

SURVEYOR'S CERTIFICATE

To: STATE OF UTAH;
FIRST AMERICAN TITLE INSURANCE AGENCY, LLC; AND
FIRST AMERICAN TITLE INSURANCE COMPANY;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2005, Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Utah, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

Date: July 12, 2006

James D. Pitkin,
James D. Pitkin, PLS
License No. 171546



RECORD DESCRIPTIONS
(Schedule "A" - Order No. 323-4685489)

PARCEL 1:

LOT 14, PLAT A, THANKSGIVING POINT BUSINESS PARK AMENDED SUBDIVISION, RECORDED MARCH 26, 2002 AS ENTRY NO. 34202 IN THE OFFICE OF THE UTAH COUNTY RECORDER.

PARCEL 2:

PART OF LOT 15, PLAT A, THANKSGIVING POINT BUSINESS PARK AMENDED SUBDIVISION, RECORDED MARCH 26, 2002 AS ENTRY NO. 34202 IN THE OFFICE OF THE UTAH COUNTY RECORDER, DESCRIBED AS FOLLOWS:

COMMENCING SOUTH 2551.56 FEET AND WEST 546.61 FEET FROM THE EAST QUARTER CORNER OF SECTION 36, TOWNSHIP 4 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN; THENCE SOUTH 39°18'15" EAST 23.16 FEET; THENCE ALONG A 676.00 FOOT RADIUS CURVE TO THE LEFT 332.49 FEET (CHORD BEARS SOUTH 53°23'41" EAST 329.15 FEET (ACTUAL CHORD SOUTH 53°21'41" EAST 329.16 FEET); THENCE SOUTH 00°44'28" EAST 122.33 FEET; THENCE SOUTH 49°27'46" WEST 317.66 FEET (ACTUAL COURSE SOUTH 49°27'42" WEST 317.66 FEET); THENCE NORTH 39°18'15" WEST 444.90 FEET; THENCE NORTH 50°14'45" EAST 313.71 FEET (ACTUAL COURSE NORTH 50°41'38" EAST 313.71 FEET TO BEGINNING.

PARCEL 3:

LOT 16, PLAT A, THANKSGIVING POINT BUSINESS PARK AMENDED SUBDIVISION, RECORDED MARCH 26, 2002 AS ENTRY NO. 34202 IN THE OFFICE OF THE UTAH COUNTY RECORDER, LESS AND EXCEPTING:

COMMENCING SOUTH 3094.54 FEET AND WEST 507.53 FEET FROM THE EAST QUARTER CORNER OF SECTION 36, TOWNSHIP 4 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN; THENCE NORTH 49°27'46" EAST 317.66 FEET (ACTUAL COURSE NORTH 49°27'42" EAST 317.66 FEET); THENCE SOUTH 00°44'28" EAST 396.05 FEET (ACTUAL COURSE SOUTH 00°44'28" EAST 396.07 FEET); THENCE SOUTH 01°41'41" EAST 24.12 FEET; THENCE SOUTH 57°47'29" EAST 130.25 FEET; THENCE SOUTH 00°11'28" WEST 90.11 FEET; THENCE SOUTH 89°10'40" WEST 41.52 FEET ALONG A 7850.00 FOOT RADIUS CURVE TO THE RIGHT 342.52 FEET (CHORD BEARS NORTH 40°33'05" WEST 342.43 FEET); THENCE NORTH 39°18'15" WEST 146.78 FEET TO BEGINNING.

PARCEL 4:

LOT 17, PLAT A, THANKSGIVING POINT BUSINESS PARK AMENDED SUBDIVISION, RECORDED MARCH 26, 2002 AS ENTRY NO. 34202 IN THE OFFICE OF THE UTAH COUNTY RECORDER, LESS ANY PORTION LYING WITHIN THE PUBLIC ROAD.

PARCEL 5:

LOT 18, PLAT A, THANKSGIVING POINT BUSINESS PARK AMENDED, RECORDED MARCH 26, 2002 AS ENTRY NO. 34202 IN THE OFFICE OF THE UTAH COUNTY RECORDER, LESS ANY PORTION LYING WITHIN THE PUBLIC ROAD.

