARANCE BETWEEN THE WALL AND RUNNERS MAINTAINED AT THE TWO OTHER WALLS.

6. LIGHTING FIXTURES: ALL LIGHTING FIXTURES SHALL BE POSITIVELY ATTACHED TO THE SUSPENDED CEILING SYSTEM. THE ATTACHMENT DEVICE SHALL HAVE A CAPACITY OF 100% OF THE LIGHTING FIXTURE HEIGHT ACTING IN ANY DIRECTION. NO. 12 GAGE HANGERS SHALL BE ATTACHED TO THE GRID MEMBERS WITHIN 3" OF THE CENTER OF EACH FIXTURE. TANDER FIXTURES MAY UTILIZE COMMON WIRES. IN ADDITION TO THE REQUIREMENTS OUTLINED ABOVE, TWO NO. 12 GAGE HANGERS CONNECTED FROM THE FIXTURE HOUSING TO THE STRUCTURE ABOVE THESE WIRES MAY BE SLACK.

7. LIGHTING FIXTURES WEIGHING 50 LBS OR MORE SHALL BE SUPPORTED DIRECTLY FROM THE ABOVE STRUCTURE BY APPROVED HANGERS.

8. PENDANT-HUNG LIGHTING FIXTURES SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE USING NO. 12 GAGE WIRE OR APPROVED ALTERNATE SUPPORT WITHOUT USING THE CEILING SUSPENSION SYSTEM FOR DIRECT SUPPORT.

BRACING FOR ACOUSTICAL CEILINGS



GENERAL NOTE: FOR ADDITIONAL TYPICAL INFORMATION, REFER TO SUSPENDED CEILING DETAIL, THIS SHEET.

LATERAL FORCE BRACING: INSTALL W/ SCREWS TO SECURE.



ELECTRICAL LEGEND

	2X4 FLUORESCENT LIGHTING FIXTURE
	1X4 FLUORESCENT LIGHTING FIXTURE
	CAN LIGHT
	EMERGENCY LIGHTING
	EXHAUST FAN
	EXHAUST FAN THROUGH THE WALL
	2X4 GRID SYSTEM
	GYPSUM DRYWALL HARD LID SYSTEM
	12"X12" CEILING TILES, TO MATCH EXISTING

GENERAL NOTES:
 CONTRACTOR TO VERIFY EXISTING CONDITIONS.
 SEE SHEET E2.2 FOR ACTUAL LIGHTING FIXTURES.

REFLECTED CEILING PLAN
 SCALE: 1/8"=1'-0"

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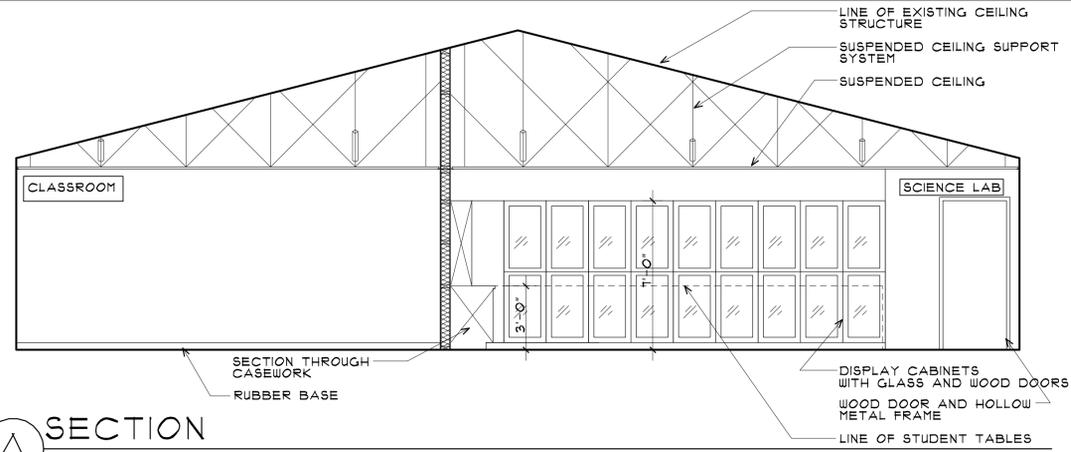
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Sheet Title:
REFLECTED CEILING PLAN

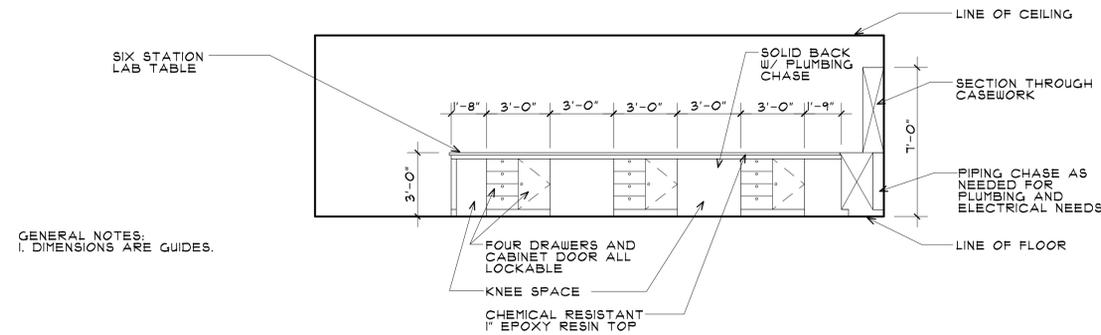
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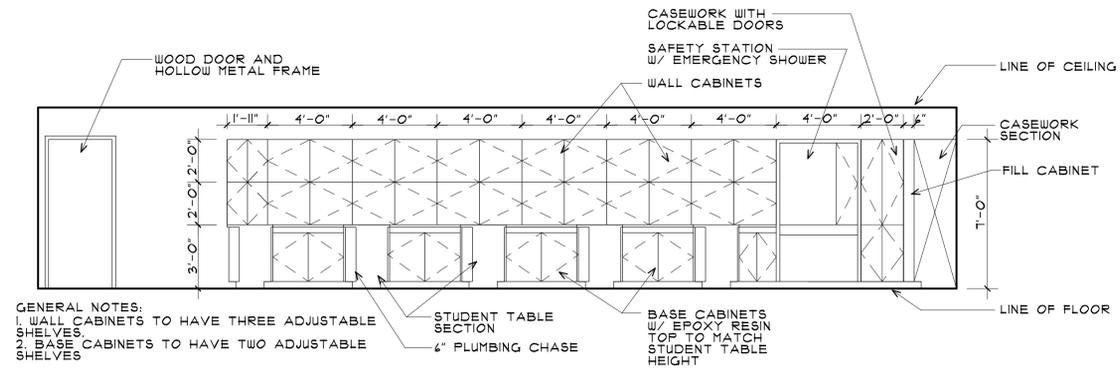


A SECTION
SCALE: 1/8" = 1'-0"



GENERAL NOTES:
1. DIMENSIONS ARE GUIDES.

B INTERIOR ELEVATION - STUDENT LAB TABLES
SCALE: 1/8" = 1'-0"



GENERAL NOTES:
1. WALL CABINETS TO HAVE THREE ADJUSTABLE SHELVES
2. BASE CABINETS TO HAVE TWO ADJUSTABLE SHELVES

C INTERIOR ELEVATION - WALL CABINETS
SCALE: 1/8" = 1'-0"

ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALL FINISHES				CEILING		REMARKS
				NORTH	EAST	SOUTH	WEST	MAT'L	HEIGHT	
100	STAFF OFFICE	C	RUB	P	P	P	P	ACT	EXISTING	REPLACE EXISTING 12X12 CEILING TILE
101	STAFF OFFICE	C	RUB	P	P	P	P	ACT	EXISTING	REPLACE EXISTING 12X12 CEILING TILE
102	TEACHERS' LOUNGE	C	RUB	P	P	P	P	ACT	EXISTING	REPLACE EXISTING 12X12 CEILING TILE
103	MEN'S RESTROOM	VCT	CT	P	P	P	P	GB	8'-0"	CT WAINSCOT AT 48" BEHIND FIXTURES
104	COMPUTER ROOM	NA	NA	P	P	P	P	NA	NA	REPAIR CEILING TILE AS NEEDED
105	CLASSROOM	C	RUB	P	P	P	P	ACT	8'-6"	-
106	LAB	VCT	RUB	P	P	P	P	ACT	8'-6"	-
107	WOMEN'S RESTROOM	VCT	CT	P	P	P	P	GB	8'-0"	CT WAINSCOT AT 48" BEHIND FIXTURES

GENERAL NOTES:

- EXISTING HALL WAY - REMOVE EXISTING PANELING AND REPLACE WITH GLUE ON 1/2" GYPSUM DRYWALL TO MATCH DOORWAY REPAIR FROM DEMOLITION FINISH AND PAINT. COMMON WALL IN NEW STAFF OFFICES TO RECEIVE GLUE ON 1/2" GYPSUM DRYWALL FINISH AND PAINT.
- ALL WORK TO BE PERFORMED PER SUU STANDARDS.

ABBREVIATIONS:

- ACT - ACOUSTICAL TILE
- RUB - RUBBER BASE 4"
- CT - CERAMIC TILE
- VCT - VINYL COMPOSITION TILE
- GB - GYPSUM WALLBOARD
- TP - PAINT
- C - CARPET

DOOR SCHEDULE

NO.	WIDTH	HEIGHT	THICK.	DOOR MAT'L	DOOR TYPE	DOOR GLASS	FRAME MAT'L	FRAME TYPE	DETAILS			HARDWARE	LABEL	REMARKS
									JAMB	HEAD	SILL			
100	3'-0"	7'-0"	1-3/4	WOOD	A	-	N/A	N/A				*	*	REUSE EXISTING FRAME
101	3'-0"	7'-0"	1-3/4	WOOD	A	-	N/A	N/A				*	*	REUSE EXISTING FRAME
102	3'-0"	7'-0"	1-3/4	WOOD	A	-	N/A	N/A				*	*	REUSE EXISTING FRAME
103	3'-0"	7'-0"	1-3/4	WOOD	A	-	N/A	N/A				*	*	REUSE EXISTING FRAME
104	3'-0"	7'-0"	1-3/4	WOOD	A	-	HM	A	3/A10.20	415/A10.20	13/A10.20	#1	*	
105	3'-0"	7'-0"	1-3/4	WOOD	A	-	N/A	N/A	8/A10.20	9/A10.20	10/A10.20	#1		20 MIN
106	3'-0"	7'-0"	1-3/4	WOOD	B	TEMP	HM	A	15/A10.20	14/A10.20	13/A10.20	#2		90 MIN
107	3'-0"	7'-0"	1-3/4	WOOD	A	-	HM	A				#1		20 MIN
108	3'-0"	7'-0"	1-3/4	WOOD	A	-	HM	A				#1		20 MIN
109	3'-0"	7'-0"	1-3/4	WOOD	A	-	HM	A	14/A10.20	15/A10.20	13/A10.20	#1		20 MIN
110	3'-0"	7'-0"	1-3/4	WOOD	A	-	HM	A				#1		20 MIN
111	3'-0"	7'-0"	1-3/4	WOOD	A	-	HM	A				#1		20 MIN
112	3'-0"	7'-0"	1-3/4	WOOD	A	-	HM	A				#1		20 MIN
113	EXISTING DOOR			WOOD	A	-	HM	A				#2		90 MIN
114	EXISTING DOOR			WOOD	A	-	HM	A				#2		90 MIN
115	EXISTING DOOR			WOOD	A	-	HM	A				#1		20 MIN
116	EXISTING DOOR			WOOD	A	-	HM	A				#1		20 MIN
117	EXISTING DOOR			WOOD	A	-	HM	A				#1		20 MIN
118	EXISTING DOOR			WOOD	A	-	HM	A				#1		20 MIN
119	EXISTING DOOR			WOOD	A	-	HM	A				#1		20 MIN
120	EXISTING DOOR			WOOD	A	-	HM	A				#1		20 MIN
106	3'-0"	7'-0"	1-3/4	WOOD	B	TEMP	HM	A	15/A10.20	14/A10.20	13/A10.20	#2		90 MIN

GENERAL NOTES:

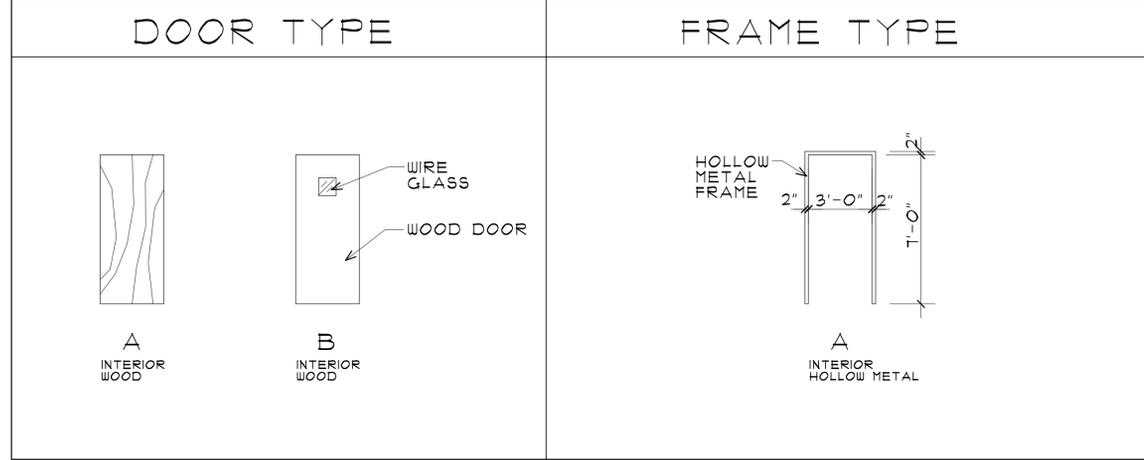
- ALL FRAMES TO BE PAINTED TO MATCH EXISTING COLOR.
- ALL DOORS TO BE STAINED TO MATCH EXISTING.

ABBREVIATIONS:

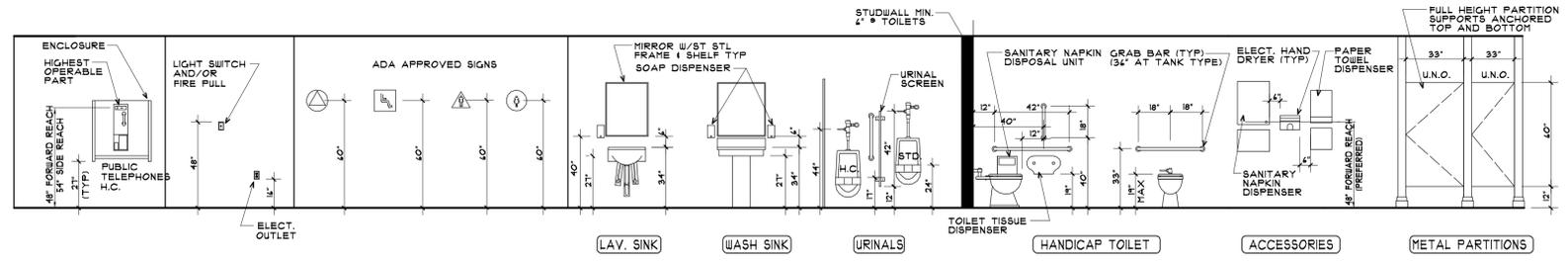
- HW - HARDWARE, SEE SPEC
- HM - HOLLOW METAL
- TEMP - TEMPERED GLASS
- STL - STEEL

DOOR HARDWARE

- DOOR HARDWARE AS REQUIRED FOR 20 MINUTE RATED DOOR. SEE SPECIFICATIONS.
- DOOR HARDWARE AS REQUIRED FOR 90 MINUTE RATED DOOR. SEE SPECIFICATIONS.



△ REVISED



- NOTE:** IF ENCLOSURES ARE USED AND PROTRUDE OUT FROM THE WALL THE MAX. PROJECTION SHALL BE 1" AND CANNOT REDUCE THE MIN. REQUIRED CLEAR WIDTH OF THE ACCESSIBLE PATH.
- SIGNS TO BE CENTERED ON DOORS AND BE DISTINCTLY DIFFERENT THAN DOORS IN COLOR AND CONTRAST**
- INSULATE ALL EXPOSED HOT WATER AND DRAIN LINES**
- NOTES:**
- CONTRACTOR TO PROVIDE BLOCKING/BACKING FOR ALL ACCESSORIES. BLOCKING AT GRAB BARS TO WITHSTAND A 250 LB./FT. LOAD.
 - DRINKING FOUNTAINS, TOILETS & URINALS ARE TO BE MOUNTED AS PER MANUFACTURERS RECOMMENDATIONS FOR STANDARD UNITS UNLESS THEY ARE DESIGNATED TO BE FOR HANDICAPPED USE. H.C. ACCESSIBLE UNITS TO BE MOUNTED AS SHOWN ABOVE.

ADA ACCESSIBLE MOUNTING HEIGHTS

NOT TO SCALE

△ REVISED

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410 State Office Building/Salt Lake City, Utah 84143/388-3018

Project:
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MULTI-PURPOSE BUILDING REMODEL

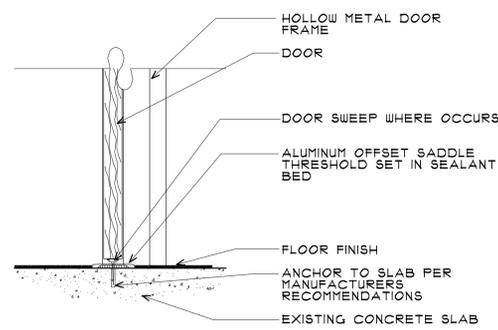
Sheet Title:
**SCHEDULES
DOOR AND
FINISH
DOOR TYPES
AND
DETAILS**

Revisions:
△ 12.17.07 CODE REVIEW

PROJECT NUMBER: 01418
DATE: 07.11.07
DRAWN BY: J.C.S.
CHECKED BY: J.C.S.
APPROVED BY: J.C.S.

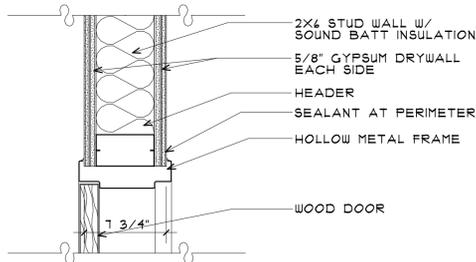
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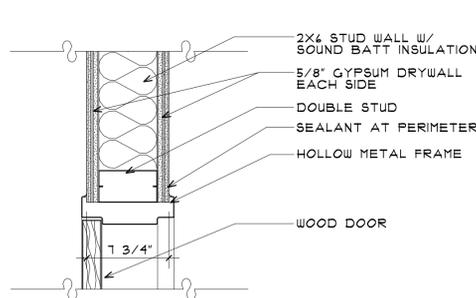


GENERAL NOTES:
CONTRACTOR TO VERIFY EXISTING CONDITIONS.

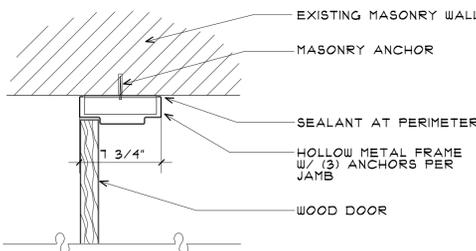
13 DOOR SILL AT EXISTING WALL
SCALE: 1 1/2"=1'-0"



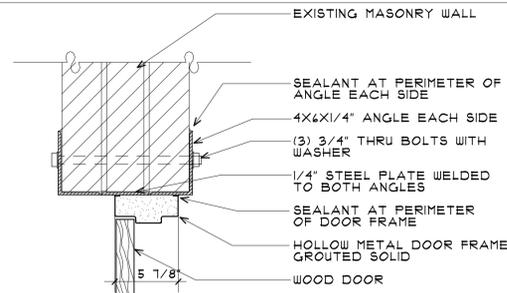
14 DOOR HEAD AT NEW WALL
SCALE: 1 1/2"=1'-0"



15 DOOR JAMB AT NEW WALL
SCALE: 1 1/2"=1'-0"

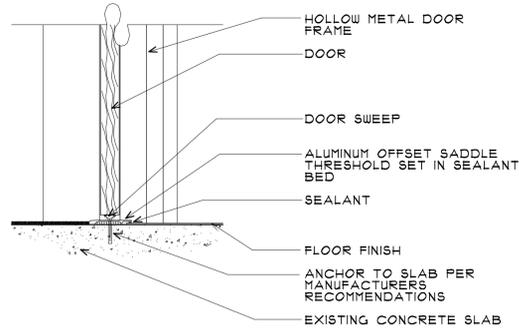


16 DOOR JAMB AT EXISTING WALL
SCALE: 1 1/2"=1'-0"



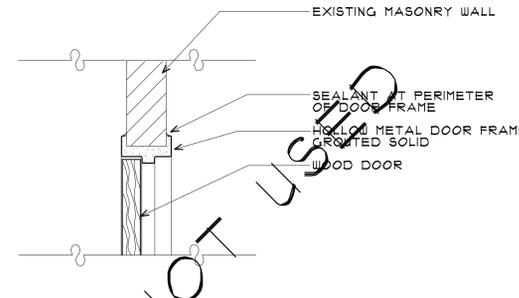
GENERAL NOTES:
CONTRACTOR TO VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE REQUIRED BRACING AS NEEDED.

9 DOOR JAMB AT EXISTING WALL
SCALE: 1 1/2"=1'-0"



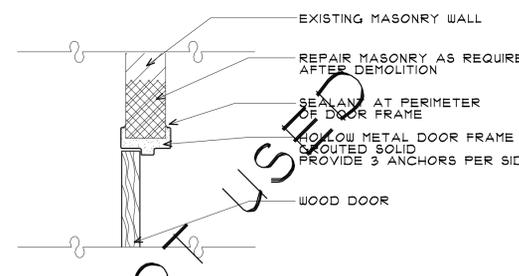
GENERAL NOTES:
CONTRACTOR TO VERIFY EXISTING CONDITIONS.

10 DOOR SILL AT EXISTING WALL
SCALE: 1 1/2"=1'-0"



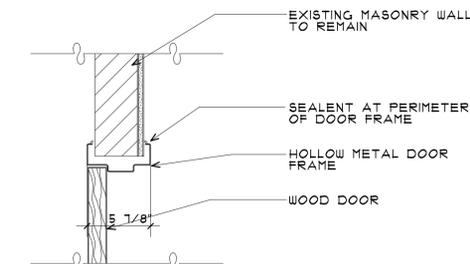
GENERAL NOTES:
CONTRACTOR TO VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE REQUIRED BRACING AS NEEDED.

11 DOOR HEAD AT EXISTING WALL
SCALE: 1 1/2"=1'-0"



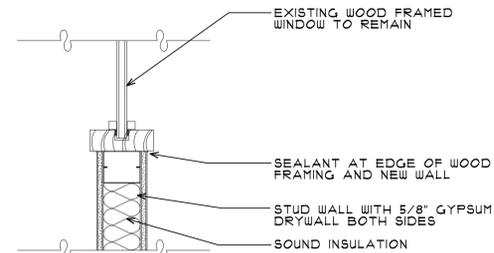
GENERAL NOTES:
CONTRACTOR TO VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE REQUIRED BRACING AS NEEDED.

12 DOOR JAMB AT EXISTING WALL
SCALE: 1 1/2"=1'-0"



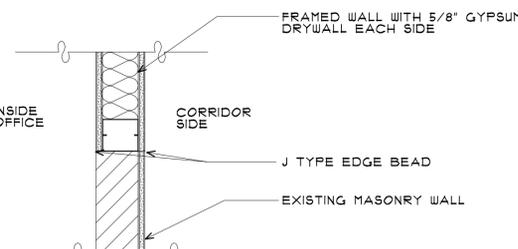
GENERAL NOTES:
CONTRACTOR TO VERIFY EXISTING CONDITIONS.

5 DOOR DETAIL - JAMB
SCALE: 1 1/2"=1'-0"



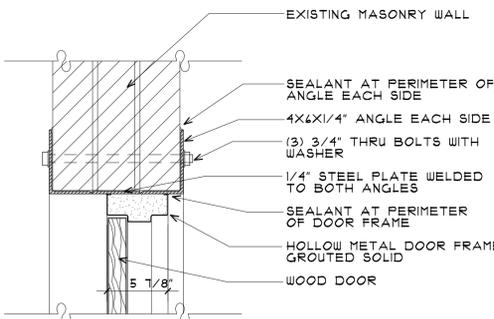
GENERAL NOTES:
CONTRACTOR TO VERIFY EXISTING CONDITIONS.

6 WALL DETAIL AT WINDOW
SCALE: 1 1/2"=1'-0"



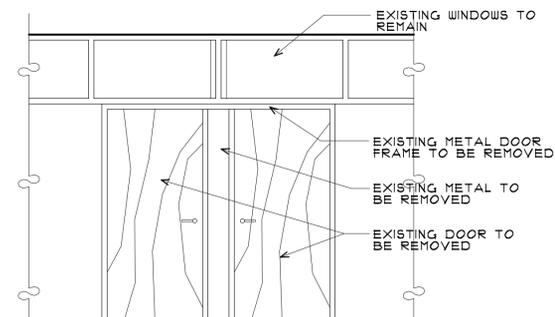
GENERAL NOTES:
CONTRACTOR TO VERIFY EXISTING CONDITIONS.

7 WALL DETAIL AT EXISTING WALL
SCALE: 1 1/2"=1'-0"



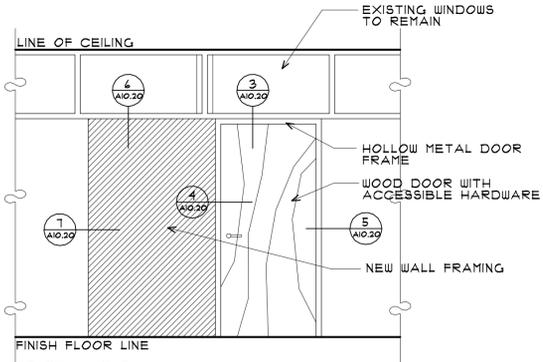
GENERAL NOTES:
CONTRACTOR TO VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE REQUIRED BRACING AS NEEDED.

8 DOOR HEAD AT EXISTING WALL
SCALE: 1 1/2"=1'-0"



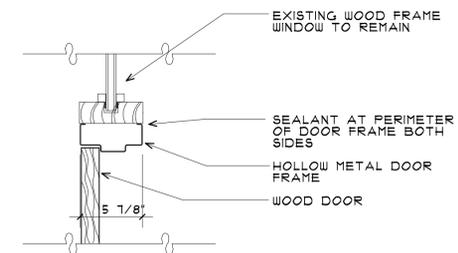
GENERAL NOTES:
EXISTING DOOR AND HARDWARE TO BE REUSED.

1 EXISTING DOOR ELEVATION
NOT TO SCALE

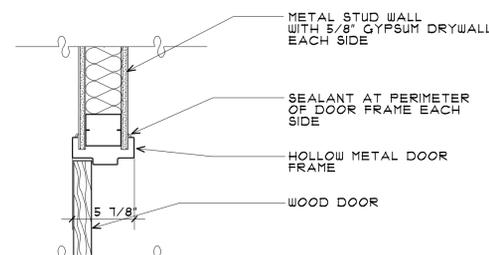


GENERAL NOTES:
CONTRACTOR TO VERIFY EXISTING CONDITIONS.