PARCEL 6:

LOT 15, PLAT A, THANKSGIVING POINT BUSINESS PARK AMENDED SUBDIVISION, RECORDED MARCH 26, 2002 AS ENTRY NO. 34202 IN THE OFFICE OF THE UTAH COUNTY RECORDER, LESS AND EXCEPTING:

COMMENCING SOUTH 2551.56 FEET AND WEST 546.61 FEET FROM THE EAST QUARTER CORNER OF SECTION 36, TOWNSHIP 4 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN; THENCE SOUTH 39°18'15" EAST 23.16 FEET; THENCE ALONG A 676.00 FOOT RADIUS CURVE TO THE LEFT 332.49 FEET (CHORD BEARS SOUTH 53°23'41" EAST 329.15 FEET (ACTUAL CHORD SOUTH 53°21'41" EAST 329.16 FEET); THENCE SOUTH 00°44'28" EAST 122.33 FEET; THENCE SOUTH 49°27'46" WEST 317.66 FEET (ACTUAL COURSE SOUTH 49°27'42" WEST 317.66 FEET); THENCE NORTH 39°18'15" WEST 444.90 FEET; THENCE NORTH 50°14'45" EAST 313.71 FEET (ACTUAL COURSE NORTH 50°41'38" EAST 313.71 FEET TO BEGINNING.

PARCEL 7:

PART OF LOT 16, PLAT A, THANKSGIVING POINT BUSINESS PARK AMENDED SUBDIVISION, RECORDED MARCH 26, 2002 AS ENTRY NO. 34202 IN THE OFFICE OF THE UTAH COUNTY RECORDER, DESCRIBED AS FOLLOWS:

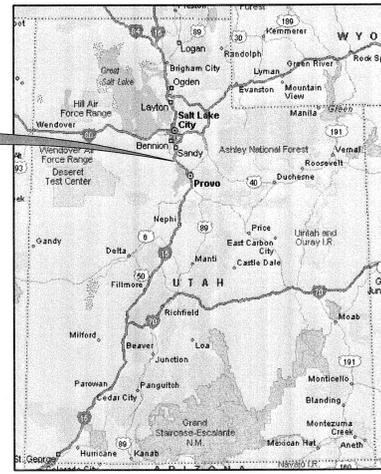
COMMENCING SOUTH 3094.54 FEET AND WEST 507.53 FEET FROM THE EAST QUARTER CORNER OF SECTION 36, TOWNSHIP 4 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN; THENCE NORTH 49°27'46" EAST 317.66 FEET (ACTUAL COURSE NORTH 49°27'42" EAST 317.66 FEET); THENCE SOUTH 00°44'28" EAST 396.05 FEET (ACTUAL COURSE SOUTH 00°44'28" EAST 396.07 FEET); THENCE SOUTH 01°41'41" EAST 24.12 FEET; THENCE SOUTH 57°47'29" EAST 130.25 FEET; THENCE SOUTH 00°11'28" WEST 90.11 FEET; THENCE SOUTH 89°10'40" WEST 41.52 FEET ALONG A 7850.00 FOOT RADIUS CURVE TO THE RIGHT 342.52 FEET (CHORD BEARS NORTH 40°33'05" WEST 342.43 FEET); THENCE NORTH 39°18'15" WEST 146.78 FEET TO BEGINNING.

NARRATIVE

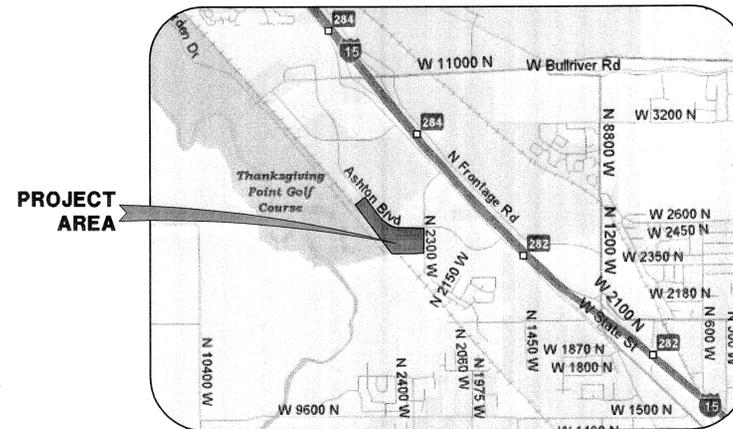
A Land Title Survey of the subject property was requested by the State of Utah, D.F.C.M. as a part of future design considerations. The information provided is that certain Commitment for Title Insurance prepared by First American Title Insurance Agency, LLC, No. 323-4685489, Dated May 15, 2006. A package containing the supporting documentation was provided upon request. An updated commitment was provided via email on July 5, 2006, but had a date of "April 27, 2005" which was presumed to be a typographic error. There are also several errors apparent in the descriptions of the parcels, which are presumed to be typographic in nature.

The basis of the locations for the Parcel Descriptions provided in the title report is the recorded plat of Thanksgiving Point Business Park Plat "A" Amended and Lots 14-18 thereof. The basis of bearings is South 00°01'17" East 2638.95 feet measured between the East Quarter corner and the Southeast corner of Section 36, Township 4 South, Range 1 West, Salt Lake Base & Meridian. The field survey was conducted on May 18, 2006. The boundary corners were set on, or about, the date of certification on this survey.

PROJECT AREA



VICINITY MAP



SITE MAP

SURVEYOR'S NOTES

- The visible utilities shown have been located from field survey measurements. The surveyor has not physically located the underground utilities and makes no guaranties that the underground utilities shown comprise all such utilities in the area, either in service or abandoned.
- Bearings and distances shown in parentheses "()" are record as per the record descriptions and plats; all others are a result of survey measurements.
- The property shown is located within an area having a Zone Designation of "X" by the Secretary of Housing and Urban Development of Flood Insurance Rate Map No. 4902090105_C with a date of identification of July 17, 2002 in Utah County, State of Utah, which is the current Flood Rate Map for the community in which said premises is situated.
- The subject property has direct access to existing public roadways on the Northerly side (Ashton Boulevard) and on the east side (2300 West).

EXCEPTIONS

(Schedule "B" - Section 2 Exceptions Amendment No. 1)