2 DOOR ELEVATION
NOT TO SCALE

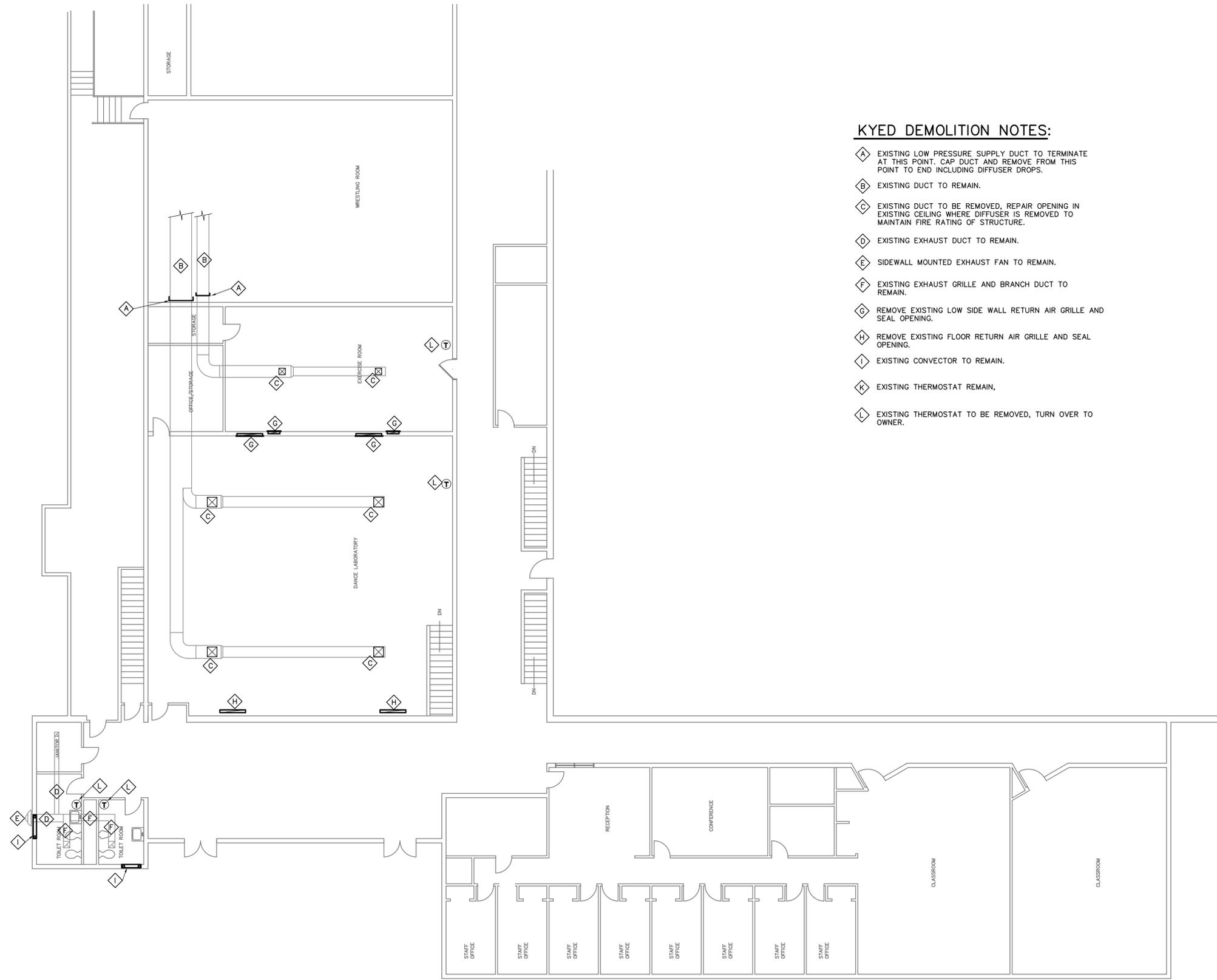


3 DOOR DETAIL - HEAD
SCALE: 1 1/2"=1'-0"



GENERAL NOTES:
CONTRACTOR TO VERIFY EXISTING CONDITIONS. NEW FRAMED WALL TO MATCH WIDTH OF EXISTING WALL.

4 DOOR DETAIL - JAMB
SCALE: 1 1/2"=1'-0"



KYED DEMOLITION NOTES:

- ⓐ EXISTING LOW PRESSURE SUPPLY DUCT TO TERMINATE AT THIS POINT. CAP DUCT AND REMOVE FROM THIS POINT TO END INCLUDING DIFFUSER DROPS.
- ⓑ EXISTING DUCT TO REMAIN.
- ⓒ EXISTING DUCT TO BE REMOVED, REPAIR OPENING IN EXISTING CEILING WHERE DIFFUSER IS REMOVED TO MAINTAIN FIRE RATING OF STRUCTURE.
- ⓓ EXISTING EXHAUST DUCT TO REMAIN.
- ⓔ SIDEWALL MOUNTED EXHAUST FAN TO REMAIN.
- ⓕ EXISTING EXHAUST GRILLE AND BRANCH DUCT TO REMAIN.
- ⓖ REMOVE EXISTING LOW SIDE WALL RETURN AIR GRILLE AND SEAL OPENING.
- ⓗ REMOVE EXISTING FLOOR RETURN AIR GRILLE AND SEAL OPENING.
- ⓓ EXISTING CONVECTOR TO REMAIN.
- ⓓ EXISTING THERMOSTAT REMAIN.
- ⓓ EXISTING THERMOSTAT TO BE REMOVED, TURN OVER TO OWNER.

MECHANICAL DEMOLITION PLAN

SCALE: 1/8"=1'-0"



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 SUCCESS ACADEMY
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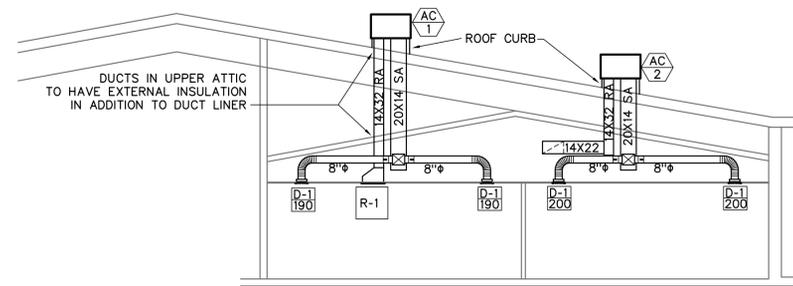
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**MECHANICAL
 DEMOLITION
 PLAN**

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M-1

SHEET NUMBER:
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SECTION

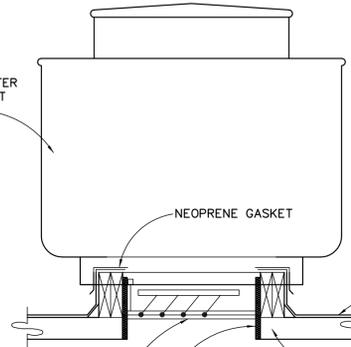
SCALE: 1/8"=1'-0"

A
M-2

SECURE FAN TO CURB WITH S.M. SCREWS 12" O.C. ALL AROUND

TURN FLASHING OVER ROOF CURB

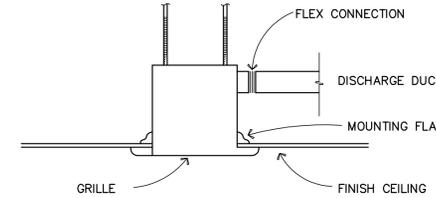
ROOF EXHAUSTER SEE EQUIPMENT SCHEDULE



ROOF MOUNTED EXHAUST FAN

SCALE: NONE

B
M-2



CEILING MOUNTED EXHAUST FAN DETAIL

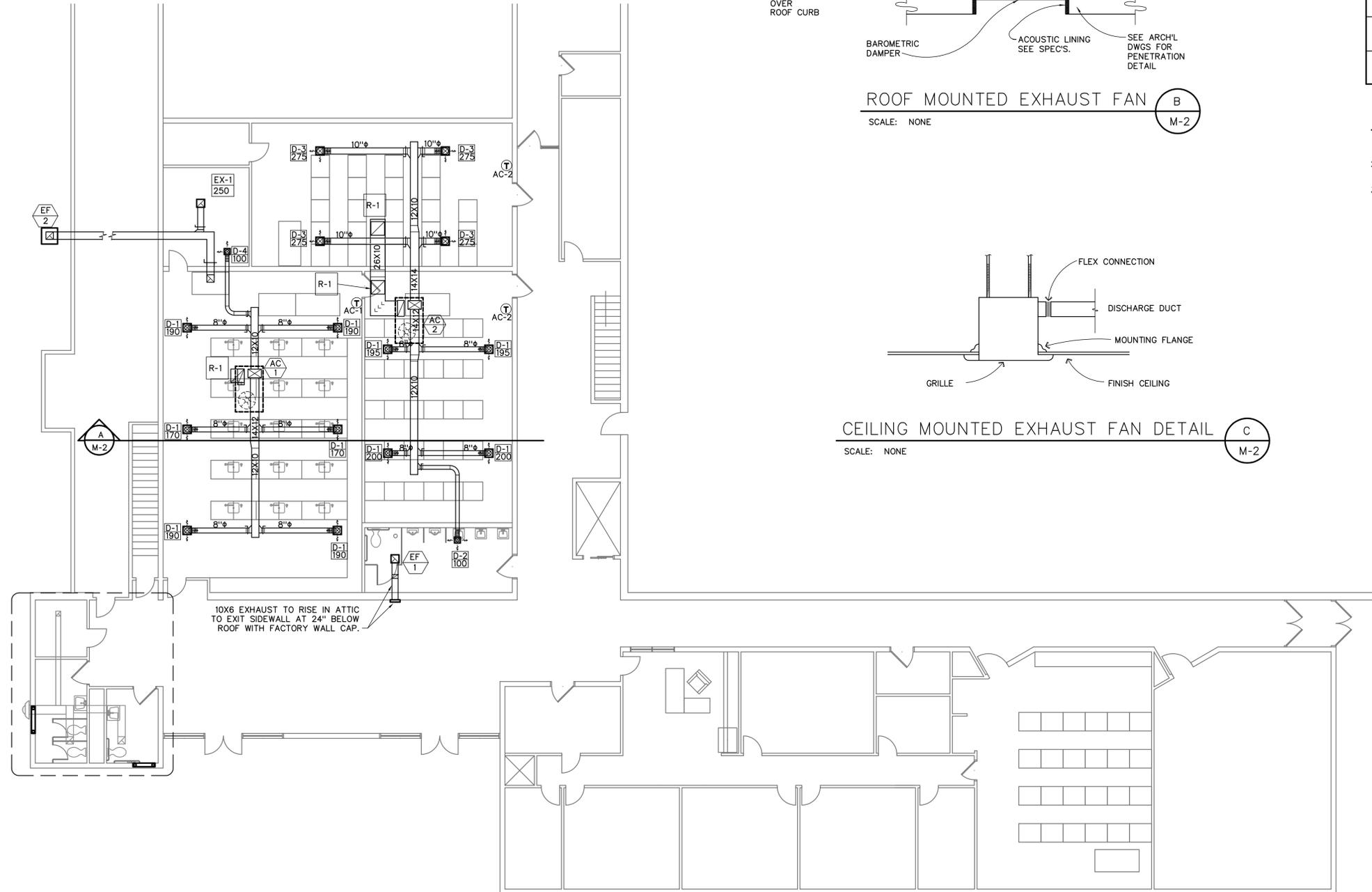
SCALE: NONE

C
M-2

LEGEND	
SYMBOL	DESCRIPTION
	MANUAL VOLUME DAMPER
	BRANCH DUCT TAKE-OFF
	SINGLE THICKNESS TURNING VANES
	DUCT TRANSITION
	EXISTING SUPPLY DUCT
	THERMOSTAT

GENERAL NOTES:

- DUCT DIMENSIONS SHOWN ARE CLEAR INSIDE DUCT LINER.
- SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF GRILLES AND DIFFUSERS.
- REMOTE CEILING DAMPER REGULATORS ARE REQUIRED ON ALL BALANCE DAMPERS THAT ARE NOT LOCATED DIRECTLY ABOVE REMOVABLE CEILINGS.
- WRAP ALL SUPPLY AND RETURN DUCT LOCATED ABOVE THE INSULATION WITH EXTERNAL BLANKET WRAP INSULATION IN ADDITION TO THE INTERNAL DUCT LINER. SEE SPECIFICATIONS.



MECHANICAL FLOOR PLAN

SCALE: 1/8"=1'-0"



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Project:
MULTIPURPOSE BUILDING
SUCCESS ACADEMY
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Sheet Title:
MECHANICAL
FLOOR
PLAN

Revisions:

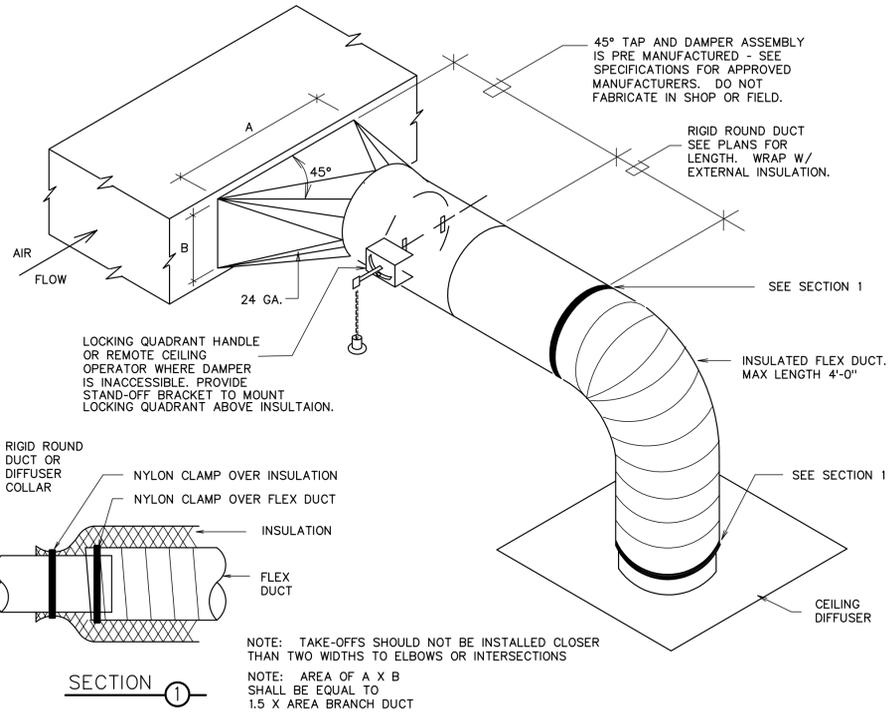
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M-2

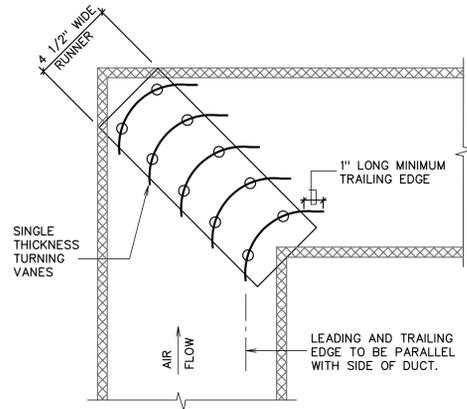
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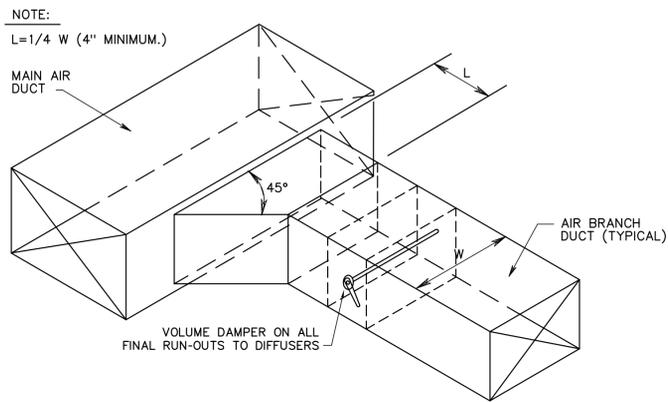
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SQUARE TO ROUND TAKE-OFF DETAIL 1
SCALE: NONE M-3