- Not shown or addressed by this survey
- Easements, notes and restrictions as shown on Plat A, Thanksgiving Point Business Park Amended Subdivision plat recorded March 26, 2002 as Entry No. 34202.
- A gas line easement dated April 10, 1931 in favor of Wasatch Gas Company, recorded June 2, 1931 as Entry No. 3881 in Book 285 at Page 294 of Official Records. The affect on the subject property is not known, as the exact location is not disclosed.
- A gas line easement dated April 19, 1931 in favor of Wasatch Gas Company, recorded June 2, 1931 as Entry No. 3884 in Book 285 at Page 295 of Official Records. The affect on the subject property is not known, as the exact location is not disclosed.
- Easement dated April 10, 1931 in favor of Utah Power & Light Company, recorded June 7, 1974 as Entry No. 10243 in Book 1375 at Page 171 of Official Records. Easement lies Northwest of the subject property and does not affect it.
- Easement dated April 10, 1931 in favor of Utah Power & Light Company, recorded June 7, 1974 as Entry No. 10245 in Book 1375 at Page 173 of Official Records. Easement lies outside of the subject property and does not affect it.
- Easement dated June 1, 1998 in favor of Lehi City, recorded June 19, 1998 as Entry No. 61669 in Book 4676 at Page 353 of Official Records. Easement lies Northwest of the subject property and does not affect it.
- Master Declaration of Protective Covenants, Conditions, and Restrictions for Thanksgiving Point Development, Lehi, Utah recorded November 26, 1999 as Entry No. 124009 in Book 5283 at Page 601 of Official Records, affects Parcels 1, 2 and 3 of the subject property.
Withdrawal of Property from Master Declaration of Protective Covenants, Conditions and Restrictions for Thanksgiving Point Development, Lehi, Utah recorded April 13, 2003 as Entry No. 41570:2004 of Official Records, does not affect the subject property.
- Master Declaration of Protective Covenants, Conditions, and Restrictions for Thanksgiving Point Business Park, Lehi City, Utah County recorded November 26, 1999 as Entry No. 124010 in Book 5283 at Page 634 of Official Records, does not affect the subject property.
Withdrawal of Property from Master Declaration of Protective Covenants, Conditions and Restrictions for Thanksgiving Point Development, Lehi, Utah recorded April 13, 2004 as Entry No. 41569:004 of Official Records, does not affect the subject property.
- Master Declaration of Protective Covenants, Conditions and Restrictions for BAK Commercial/Retail Developments, Lehi City, Utah, recorded September 26, 2001 as Entry No. 97759:2001 of Official Records, affects the entire are of the subject property.
Amendment to declarations recorded February 25, 2004 as Entry No. 20758:2004 of Official Records, affects the entire subject property.
- Lehi City Public Works Department Disclaimer of Easement Verification Form recorded March 26, 2002 as Entry No. 33640:2002 of Official Records, lies northwesterly of subject property and does not affect it.
- Withdrawal of Property from Master Declaration of Protective Covenants, Conditions and Restrictions for Thanksgiving Point Development, Lehi, Utah recorded June 21, 2002 as Entry No. 70817:2002 of Official Records, affects all of Parcels 1, 2 and 3 of the subject property.
Note: Said document fails to recite recording information for the referenced Master Declaration.
- Withdrawal of Property from Master Declaration of Protective Covenants, Conditions and Restrictions for Thanksgiving Point Development Lehi, Utah recorded June 21, 2002 as Entry No. 70818:2002 of Official Records, lies northwesterly of subject property and does not affect it.
Note: Said document fails to recite recording information for the referenced Master Declaration.
- Annexation and Development Agreement dated December 13, 1995 as Entry No. 89463 in Book 3848 at Page 323 of Official Records, affects the entire Thanksgiving point development within which the subject property is a part.
- Thanksgiving Point Annexation Agreement dated April 12, 1999 recorded April 16, 1999 as Entry No. 43987 in Book 5050 at Page 246 of Official Records, lies northwesterly of subject property and does not affect it.
- Ordinance Approving and Adopting the Thanksgiving Point Area Plan recorded December 1, 1999 as Entry No. 125170 in Book 5287 at page 544 of Official Records, affects all of parcels 1, 2 and 3 of the subject property.
- Resolution to Create Lehi City, Utah Special Improvement District recorded May 18, 2000 as Entry No. 39440:2000 of official Records, affects the entire area of the subject property.
- An Ordinance Adopting the Thanksgiving Point Amended Project Area Plan recorded March 20, 2001 as Entry No. 25269:2001 of Official Records, affects the entire Thanksgiving point development within which the subject property is a part.
- Resolution to create Lehi City, Special Improvement District No. 2000-1 recorded May 18, 2000 as Entry No. 39440:2000 of Official Records, affects the entire area of the subject property.
- Lehi City Public Works Department Disclaimer of Easement Verification Form executed my AT&T Cable Television and Qestar Gas Company recorded March 26, 2002 as Entry No. 33640:2002 of Official Records, lies northwesterly of subject property.
- An Ordinance executed by Lehi City, vacating Thanksgiving Point Business Park, Plat "A" recorded March 26, 2002 as Entry No. 34201:2002 of Official Records, affects the entire area of the subject property.
- A waterline easement recorded August 10, 2004 as Entry No. 91930:2004 of Official Records, affects a portion of the subject property and is shown hereon.
- In the Matter of: Utah Transit Authority Surface Passenger Rail Transportation Corridor, Amendment to Agreement, Grant of Access to DEQ, and Covenants Not to Sue Utah Transit Authority recorded October 3, 2005 as Entry No. 111621 of Official Records, may affect the subject property at least in part along the adjacent railroad. The description provided is referenced to the Sharp Subdivision of the Union Pacific Railroad Co. which is not provided or located as a part of this survey.