SINGLE THICKNESS TURNING VANE DETAIL 2
SCALE: NONE M-3

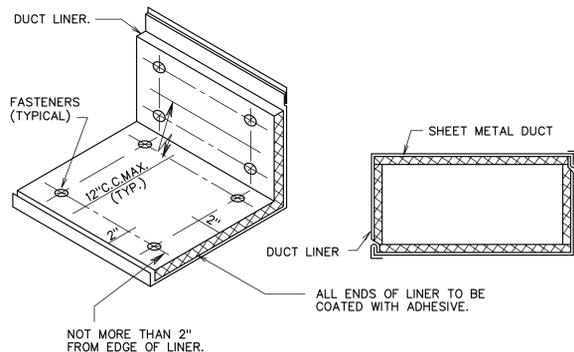


SUPPLY OR RETURN AIR DUCT BRANCH CONNECTION DETAIL 4
SCALE: NONE M-3

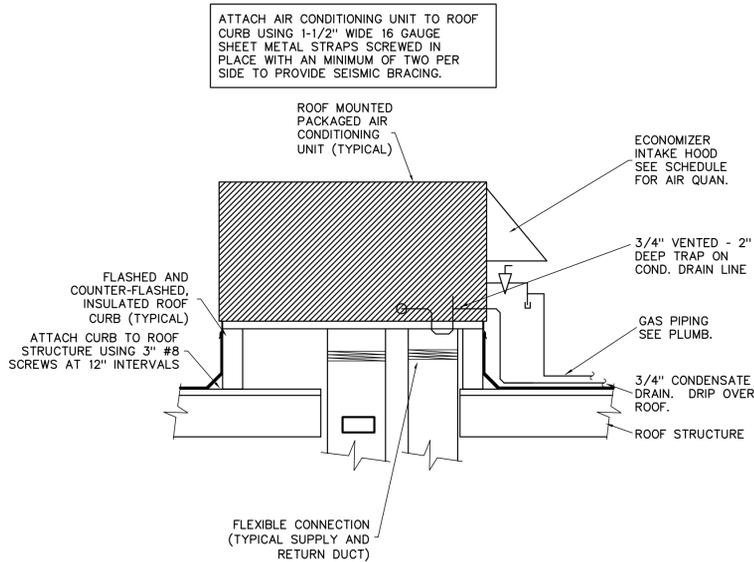
DIMENSION OF LONGEST SIDE, INCHES	SHEET METAL GAGE (ALL FOUR SIDES)	MINIMUM REINFORCING ANGLE SIZE AND MAXIMUM LONGITUDINAL SPACING BETWEEN TRANSVERSE JOINTS &/OR INTERMEDIATE REINFORCING	TRANSVERSE REINFORCING (1)				
			AT JOINTS				
			MIN. H. IN.	DRIVE SLIP	HEMME S SLIP	ALTERN BAR SLIP	REIN-FORCED BAR SLIP
			RECOM-MENDED GAGE	RECOM-MENDED GAGE	RECOM-MENDED GAGE	RECOM-MENDED GAGE	
UP THRU 12	26	NONE REQUIRED	1	26	26	24	24
13 - 18	24	NONE REQUIRED	1	24	24	24	24
19 - 30	24	1"X1"X1/8" @ 60 IN	1	-	24	24	24
31 - 36	22	1"X1"X1/8" @ 60 IN	1	-	22	22	22

(1) TRANSVERSE REINFORCING SIZE IS DETERMINED BY DIMENSION OF SIDE TO WHICH ANGLE IS APPLIED.
(2) LONGITUDINAL JOINTS TO BE PITTSBURG OR SNAP LOCK TYPE.

DUCT CONSTRUCTION DETAIL 3
SCALE: NONE M-3



DUCT LINER DETAIL 5
SCALE: NONE M-3



ROOFTOP PACKAGED ELECTRIC COOL GAS HEAT DETAIL 6
SCALE: NONE M2

MARK	NOM. TONS	MODEL NUMBER	SCFM	S.P. EXT. IN. W.G.	COOLING CAP.		HEATING CAPACITY (MBH)		OSA CFM	ELECTRICAL						OPERATING WEIGHT LBS	REMARKS		
					TOTAL MBH	SENS. MBH	1ST/2ND STAGE OUTPUT	INPUT		VOLT/PH	COMPRESSOR NO.	RLA	LRA	OFM FLA	IFM FLA			MOCOP	MCA
AC 1	3	48HJ004	1200	.60	36.0	27.2	65.6/93.1	82.0/115.0	480	208/3	1	10.3	77.0	.07	4.9	30	24.5	695	
AC 2	5	48HJ006	1990	.60	63.8	46.7	120.0/96.0	120.0/150.0	870	208/3	1	17.3	123.0	1.5	5.8	40.0	34.9	725	

- NOTES:
- COOLING CAPACITY AT 95°F AMBIENT, 85°Fdb AND 67°Fwb ENTERING AIR TEMPERATURE.
 - CFM LISTED IS ACTUAL CFM AT ALTITUDE OF 5623 FT.
 - MANUFACTURER FOR MODEL NUMBER LISTED IS CARRIER, SEE SPECIFICATIONS FOR OTHER APPROVED MANUFACTURERS.
 - PROVIDE INTEGRATED MODULATING ECONOMIZER CAPABLE OF 100% OUTSIDE AIR AND MEANS TO FULLY CLOSE DAMPER DURING UNOCCUPIED PERIODS OR WHEN INDOOR FAN IS SHUT DOWN. WITH BAROMETRIC RELIEF DAMPER.
 - PROVIDE EACH UNIT WITH NEW LOW VOLTAGE PROGRAMMABLE THERMOSTAT WITH AUTOMATIC CHANGE OVER FOR TWO STAGES HEATING AND TWO STAGES COOLING, SEVEN DAY PROGRAM WITH TWO STARTS AND STOPS PER DAY, AND PROVISIONS FOR DAMPER OPERATORS.
 - PROVIDE EACH UNIT WITH COIL GUARDS ON OUTDOOR AIR COILS.
 - FUEL SOURCE FOR HEATING IS NATURAL GAS. PROVIDE & INSTALL IN UNITS, THE REQUIRED ORIFICE & REGULATOR KIT FOR THE ALTITUDE AND GAS SUPPLIERS REQUIREMENTS. PROVIDE "GREEN STICKER" CERTIFICATION PRIOR TO FINAL INSPECTION.

MARK	TYPE	MODEL	CFM RANGE	NOMINAL SIZE	REMARKS
R-1	CEILING RETURN GRILLE	355RL	800-1200	22X22	① ② ③
EX-1	CEILING EXHAUST GRILLE	355RL	100-300	12X12	

- ① MAXIMUM NC=26 @ MAXIMUM CFM NOTED.
② MANUFACTURER FOR MODEL SHOWN IS TITUS, SEE SPECIFICATIONS FOR OTHER APPROVED MANUFACTURERS.
③ FINISH SHALL BE OFF-WHITE BAKED ENAMEL.

MARK	C.F.M. RANGE	DIFFUSER SIZE	NECK CONN.	BLOW	PATTERN	AIR DIST./SIDE	
						A (%)	B (%)
D-1	175-250	12X12	8"φ	3 WAY	⊙	50	25
D-2	80-125	9X9	7"φ	3 WAY	⊙	50	25
D-3	250-380	12X12	10"φ	3 WAY	⊙	50	25
D-4	80-125	9X9	7"φ	2 WAY	⊙	50	50

- ① MAXIMUM NC=25 @ MAXIMUM CFM NOTED.
② SHALL BE TITUS TDC TYPE 3 FOR LAY-IN CEILINGS OR TYP 6 FOR HARD CEILINGS. SEE SPECIFICATIONS FOR OTHER APPROVED MANUFACTURERS.
③ FINISH SHALL BE OFF-WHITE BAKED ENAMEL.

MARK	MODEL NUMBER	AREA SERVED	ACFM	EXT. S.P. IN. W.G.	SONES @ 250 IN. W.G.	ELECTRICAL		BAROM. DAMPER	WIRE SCREEN	DRIVE	REMARKS
						VOLT/PH/Hz	MOTOR WATTS				
EF 1	VCDB030	RESTROOMS	250	.250	4.6	115/1/60	150	YES	YES	DIRECT	CEILING MOUNTED ③ ④
EF 2	VUBK15	FUME HOOD/STORAGE RM	700	.050	8.5	115/1/60	1/6 HP		YES	BELT	UP BLAST ROOF MOUNTED ⑤ ⑥

- ① CFM AT JOB SITE ELEVATION OF 2820 FT.
② MANUFACTURER FOR MODEL # SHOWN IS CARNES (SEE SPECIFICATIONS FOR OTHER APPROVED MANUFACTURERS)
③ CONTROL: CONTROL FANS FROM LIGHT SWITCH.
④ PROVIDE WITH MODEL VXCAW WALL CAP AND DUCT FROM FAN OUTLET.
⑤ CONTROL: WALL SWITCH
⑥ PROVIDE FACTORY ROOF CURB

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 MULTIPURPOSE BUILDING
 SUCCESS ACADEMY
 REMODEL

Project:
 Sheet Title:
MECHANICAL SCHEDULES AND DETAILS

Revisions:

PROJECT NUMBER:
 DATE:
 DRAWN BY:
 CHECKED BY:
 APPROVED BY:

M-3

SHEET NUMBER:
 Sheet of

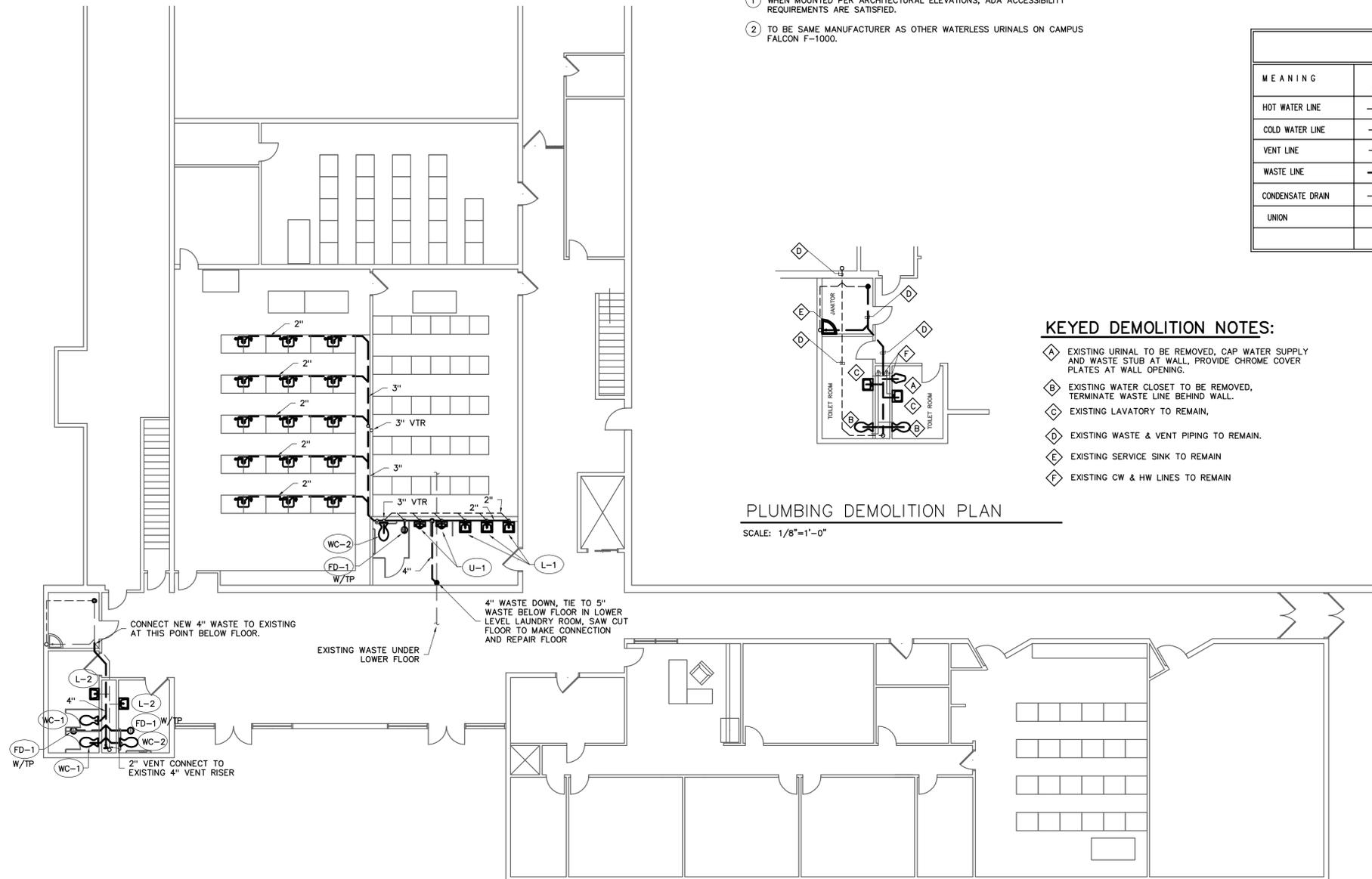
GENERAL PLUMBING NOTES:

- 1- ALL PLUMBING SHALL COMPLY WITH THE MOST STRINGENT OF APPLICABLE CODES ORDINANCES, OR THE SPECIFICATIONS.
- 2- ALL FIXTURES SHALL BE PROPERLY VENTED TO THE ATMOSPHERE.
- 3- REFER TO MECHANICAL SHEETS FOR LOCATIONS OF MECHANICAL EQUIPMENT AND DUCTWORK, AND CORRELATE ALL WORK TO FIT AVAILABLE SPACE.
- 4- WATER PIPING, VENT AND GAS PIPING SHALL BE RUN ABOVE CEILING UNLESS OTHERWISE NOTED OR SHOWN.
- 5- FOR INDIVIDUAL LINE SIZES TO FIXTURES SEE FIXTURE SCHEDULE ON THIS SHEET.
- 6- DUE TO THE CLOSE PROXIMITY OF THE WATER, VENT AND DRAIN PIPING AS WELL AS DUCTWORK, THE PLUMBING CONTRACTOR SHALL COORDINATE THE INSTALLATION WITH THE MECHANICAL AND SHEET METAL CONTRACTORS PRIOR TO INSTALLATION.
- 7- SEE SCHEMATICS SHEET P-3 FOR PIPE SIZES.
- 8- PROVIDE STAINLESS STEEL, HINGED ACCESS DOOR IN RESTROOM WALL FOR TRAP PRIMER VALVES.

PLUMBING FIXTURE SCHEDULE																
MARK	FIXTURE	PIPE SIZE					REMARKS	QUAN	WASTE F.U. EACH	COLD WATER F.U. EACH	HOT WATER F.U. EACH	COMB. WATER F.U. EACH	WASTE F.U. TOTAL	COLD WATER F.U. TOTAL	HOT WATER F.U. TOTAL	COMB. WATER F.U. TOTAL
		TRAP	WASTE	VENT	C.W.	H.W.										
WC-1	WATER CLOSET EXISTING	INT.	4"	2"	1/2"	-	FLUSH VALVE W/PROXIMITY SENSOR, FLOOR MOUNTED, STANDARD HEIGHT MAX 1.6 GPF	3	6	10	0	10	18	30	0	30
WC-2	WATER CLOSET	INT.	4"	2"	1/2"	-	FLUSH VALVE W/PROXIMITY SENSOR, FLOOR MOUNTED, 18" RIM HEIGHT (ADA), MAX 1.6 GPF	1	6	10	0	10	6	10	0	10
U-1	URINAL	INT.	3"	2"	-	-	WATERLESS, NO FLUSH TYPE, WALL HUNG, (1) (2)	2	3	0	0	0	6	0	0	0
L-1	LAVATORY	1-1/4"	1-1/4"	1-1/2"	1/2"	1/2"	SELF SUPPORTING 20" x 18", MAX, 0.5 GPM FLOW RESTRICTOR	3	1	1.5	1.5	2	3	4.5	4.5	6
L-2	LAVATORY (EXISTING)	1-1/4"	1-1/4"	1-1/2"	1/2"	1/2"	EXISTING FIXTURE TO REMAIN.	2	1	1.5	1.5	2	2	3.0	3.0	4
S-1	LAB SINK	1-1/4"	1-1/4"	1-1/2"	3/4"	-	STAINLESS STEEL, COUNTER TOP W/SINGLE VAVLE GOOSENECK FIXTURE - VACUUM BREAKER REQUIRED	15	1	2	0	2	15	30	0	30
FD-1	FLOOR DRAIN	2"	2"	2"	-	-	WITH DEEP SEAL P-TRAP	4	2	0	0	0	8	0	0	0
TOTAL (F.U.)												58	77.5	7.5	80	
GPM												34.5	13.7	36		

- (1) WHEN MOUNTED PER ARCHITECTURAL ELEVATIONS, ADA ACCESSIBILITY REQUIREMENTS ARE SATISFIED.
- (2) TO BE SAME MANUFACTURER AS OTHER WATERLESS URINALS ON CAMPUS FALCON F-1000.

LEGEND			
MEANING	SYMBOL OR ABBREVIATION	MEANING	SYMBOL OR ABBREVIATION
HOT WATER LINE	----	WALL CLEANOUT	WCO
COLD WATER LINE	----	VENT THRU ROOF	VTR
VENT LINE	----	CLEANOUT	CO
WASTE LINE	----	CLEANOUT TO GRADE	COTG
CONDENSATE DRAIN	cd	BALL VALVE	⊕
UNION	— — —	TRAP PRIMER	TP

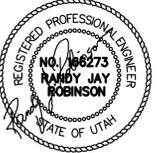


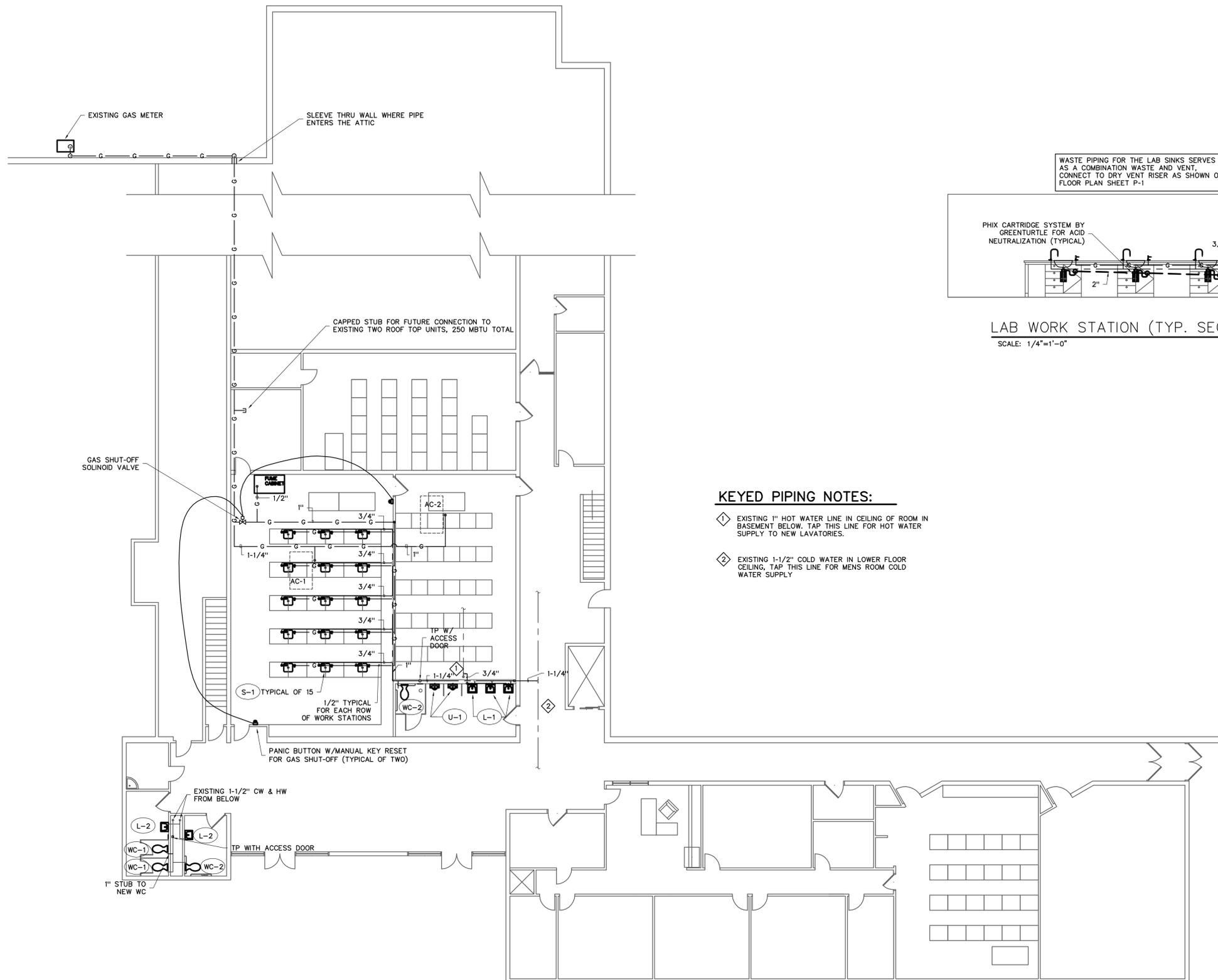
PLUMBING DEMOLITION PLAN

SCALE: 1/8"=1'-0"

PLUMBING FLOOR PLAN

SCALE: 1/8"=1'-0"



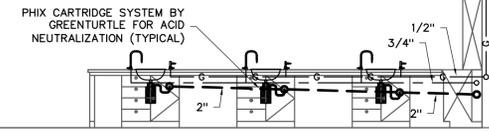


PIPING FLOOR PLAN
SCALE: 1/8"=1'-0"

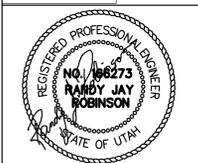
KEYED PIPING NOTES:

- ◊ EXISTING 1" HOT WATER LINE IN CEILING OF ROOM IN BASEMENT BELOW. TAP THIS LINE FOR HOT WATER SUPPLY TO NEW LAVATORIES.
- ◊ EXISTING 1-1/2" COLD WATER IN LOWER FLOOR CEILING, TAP THIS LINE FOR MENS ROOM COLD WATER SUPPLY

WASTE PIPING FOR THE LAB SINKS SERVES AS A COMBINATION WASTE AND VENT. CONNECT TO DRY VENT RISER AS SHOWN ON FLOOR PLAN SHEET P-1



LAB WORK STATION (TYP. SECTION)
SCALE: 1/4"=1'-0"



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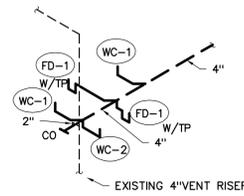
Project:
MULTIPURPOSE BUILDING
SUCCESS ACADEMY
REMODEL

Sheet Title:
WATER AND
GAS FLOOR
PLAN
Revisions:
12/16/07 OWNERS REVIEW

PROJECT NUMBER:
DATE:
DRAWN BY: RMR
CHECKED BY: RJR
APPROVED BY: RJR

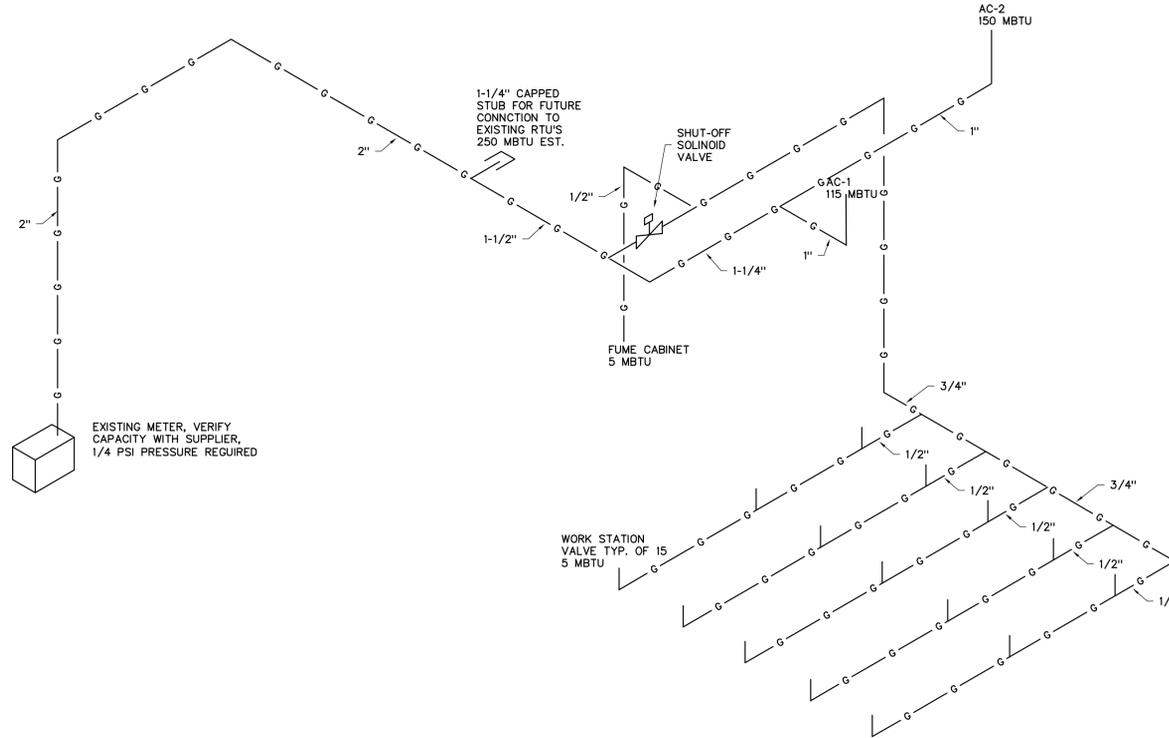
P-2

SHEET NUMBER:
Sheet of



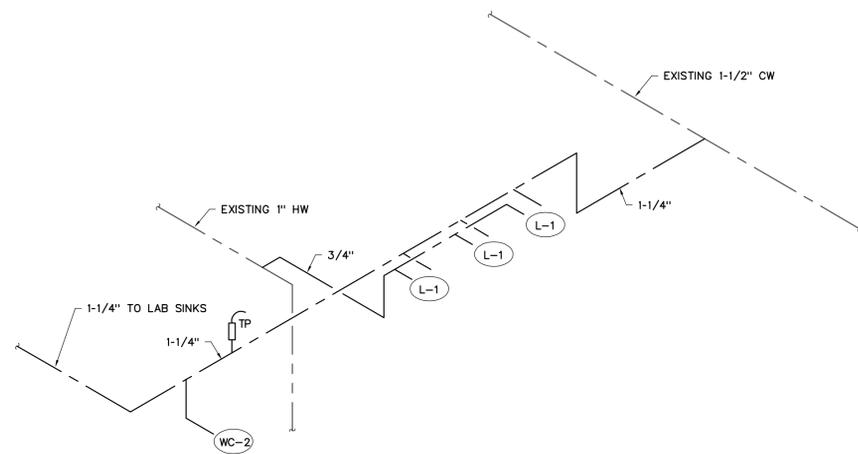
WOMENS RESTROOM PLUMBING SCHEMATIC

SCALE: NONE



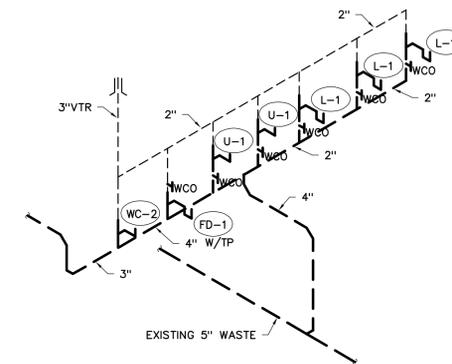
GAS PIPING SCHEMATIC

SCALE: NONE



MENS RESTROOM PIPING SCHEMATIC

SCALE: NONE



MENS RESTROOM PLUMBING SCHEMATIC

SCALE: NONE



Project:

Sheet Title:

WATER AND
GAS
SCHEMATICS

Revisions:

12/16/07 OWNERS REVIEW

PROJECT NUMBER:
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P-3

SHEET NUMBER:
Sheet of



GENERAL NOTES:

- REMOVE OR RELOCATE ANY EXISTING ELECTRICAL DEVICES, AND CIRCUIT CONDUIT IN CONFLICT WITH THIS ELECTRICAL PLAN. COORDINATE ALL REQ'S WITH OWNER. REMOVE CIRCUIT CONDUIT BACK TO NEAREST JUNCTION BOX. MAINTAIN POWER TO DOWNLINE DEVICES. EXTEND CIRCUIT CONDUIT AS REQUIRED. RETURN ANY REMOVED DEVICES TO OWNER OR DISPOSE OF THEM AS DIRECTED BY OWNER.
- ELECTRICAL CONTRACTOR SHALL VISIT THE PROJECT SITE DURING THE BIDDING PROCESS TO DETERMINE THE TOTAL SCOPE OF THE PROJECT.