P:\DFCM\Thanksgiving Point ALTA\SURVEY\dwg\ALTA.dwg 7/11/2006 2:46:53 PM MST

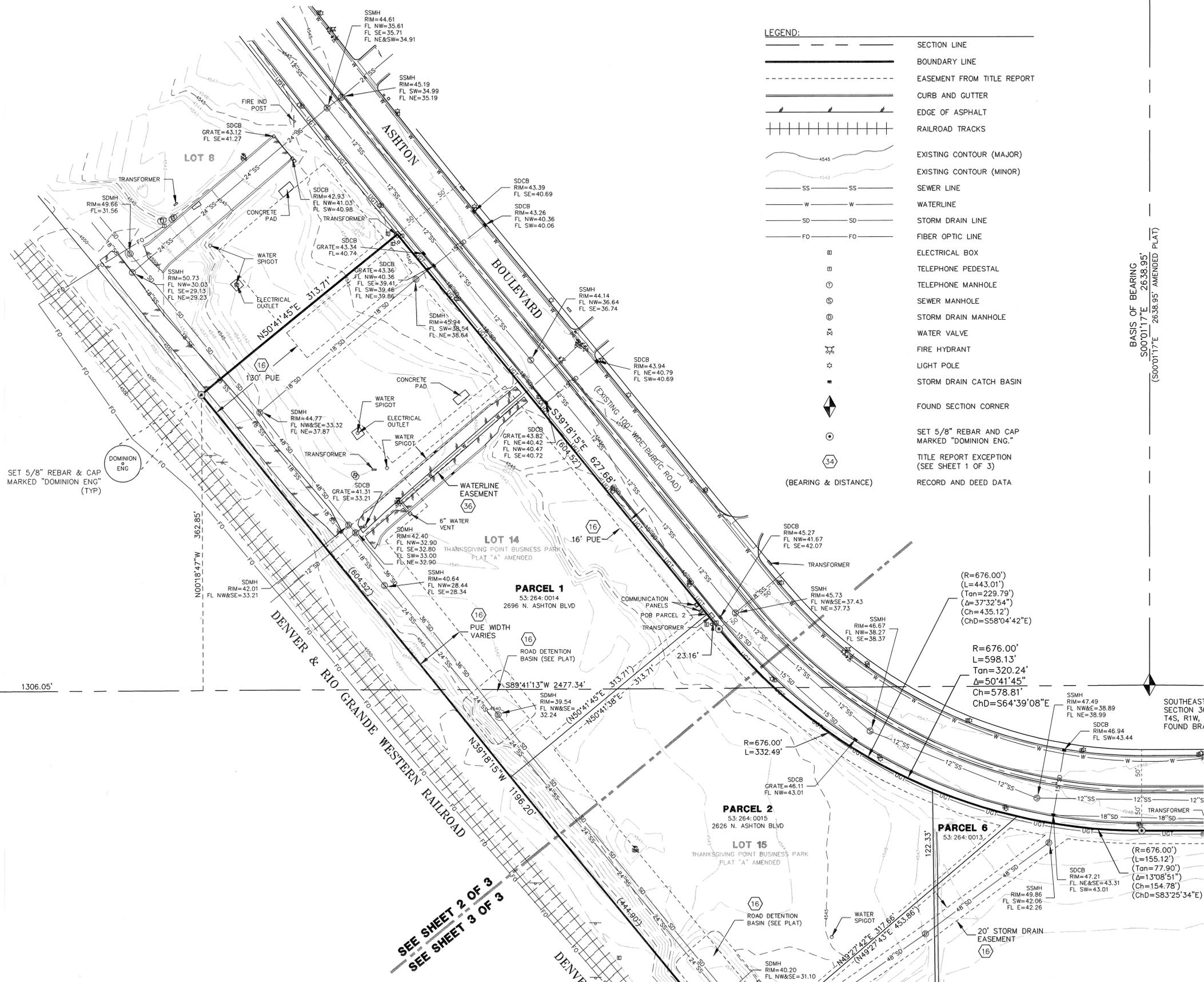
<p>DRAWN KT 07/06 DATE</p> <p>DESIGNED KT 07/06 DATE</p> <p>APPROVED JDP 07/06 DATE</p>	<p>CHECKED JDP 07/06 DATE</p> <p>PROJECT ENGINEER</p> <p>JDP PROJECT MANAGER</p>	<p>STATE OF UTAH, D.F.C.M.</p> <p>SALT LAKE CITY, UTAH</p>	<p>Dominion Engineering Associates, L.C. 5684 South Green Street Murray, Utah 84123 801-713-3000</p>	<p>A.L.T.A. / A.C.S.M. LAND TITLE SURVEY</p> <p>THANKSGIVING POINT</p> <p>IN THE SE 1/4 SEC 36, T4S, R1W AND NE 1/4 SEC 1, T5S, R1W, AND NW 1/4 SEC 6, T5S, R1E, SLBM</p>	<p>PROJECT NO. 1143-01</p> <p>SHEET NO. 1 of 3</p> <p>0 RELEASED FOR REVIEW JDP 7.11.06</p> <p>NO. REVISIONS BY DATE</p>	<p>FILE NAME: ALTA.dwg</p> <p>SCALE: N/A</p>
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EAST 1/4 COR.
SECTION 36
T4S, R1W, SLB&M
FOUND BRASS CAP MON.