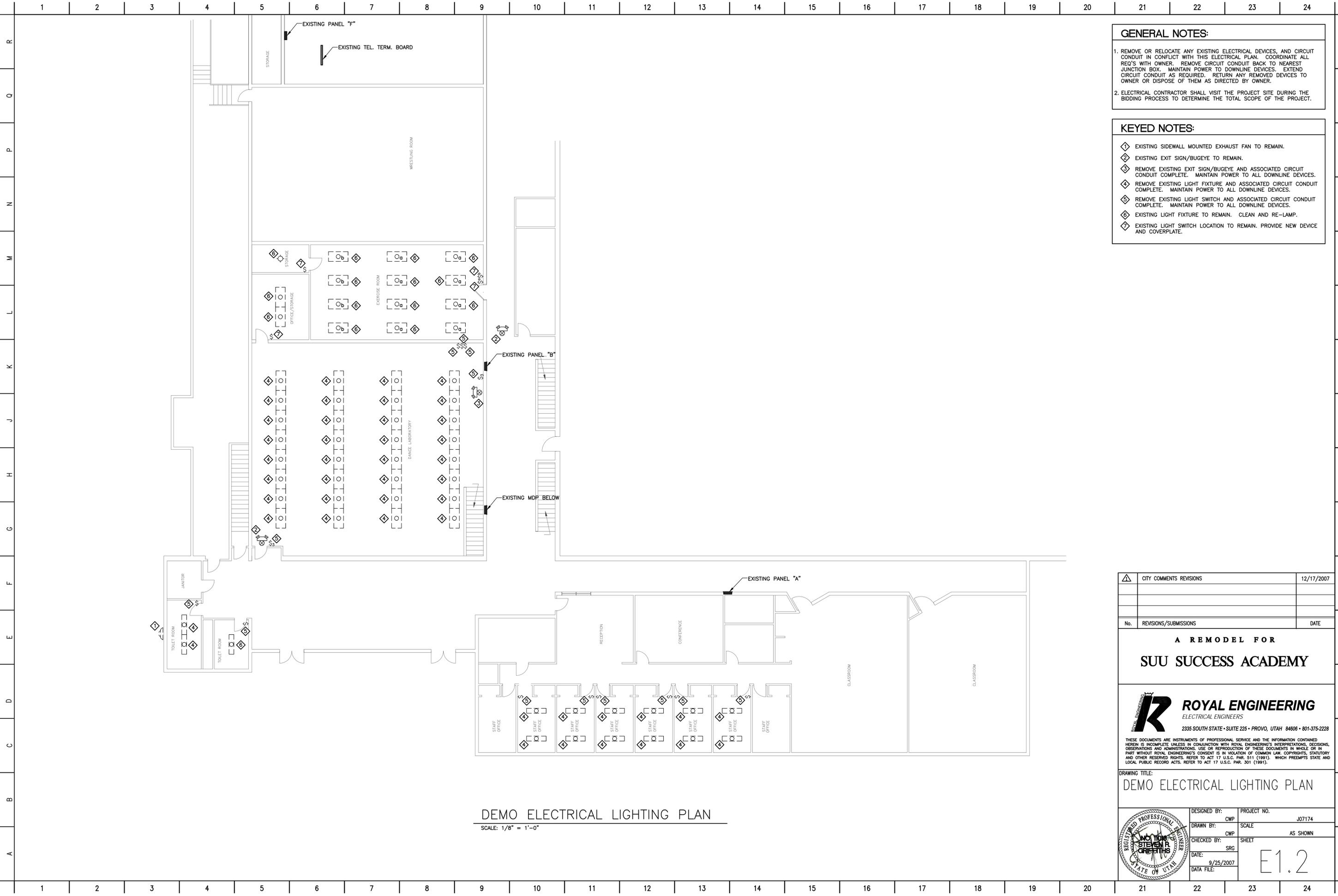
KEYED NOTES:

- EXISTING FIRE ALARM EQUIPMENT LOCATION TO REMAIN. PROVIDE NEW DEVICE. INSTALL EXISTING CONDUCTORS IN CONDUIT.
- APPROXIMATE LOCATION OF EXISTING TELEPHONE TERMINAL BOARD.
- EXISTING PANEL "F" TO REMAIN.
- EXISTING PANEL "B" TO REMAIN.
- EXISTING MDP BELOW.
- EXISTING FACP.
- REMOVE EXISTING SPEAKER AND ASSOCIATED CIRCUIT CONDUIT COMPLETE.
- REMOVE EXISTING RECEPTACLE AND ASSOCIATED CIRCUIT CONDUIT COMPLETE. MAINTAIN POWER TO ALL DOWNLINE DEVICES.
- REMOVE EXISTING DATA OUTLET AND ASSOCIATED CONDUIT COMPLETE.
- REMOVE EXISTING DATA/VOICE OUTLET AND ASSOCIATED CONDUIT COMPLETE.
- REMOVE EXISTING FIRE ALARM DEVICE AND ASSOCIATED CONDUIT COMPLETE.
- REMOVE EXISTING CLOCK SYSTEM CONTROL AND ASSOCIATED CIRCUIT CONDUIT COMPLETE.
- EXISTING POWER/DATA MOLDING TO REMAIN.
- EXISTING PANEL "A" TO REMAIN.

ELECTRICAL SYMBOLS		ELECTRICAL SYMBOLS	
NOTE: ALL SYMBOLS MAY NOT BE USED		DOTTED SYMBOLS INDICATE EXISTING FIXTURE, EQUIPMENT, ETC.	
SYMBOL	EXPLANATION	SYMBOL	EXPLANATION
—	CROSS LINES INDICATE NUMBER OF CONDUCTORS IF MORE THAN TWO	\$	SINGLE POLE SWITCH
—	BRANCH CIRCUIT CONCEALED IN CEILING OR WALL	\$2	TWO POLE SWITCH
---	BRANCH CIRCUIT CONCEALED IN GROUND OF FLOOR	\$3	3-WAY SWITCH
—	BRANCH CIRCUIT HOMERUNS TO PANEL	\$4	4-WAY SWITCH
A-1,3	LIGHTING AND POWER PANELBOARD	\$0	DIMMER SWITCH
CH	MECHANICAL EQUIPMENT SYMBOL	\$K	KEYED SWITCH
◇	KEYED NOTE REFERENCE	\$T	TIMER SWITCH
⊕	JUNCTION BOX	\$TH	MANUAL STARTER WITH THERMAL OVERLOAD
⊖	DUPLEX RECEPTACLE OUTLET	\$F	EXHAUST FAN TIMER SWITCH
⊕⊖	QUAD RECEPTACLE OUTLET	\$S\$S	CONTROLLING SWITCH (LETTER INDICATES CONTROL CIRCUIT)
⊖	SPLIT WIRED DUPLEX RECEPTACLE OUTLET	\$S	OCCUPANCY SENSOR SWITCH (CELLING MOUNTED)
WP	DUPLEX RECEPTACLE WEATHERPROOF AND GFCI	\$OC	OCCUPANCY SENSOR SWITCH
GFCI	DUPLEX RECEPTACLE OUTLET WITH GROUND FAULT CIRCUIT INTERRUPTION PROTECTION	\$S	DOUBLE SINGLE POLE SWITCH
EWC	RECEPTACLE ELECTRIC WATER COOLER (EWC)	⊖	MOTOR OUTLET
⊖	220V RECEPTACLE OUTLET	⊖	THERMOSTAT OUTLET
⊖	ISOLATED GROUND RECEPTACLE	\$I	REMOTE SENSOR OUTLET
⊖	RECEPTACLE FLOOR MOUNTED	\$I	EXHAUST FAN
⊖	SPECIAL RECEPTACLE	-B	BELL
⊖	DISCONNECT SWITCH	⊖	PUSHBUTTON
⊖	MOTOR STARTER	⊖	VOLUME CONTROL
⊖	FLUORESCENT FIXTURE (TYPICAL)	⊖	SPEAKER
EM	EMERGENCY LIGHTING UNIT (LITHONIA PS1400 OR EQUIV)	⊖	TELEPHONE OUTLET
◇	SURFACE OR PENDANT MOUNTED FIXTURE	⊖	COMPUTER DATA OUTLET
⊖	RECESSED FIXTURE	⊖	NETWORK AND VOICE OUTLET
⊖	WALL MOUNTED FIXTURE	⊖	TELEVISION OUTLET
⊖	WALL PACK	⊖	FIRE ALARM HORN/STROBE
⊖	FLUORESCENT STRIP	⊖	FIRE ALARM HORN/STROBE
⊖	TRACK LIGHTING	⊖	FIRE ALARM HORN/STROBE
⊖	EMERGENCY LIGHTING UNIT	⊖	FIRE ALARM STROBE
F1	FIXTURE TYPE SYMBOL	⊖	SMOKE ALARM BATTERY-BACKED
⊖	WALL MOUNTED EXIT LIGHT (SINGLE FACE)	⊖	SMOKE DETECTOR
⊖	WALL MOUNTED EXIT LIGHT (DOUBLE FACE)	⊖	SMOKE ALARM
⊖	CEILING MOUNTED EXIT LIGHT	⊖	FIRE/SMOKE DAMPER
⊖	CEILING MOUNTED EXIT LIGHT (DOUBLE FACE)	⊖	DUCT SMOKE DETECTOR
(42X)	FEEDER TAG	⊖	ROOM NUMBER

DEMO ELECTRICAL POWER PLAN
SCALE: 1/8" = 1'-0"

▲	CITY COMMENTS REVISIONS	12/17/2007
No.	REVISIONS/SUBMISSIONS	DATE
A REMODEL FOR SUU SUCCESS ACADEMY		
ROYAL ENGINEERING ELECTRICAL ENGINEERS 2335 SOUTH STATE • SUITE 225 • PROVO, UTAH 84606 • 801-375-2228		
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DRAWING TITLE: DEMO ELECTRICAL POWER PLAN		
	DESIGNED BY: CWP	PROJECT NO. J07174
	DRAWN BY: CWP	SCALE AS SHOWN
	CHECKED BY: SRG	SHEET E1.1
	DATE: 9/25/2007	
	DATA FILE:	



GENERAL NOTES:

1. REMOVE OR RELOCATE ANY EXISTING ELECTRICAL DEVICES, AND CIRCUIT CONDUIT IN CONFLICT WITH THIS ELECTRICAL PLAN. COORDINATE ALL REQ'S WITH OWNER. REMOVE CIRCUIT CONDUIT BACK TO NEAREST JUNCTION BOX. MAINTAIN POWER TO DOWNLINE DEVICES. EXTEND CIRCUIT CONDUIT AS REQUIRED. RETURN ANY REMOVED DEVICES TO OWNER OR DISPOSE OF THEM AS DIRECTED BY OWNER.
2. ELECTRICAL CONTRACTOR SHALL VISIT THE PROJECT SITE DURING THE BIDDING PROCESS TO DETERMINE THE TOTAL SCOPE OF THE PROJECT.

KEYED NOTES:

- ⬠ EXISTING SIDEWALL MOUNTED EXHAUST FAN TO REMAIN.
- ⬠ EXISTING EXIT SIGN/BUGEYE TO REMAIN.
- ⬠ REMOVE EXISTING EXIT SIGN/BUGEYE AND ASSOCIATED CIRCUIT CONDUIT COMPLETE. MAINTAIN POWER TO ALL DOWNLINE DEVICES.
- ⬠ REMOVE EXISTING LIGHT FIXTURE AND ASSOCIATED CIRCUIT CONDUIT COMPLETE. MAINTAIN POWER TO ALL DOWNLINE DEVICES.
- ⬠ REMOVE EXISTING LIGHT SWITCH AND ASSOCIATED CIRCUIT CONDUIT COMPLETE. MAINTAIN POWER TO ALL DOWNLINE DEVICES.
- ⬠ EXISTING LIGHT FIXTURE TO REMAIN. CLEAN AND RE-LAMP.
- ⬠ EXISTING LIGHT SWITCH LOCATION TO REMAIN. PROVIDE NEW DEVICE AND COVERPLATE.

DEMO ELECTRICAL LIGHTING PLAN

SCALE: 1/8" = 1'-0"

⚠	CITY COMMENTS REVISIONS	12/17/2007

No.	REVISIONS/SUBMISSIONS	DATE

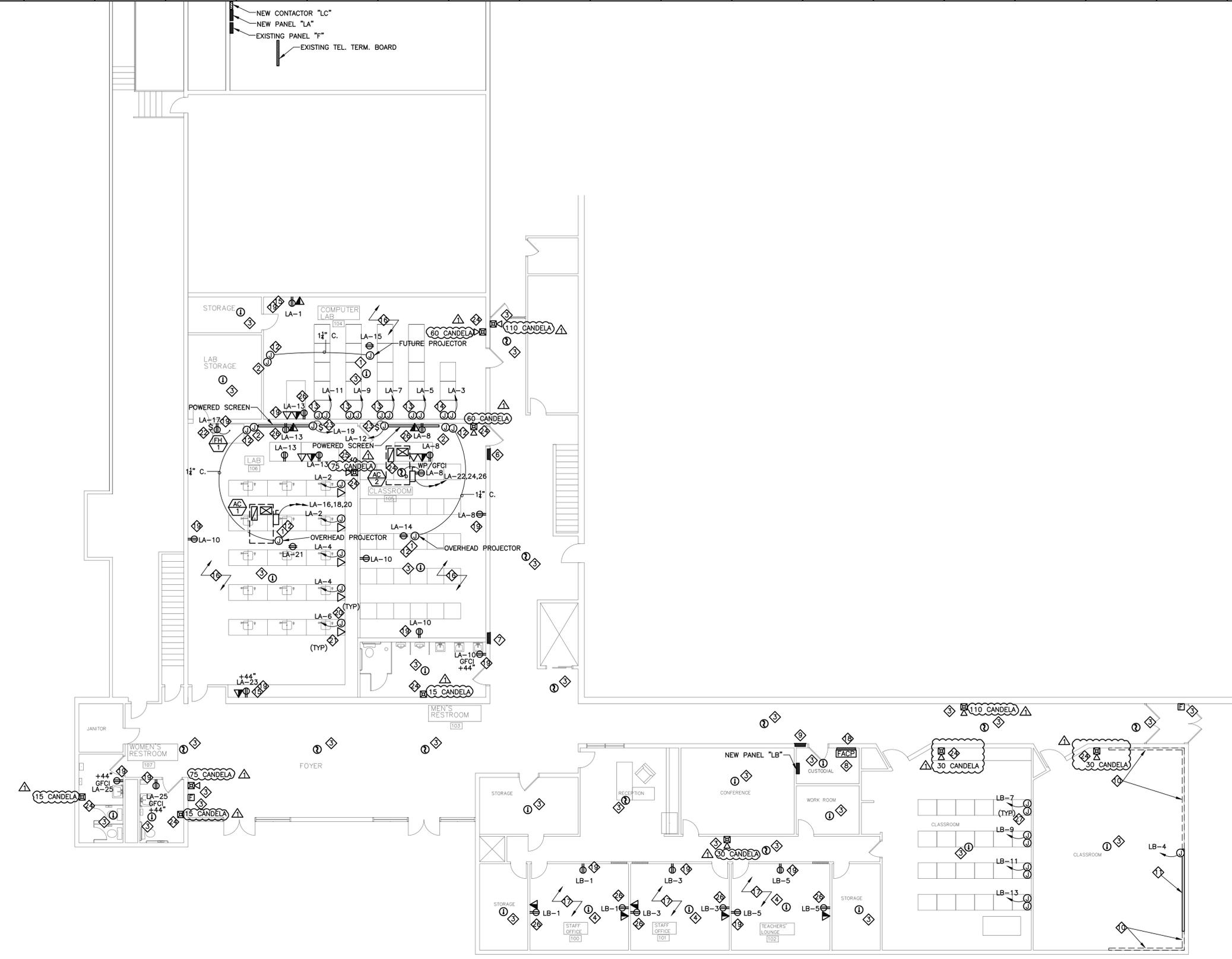
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DRAWING TITLE:
DEMO ELECTRICAL LIGHTING PLAN

	DESIGNED BY:	CWP	PROJECT NO.	J07174
	DRAWN BY:	CWP	SCALE	AS SHOWN
	CHECKED BY:	SRG	SHEET	E1.2
	DATE:	9/25/2007		
	DATA FILE:			



GENERAL NOTES:

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- ELECTRICAL CONTRACTOR SHALL VISIT THE PROJECT SITE DURING THE BIDDING PROCESS TO DETERMINE THE TOTAL SCOPE OF THE PROJECT.

KEYED NOTES:

- ◇ HUBBELL HBLWCS2 BOX.
- ◇ PULL ONE CAT6 AND ONE RG6/U TO JUNCTION BOX.
- ◇ EXISTING FIRE ALARM LOCATION WITH NEW DEVICE.
- ◇ RELOCATED EXISTING FIRE ALARM CIRCUIT WITH NEW DEVICE.
- ◇ APPROXIMATE LOCATION OF EXISTING PANEL "F".
- ◇ EXISTING PANEL "B".
- ◇ EXISTING MDP BELOW.
- ◇ EXISTING FACP ABOVE.
- ◇ EXISTING PANEL "A".
- ◇ EXISTING POWER/DATA MOLDING.
- ◇ NEW POWER/DATA MOLDING. MATCH HEIGHT AND STYLE OF EXISTING MOLDING.
- ◇ MOUNT 4"x4"x4" JUNCTION BOX ABOVE CEILING. RUN THREE CHANNEL NYLON SURFACE RACEWAY (HUBBELL PB3) FROM JUNCTION BOX TO INTERFACE BOX MOUNTED ON WALL.
- ◇ POWER POLE W/ 5 CAT6. TERMINATE ON VISIPATCH BLOCK IN ROOM 212F.
- ◇ POWER POLE W/ 3 CAT6. TERMINATE ON VISIPATCH BLOCK IN ROOM 212F.
- ◇ RECEPTACLE AND DATA/PHONE OUTLET FOR PRINTER. VERIFY EXACT LOCATION AND POWER REQUIREMENTS PRIOR TO ROUGH IN.
- ◇ ALL DATA OUTLETS IN THIS AREA TO BE RUN TO ROOM 212F AND TERMINATED ON VISIPATCH BLOCKS.
- ◇ ALL DATA OUTLETS IN THIS AREA TO BE RUN TO TEL. TERM. BOARD IN CUSTODIAL ROOM.
- ◇ EXISTING TEL. TERM. BOARD BELOW.
- ◇ NEW BOX TO BE SURFACE MOUNTED. RUN ALL CONDUCTORS IN SINGLE-CHANNEL NYLON SURFACE RACEWAY (HUBBELL PP1).
- ◇ E.C. SHALL CONNECT POWER TO FURNITURE AS REQUIRED.
- ◇ MOUNT DATA OUTLET IN HUBBELL SC3098A W/ SS309T
- ◇ CONTROL SWITCH FOR FUME HOOD.
- ◇ CONTROL SWITCH FOR POWERED SCREEN.
- ◇ NEW FIRE ALARM DEVICE. TIE INTO EXISTING FIRE ALARM SYSTEM.
- ◇ MASTER SHUT-OFF SWITCH FOR LAB TABLE POWER. CONNECT TO CONTACTOR "LC"
- ◇ NEW BOX TO BE SURFACE MOUNTED. RUN ALL CONDUCTORS IN THREE-CHANNEL NYLON SURFACE RACEWAY (HUBBELL PB3).
- ◇ POWER POLE W/ 6 CAT6. TERMINATE ON TEL. TERM. BOARD IN CUSTODIAL ROOM.

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DRAWING TITLE:
NEW ELECTRICAL POWER PLAN

	DESIGNED BY:	CWP	PROJECT NO.	J07174
	DRAWN BY:	CWP	SCALE	AS SHOWN
	CHECKED BY:	SRG	SHEET	E2.1
	DATE:	9/25/2007	DATA FILE:	

NEW ELECTRICAL POWER PLAN
SCALE: 1/8" = 1'-0"

EQUIPMENT SCHEDULE									
SYMBOL	DESCRIPTION	VOLTS	PHASE	DISC.	FUSE	NEMA STARTER	HP OR VA	FLA OR (MCA)	
EF 1	EXHAUST FAN	120	1	INTEGRAL PLUG	—	—	150 W		
AC 1	ROOF TOP UNIT	208	3	30A	—	—		24.5 MCA	
AC 2	ROOF TOP UNIT	208	3	60A	—	—		34.9 MCA	
FH 1	FUME HOOD	120	1	INTEGRAL PLUG	—	—		12.9 FLA	

NOTE: VERIFY ALL EQUIPMENT LOCATIONS, QUANTITIES, AND CONNECTION REQUIREMENTS (i.e. VOLTAGE, PHASE, FLA, ETC.) WITH MECHANICAL DRAWINGS/SUBMITTALS BEFORE BEGINNING ROUGH IN.
MAXIMUM VALUES INDICATED. FINAL BREAKER/FUSE & DISCONNECT SIZE SHALL BE DETERMINED BY MANUFACTURER'S RECOMMENDATION FOR ACTUAL EQUIPMENT INSTALLED.

CONTACTOR									
NAME: LC									
LOCATION: NEXT TO NEW PANEL "LA"									
MOUNTING: SURFACE									
RELAY NUMBER	AMP	POLE	SUPPLY	AREA SERVED	LV SWITCH*	AUTOMATION SCHEDULE			
1	20	1	LA-2	LAB TABLES	X	A	B	C	D
2	20	1	LA-4	LAB TABLES	X				
3	20	1	LA-6	LAB TABLES	X				

Automation Schedules: (A) Auto ON / Auto OFF
(B) Manual ON / Auto OFF
(C) Dusk - Dawn
(D) Dusk - Auto OFF
(E) Daylight Sensor

*SEE PLAN FOR LOCATION OF LOW VOLTAGE SWITCH
NOTE: ELECTRICAL CONTRACTOR TO PROVIDE SPACE IN THIS PANEL FOR FUTURE EXPANSION

EXISTING PANEL SCHEDULE "A"																
PANEL: EXISTING "A" USE: EXISTING																
VOLTAGE: 208Y/120 VOLTS PHASE: 3 MAIN LUGS ONLY: EXISTING																
MOUNTING: FLUSH WIRE: 4 MINIMUM EQUIPMENT RATING: EXISTING																
ENCLOSURE: NEMA 1																
REMARKS:																
BREAKER		CIRCUIT NAME			FEEDER			CKT. LOAD			LOAD/PHASE (VA)			BREAKER		
No.	AMPS	POLE	CIRCUIT NAME	C WIRE	GRD	USE	WATTS	ØA	ØB	ØC	WATTS	USE	GRD WIRE	C	POLE	AMPS
1																
2																
3																
4																
5																
6																
7																
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36																
37	100	3	PANEL LA	#3	#8	E	8,886									
38				#3	#8	E	8,859									
39				#3	#8	E	5,808									
40																

ØA	ØB	ØC	DEMAND
2,412	3,120	1,620	2,412
			3,120
			1,620

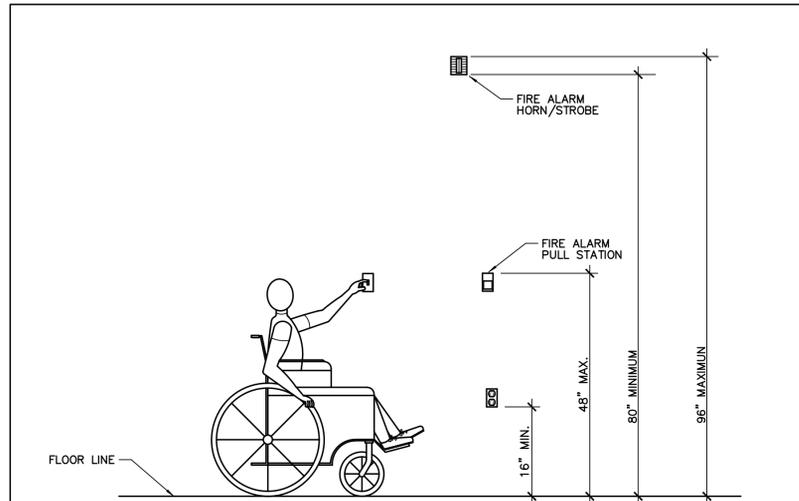
NOTES:
1. ALL INSULATION ON CONDUCTORS TO BE THHN UNLESS NOTED OTHERWISE. INSULATION ON ALL UNDERGROUND EXTERIOR CONDUCTORS SHALL BE THHW. INSULATION ON ALL UNDERGROUND EXTERIOR CONDUCTORS SHALL BE THHW.
2. RECEPTACLE LOAD CALCULATED AS PER SECTION 220 OF THE NATIONAL ELECTRICAL CODE.
3. PANEL COVER SHALL BE FIELD MARKED FOR FLASH PROTECTION WITH A PERMANENT LABEL AS REQUIRED BY THE NATIONAL ELECTRICAL CODE SECTION 110. LABEL SHALL READ AS FOLLOWS: "DANGER: POTENTIAL ARC FLASH HAZARD"

EXISTING PANEL SCHEDULE "F"																
PANEL: EXISTING "F" USE: EXISTING																
VOLTAGE: 208Y/120 VOLTS PHASE: 3 MAIN LUGS ONLY: EXISTING																
MOUNTING: SURFACE WIRE: 4 MINIMUM EQUIPMENT RATING: EXISTING																
ENCLOSURE: NEMA 1																
REMARKS:																
BREAKER		CIRCUIT NAME			FEEDER			CKT. LOAD			LOAD/PHASE (VA)			BREAKER		
No.	AMPS	POLE	CIRCUIT NAME	C WIRE	GRD	USE	WATTS	ØA	ØB	ØC	WATTS	USE	GRD WIRE	C	POLE	AMPS
1																
2																
3																
4																
5																
6																
7																
8																
9																
10																
11																
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30																
31																
32																
33																
34																
35																
36																
37	100	3	PANEL LA	#3	#8	E	8,886									
38				#3	#8	E	8,859									
39				#3	#8	E	5,808									
40																

ØA	ØB	ØC	DEMAND
2,940	2,940	2,940	2,940
			2,940
			1,888
			4,188
			4,188

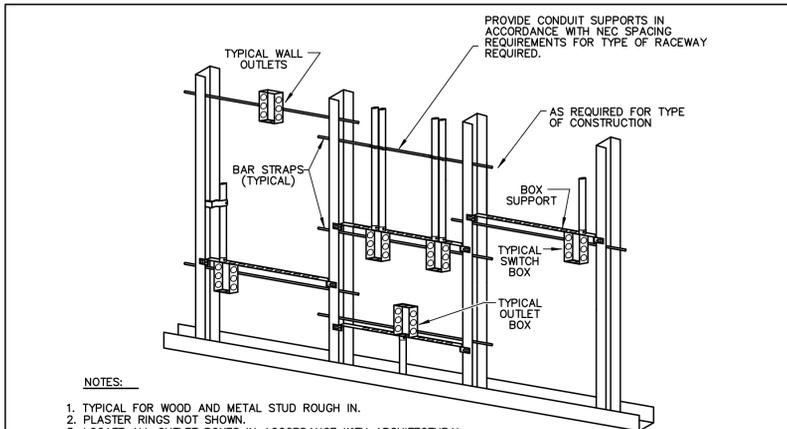
NOTES:
1. ALL INSULATION ON CONDUCTORS TO BE THHN UNLESS NOTED OTHERWISE. INSULATION ON ALL UNDERGROUND EXTERIOR CONDUCTORS SHALL BE THHW. INSULATION ON ALL UNDERGROUND EXTERIOR CONDUCTORS SHALL BE THHW.
2. RECEPTACLE LOAD CALCULATED AS PER SECTION 220 OF THE NATIONAL ELECTRICAL CODE.
3. PANEL COVER SHALL BE FIELD MARKED FOR FLASH PROTECTION WITH A PERMANENT LABEL AS REQUIRED BY THE NATIONAL ELECTRICAL CODE SECTION 110. LABEL SHALL READ AS FOLLOWS: "DANGER: POTENTIAL ARC FLASH HAZARD"