LEGEND:

	SECTION LINE
	BOUNDARY LINE
	EASEMENT FROM TITLE REPORT
	CURB AND GUTTER
	EDGE OF ASPHALT
	RAILROAD TRACKS
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	SEWER LINE
	WATERLINE
	STORM DRAIN LINE
	FIBER OPTIC LINE
	ELECTRICAL BOX
	TELEPHONE PEDESTAL
	TELEPHONE MANHOLE
	SEWER MANHOLE
	STORM DRAIN MANHOLE
	WATER VALVE
	FIRE HYDRANT
	LIGHT POLE
	STORM DRAIN CATCH BASIN
	FOUND SECTION CORNER
	SET 5/8" REBAR AND CAP MARKED "DOMINION ENG."
	TITLE REPORT EXCEPTION (SEE SHEET 1 OF 3)
	RECORD AND DEED DATA



SET 5/8" REBAR & CAP MARKED "DOMINION ENG." (TYP)

FOUND WITNESS CORNER

BASIS OF BEARING
S00°01'17"E 2638.95'
(S00°01'17"E 2638.95' AMENDED PLAT)

SOUTHEAST COR.
SECTION 36
T4S, R1W, SLB&M
FOUND BRASS CAP MON.

SEE SHEET 2 OF 3
SEE SHEET 3 OF 3

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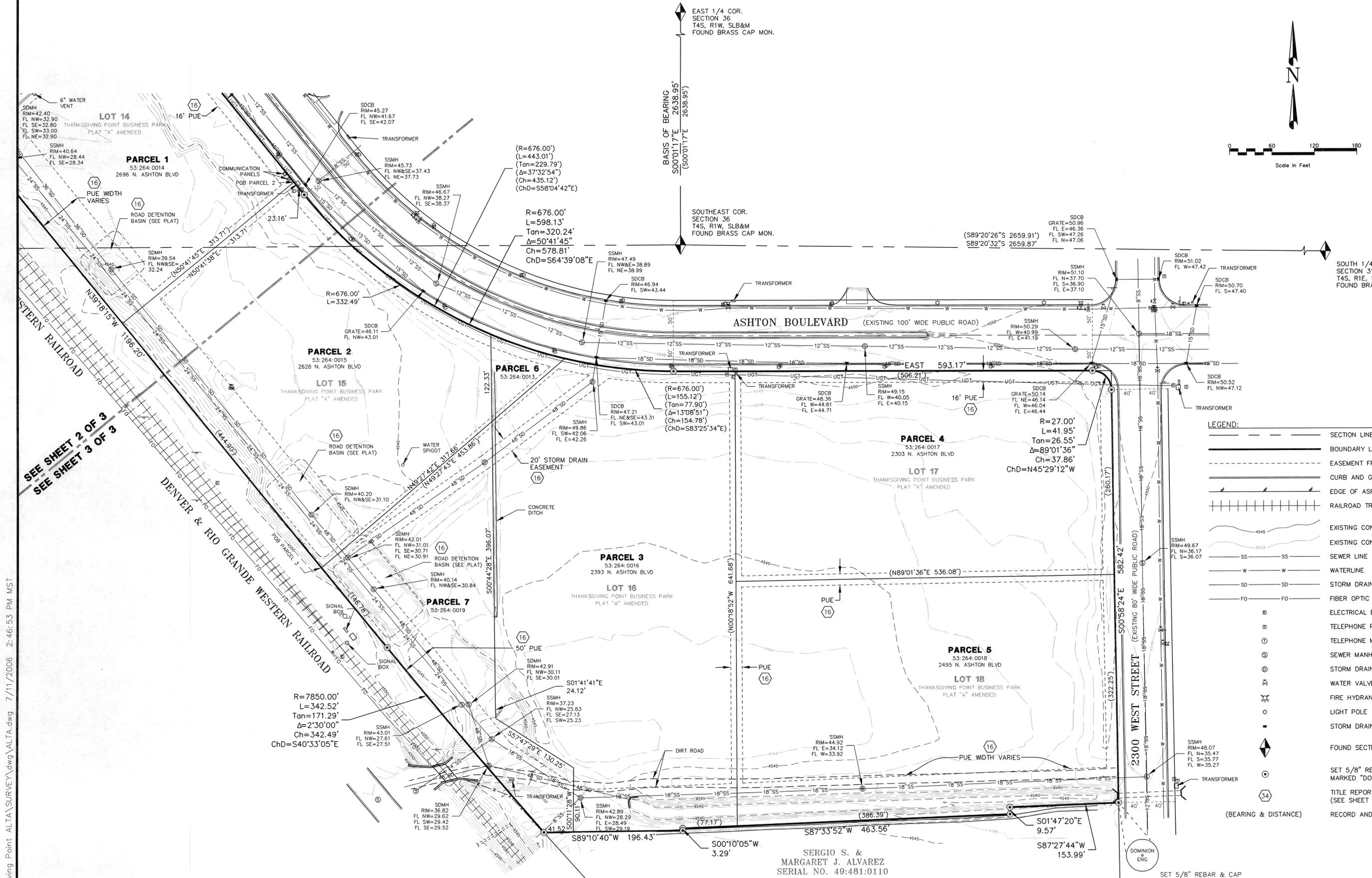
DRAWN	KT 07/06	CHECKED	JDP 07/06
DESIGNED	KT 07/06	PROJECT ENGINEER	
APPROVED	JDP 07/06	PROJECT MANAGER	

STATE OF UTAH, D.F.C.M.
SALT LAKE CITY, UTAH



A.L.T.A. / A.C.S.M. LAND TITLE SURVEY
THANKSGIVING POINT
IN THE SE 1/4 SEC 36, T4S, R1W AND NE 1/4 SEC 1,
T5S, R1W, AND NW 1/4 SEC 6, T5S, R1E, SLBM

PROJECT NO.	1143-01
SHEET NO.	2 of 3
NO.	0
REVISIONS	RELEASED FOR REVIEW
BY	JDP
DATE	7.11.06
FILE NAME:	ALTA.dwg
SCALE:	1" = 60'



SEE SHEET 2 OF 3
SEE SHEET 3 OF 3

LEGEND:

	SECTION LINE
	BOUNDARY LINE
	EASEMENT FROM TITLE REPORT
	CURB AND GUTTER
	EDGE OF ASPHALT
	RAILROAD TRACKS
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	SEWER LINE
	WATERLINE
	STORM DRAIN LINE
	FIBER OPTIC LINE
	ELECTRICAL BOX
	TELEPHONE PEDESTAL
	TELEPHONE MANHOLE
	SEWER MANHOLE
	STORM DRAIN MANHOLE
	WATER VALVE
	FIRE HYDRANT
	LIGHT POLE
	STORM DRAIN CATCH BASIN
	FOUND SECTION CORNER
	SET 5/8" REBAR AND CAP MARKED "DOMINION ENG."
	TITLE REPORT EXCEPTION (SEE SHEET 1 OF 3)
	RECORD AND DEED DATA

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DRAWN KT 07/06	CHECKED JDP 07/06
DESIGNED KT 07/06	PROJECT ENGINEER
APPROVED JDP 07/06	PROJECT MANAGER

STATE OF UTAH, D.F.C.M.
SALT LAKE CITY, UTAH

Dominion
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

A.L.T.A. / A.C.S.M. LAND TITLE SURVEY
THANKSGIVING POINT
IN THE SE 1/4 SEC 36, T4S, R1W AND NE 1/4 SEC 1, T5S, R1W, AND NW 1/4 SEC 6, T5S, R1E, SLBM

PROJECT NO.	1143-01
SHEET NO.	3 of 3
NO.	0
REVISIONS	RELEASED FOR REVIEW JDP 7.11.06
BY	JDP
DATE	7.11.06
FILE NAME:	ALTA.dwg
SCALE:	1" = 60'