FEEDER SCHEDULE											
TYPE	CONDUIT SIZE	CONDUCTORS	GND. COND.	TYPE	CONDUIT SIZE	CONDUCTORS	GND. COND.	TYPE	CONDUIT SIZE	CONDUCTORS	GND. COND.
(212)	3/4"	3/4"	2 #12 #12	(22)	1"	1"	2 #2 #6	(225)	2"	2"	2 #250 #4
(312)	3/4"	3/4"	3 #12 #12	(32)	1-1/4"	1-1/4"	3 #2 #6	(325)	2"	2"	3 #250 #4
(412)	3/4"	3/4"	4 #12 #12	(42)	1-1/4"	1-1/4"	4 #2 #6	(425)	2-1/2"	2-1/2"	4 #250 #4
(20)	3/4"	3/4"	2 #10 #10	(21)	1-1/4"	1-1/4"	2 #1 #6	(230)	2"	2"	2 #300 #4
(30)	3/4"	3/4"	3 #10 #10	(31)	1-1/4"	1-1/4"	3 #1 #6	(330)	2-1/2"	2-1/2"	3 #300 #4
(40)	3/4"	3/4"	4 #10 #10	(41)	1-1/2"	1-1/2"	4 #1 #6	(430)	3"	2-1/2"	4 #300 #4
(28)	3/4"	3/4"	2 #8 #10	(21X)	1-1/4"	1-1/4"	2 #1/0 #6	(235)	2"	2"	2 #350 #4
(38)	3/4"	3/4"	3 #8 #10	(31X)	1-1/2"	1-1/2"	3 #1/0 #6	(335)	3"	2-1/2"	3 #350 #4
(48)	3/4"	3/4"	4 #8 #10	(41X)	1-1/2"	1-1/2"	4 #1/0 #6	(435)	3"	2-1/2"	4 #350 #4
(26)	3/4"	3/4"	2 #6 #10	(22X)	1-1/4"	1-1/4"	2 #2/0 #6	(240)	2"	2"	2 #400 #3
(36)	3/4"	3/4"	3 #6 #10	(32X)	1-1/2"	1-1/2"	3 #2/0 #6	(340)	2-1/2"	2-1/2"	3 #400 #3
(46)	1"	1"	4 #6 #10	(42X)	2"	2"	4 #2/0 #6	(440)	3"	3"	4 #400 #3
(24)	3/4"	3/4"	2 #4 #8	(23X)	1-1/2"	1-1/4"	2 #3/0 #6	(250)	2-1/2"	2-1/2"	2 #500 #3
(34)	1"	1"	3 #4 #8	(33X)	2"						



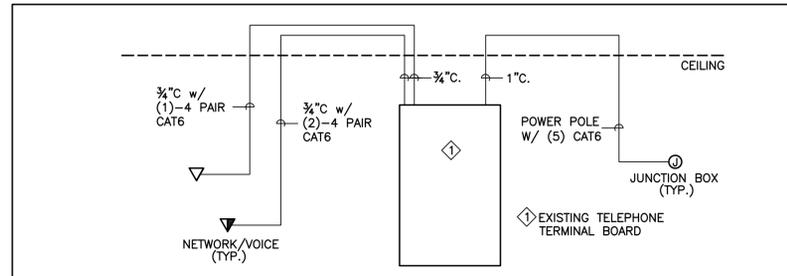
MOUNTING HEIGHTS DETAIL

SCALE: NONE



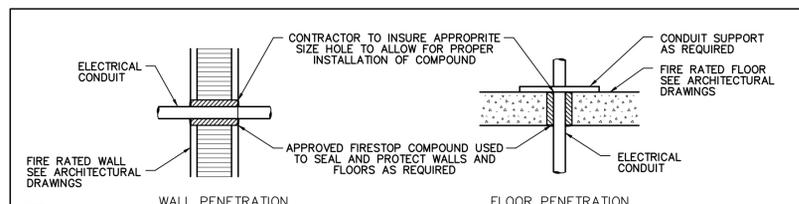
TYPICAL ROUGH-IN REQUIREMENTS DETAIL

SCALE: NONE



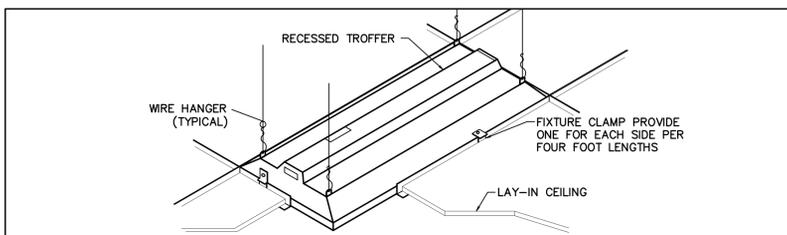
TELEPHONE/DATA RISER DIAGRAM

SCALE: NONE



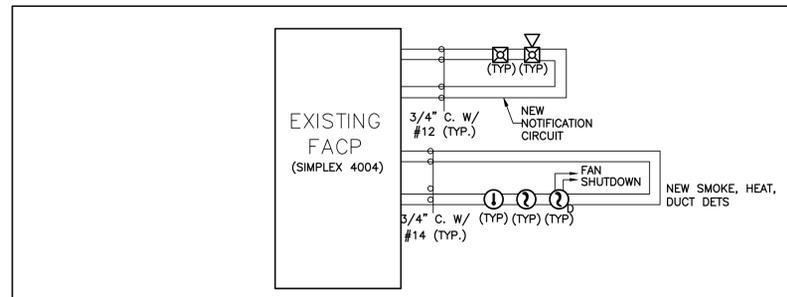
FIRE RATED PENETRATION DETAIL

SCALE: NONE



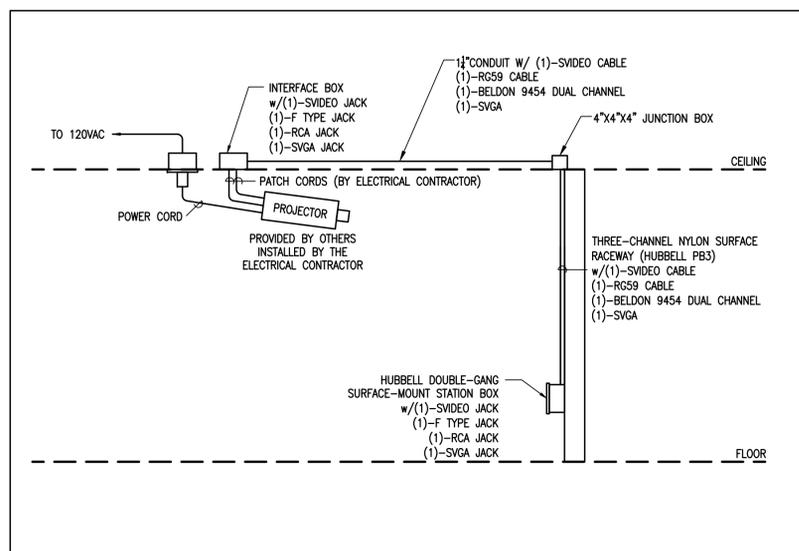
TYPICAL RECESSED FIXTURE MOUNTING DETAIL

SCALE: NONE



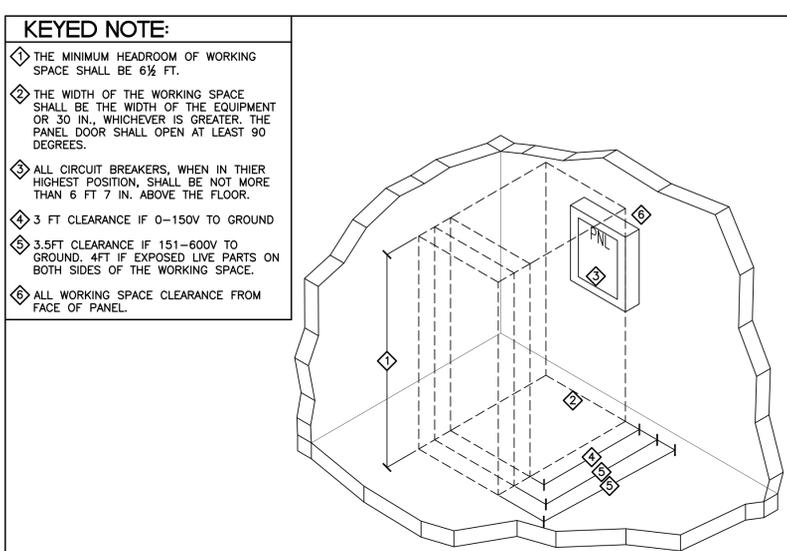
FIRE ALARM RISER DIAGRAM

SCALE: NONE



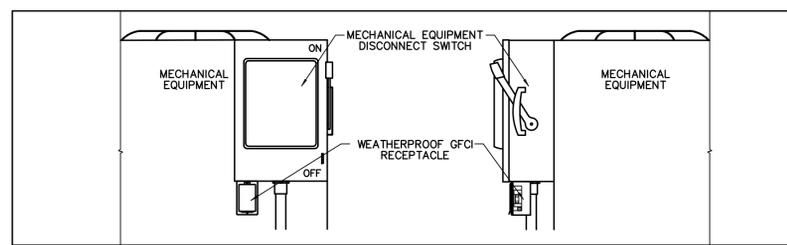
OVERHEAD PROJECTOR DETAIL

SCALE: NONE



WORK SPACE CLEARANCES

SCALE: NONE



WEATHERPROOF RECEPTACLE MOUNTING DETAIL

SCALE: NONE

No.	REVISIONS/SUBMISSIONS	DATE
1	CITY COMMENTS REVISIONS	12/17/2007

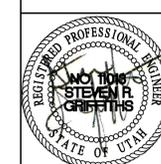
**A REMODEL FOR
SUU SUCCESS ACADEMY**


ROYAL ENGINEERING
 ELECTRICAL ENGINEERS
 2335 SOUTH STATE • SUITE 225 • PROVO, UTAH 84606 • 801-375-2228

THESE DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND THE INFORMATION CONTAINED HEREIN IS INCOMPLETE UNLESS IN CONJUNCTION WITH ROYAL ENGINEERING'S INTERPRETATIONS, DECISIONS, OBSERVATIONS AND ADMINISTRATIONS. USE OR REPRODUCTION OF THESE DOCUMENTS IN WHOLE OR IN PART WITHOUT ROYAL ENGINEERING'S CONSENT IS IN VIOLATION OF COMMON LAW, COPYRIGHTS, STATUTORY AND OTHER RESERVED RIGHTS. REFER TO ACT 17 U.S.C. PAR. 511 (1991), WHICH PREEMPTS STATE AND LOCAL PUBLIC RECORD ACTS. REFER TO ACT 17 U.S.C. PAR. 301 (1991).

DRAWING TITLE:
ELECTRICAL DETAILS

DESIGNED BY: CWP	PROJECT NO. J07174
DRAWN BY: CWP	SCALE AS SHOWN
CHECKED BY: SRG	SHEET E4.1
DATE: 9/25/2007	
DATA FILE:	





COMcheck Software Version 3.4.0 Lighting Compliance Certificate

2006 IECC

Report Date: 09/24/07

Data filename: Z:\Projects\UJ\07174\Schedules\07174 Elec ComCheck.cck

Section 1: Project Information

Project Title: SUU Success Academy

Construction Site:
Cedar City, UT

Owner/Agent:

Designer/Contractor:
Chelsea Pace
Royal Engineering
2335 South State
Provo, UT 84606
801-375-2228
chelsea@royaleng.com

Section 2: General Information

Building Use Description by: Activity Type
Project Type: Addition

Activity Type(s): Floor Area
School/University 3129

Section 3: Requirements Checklist

Interior Lighting:

1. Total actual watts must be less than or equal to total allowed watts.

Allowed Watts	Actual Watts	Complies
3755	3327	YES

Exterior Lighting:

2. Efficacy greater than 45 lumens/W.

Exceptions:

Specialized lighting highlighting features of historic buildings; signage; safety or security lighting; low-voltage landscape lighting.

3. Comply with Sections 505.2.4 and 505.6 of IECC 2006 and attach documentation.

Controls, Switching, and Wiring:

4. Independent controls for each space (switch/occupancy sensor).

Exceptions:

Areas designated as security or emergency areas that must be continuously illuminated.

Lighting in stairways or corridors that are elements of the means of egress.

5. Master switch at entry to hotel/motel guest room.

6. Individual dwelling units separately metered.

7. Each space provided with a manual control to provide uniform light reduction by at least 50%.

Exceptions:

Only one luminaire in space;

An occupant-sensing device controls the area;

The area is a corridor, storeroom, restroom, public lobby or sleeping unit.

Areas that use less than 0.6 Watts/sq.ft.

8. Automatic lighting shutoff control in buildings larger than 5,000 sq.ft.

Exceptions:

Sleeping units, patient care areas, and spaces where automatic shutoff would endanger safety or security.

9. Photocell/astrometrical time switch on exterior lights.

Exceptions:

Lighting intended for 24 hour use.

10. Tandem wired one-lamp and three-lamp ballasted luminaires (No single-lamp ballasts).

Exceptions:

Electronic high-frequency ballasts; Luminaires on emergency circuits or with no available pair.

Section 4: Compliance Statement

Compliance Statement: The proposed lighting design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed lighting system has been designed to meet the 2006 IECC requirements in COMcheck Version 3.4.0 and to comply with the mandatory requirements in the Requirements Checklist.

Chelsea Pace - Project Manager

Signature: Chelsea Pace

9/25/2007
Date



COMcheck Software Version 3.4.0 Lighting Application Worksheet

2006 IECC

Report Date:

Data filename: Z:\Projects\UJ\07174\Schedules\07174 Elec ComCheck.cck

Section 1: Allowed Lighting Power Calculation

A Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts (B x C)
School/University	3129	1.2	3755
Total Allowed Watts =			3755

Section 2: Actual Lighting Power Calculation

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (B x C x D)
School/University (3129 sq.ft.)				
Compact Fluorescent 1: F1: Twin Tube 24/29/27W / Electronic	1	1	27	27
Linear Fluorescent 1: F2: 48" T8 32W / Electronic	2	17	66	1122
Linear Fluorescent 2: F3: 48" T8 32W / Electronic	2	33	66	2178
Total Actual Watts =			3327	

Section 3: Compliance Calculation

If the Total Allowed Watts minus the Total Actual Watts is greater than or equal to zero, the building complies.

Total Allowed Watts =	3755
Total Actual Watts =	3327
Project Compliance =	428

Lighting PASSES: Design 11% better than code

No.	REVISIONS/SUBMISSIONS	DATE

A REMODEL FOR SUU SUCCESS ACADEMY



2335 SOUTH STATE • SUITE 225 • PROVO, UTAH 84606 • 801-375-2228

DRAWING TITLE:
ELECTRICAL COMCHECK

DESIGNED BY: CWP	PROJECT NO. J07174
DRAWN BY: CWP	SCALE AS SHOWN
CHECKED BY: SRG	SHEET E5.1
DATE: 9/25/2007	
DATA FILE:	

