



State of Utah

JON M. HUNTSMAN, JR.
Governor

GARY R. HERBERT
Lieutenant Governor

Department of Administrative Services

KIMBERLY K. HOOD
Executive Director

Division of Facilities Construction and Management

DAVID G. BUXTON
Director

ADDENDUM NO. 2

Date: November 20, 2008

To: Contractors

From: Craig Wessman, Project Manager, DFCM

Reference: HVAC System Renovation – Administration Building
Department of Natural Resources
DFCM Project No. 07183500

Subject: **Addendum No. 2**

Pages	Addendum Cover Sheet	1 page
	<u>Architect's Addendum</u>	<u>10 pages</u>
	Total	11 pages

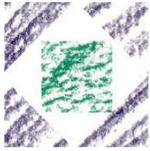
Note: *This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to Disqualification.*

While we contend that SB220 should only be potentially applicable to a contract issued after the effective date of said bill, this is to clarify that for purposes of this contract, regardless of the execution or effective dates of this contract, the status of Utah Law and remedies available to the State of Utah and DFCM, as it relates to any matter referred to or affected by said SB220, shall be the Utah law in effect at the time of the issuance of this Addendum.

2.1 **SCHEDULE CHANGES:** None

2.2 **GENERAL ITEMS:**

- 2.2.1 Construction Cost Estimate is changed to \$2,119,970
- 2.2.2 Architect's Addendum including General Items, Specification and Drawing Clarifications, and Attachments



HFS ARCHITECTS

1484 South State Street
Salt Lake City, Utah 84115
801-596-0691 • Fax: 596-0693 • www.hfsa.com

Addendum No. 2

Project: DNS Administration Building HVAC System Renovation Date: 20 November 2008
Address: 1594 West North Temple Project No.: DFCM 07183500 / HFSA 0758.01
City, State: Salt Lake City, Utah 84114 Agency: Department of Natural Resources

To all Bidders of Record:

This addendum forms a part of the contract documents and modifies the original specifications and drawings as noted below. Items of general information are included without reference to the plans and specifications. Revisions to the specifications are referenced by page number and paragraph heading on that page. Revisions to the drawings are reference by the drawing number. Unless otherwise stated, any changes herein offset only the specific drawings, words, or paragraphs mentioned, and the balance of the drawings and specifications remain in full force. Acknowledge receipt of this addendum in the space provided on the Bid form. Failure to do so will subject the Bidder to disqualification.

Item No.	Section or Sheet No.	Description
GENERAL ITEMS		
2-1	Question	Will you have a good explanation of the phasing? Clarification: The overall goal of the phasing plan was to maintain occupant safety and meet exiting requirements, while giving the contractor as big and continuous area as possible. The phasing splits each floor into two major areas with one smaller area between (denoted by a #.5). All phases ending in .5 may not be worked on or obstructed in any way during business hours, as these are the main exit routes from the building. However, the work can be done simultaneously with either or both of the phases on that floor.
2-2	Question	Can the building elevators be used? Clarification: Yes, but the contractor must protect them. In addition, the contractor may use chutes through the windows to remove construction debris.
2-3	Question	Who is to move furniture and/or cover it? Clarification: All personal items will be removed from all spaces prior to the start of each phase. In addition, the owner will remove all required wall-mounted furnishings prior to the start of each phase. However, the furnishings will remain in the spaces and the contractor is expected to protect everything.
2-4	Question	Is the State aware of any asbestos in the building or hazardous waste, such as light ballasts? Clarification: The State is not aware of any asbestos or other hazardous materials in the building.
2-5	Question	Will there be an inside room available for a temporary office? Clarification: There will be no space available in the building for a temporary construction office. However, space is available on the site for a construction trailer.

Item No.	Section or Sheet No.	Description
2-6	Question	Who is responsible for the data and communication wires in the ceiling? Clarification: The owner.
2-7	Question	Please call out on the drawings which walls, doors, and frames are to be repainted. Clarification: All interior hollow metal frames are to be painted. For bidding purposes assume all interior doors/window frames in all wall types except the demountable walls are hollow metal. Assume all exterior door/window frames are aluminum and will not be painted. Assume all door/window frames in the demountable walls are aluminum and will not be painted. In addition, the aluminum trim on the demountable walls is not to be painted. See the revised 'Partition Legend' attached to this addendum for identification of wall types.
2-8	Question	Are all of the demountable walls to be painted? Clarification: Yes, see previous question 2-7 for additional information and the revised 'Plan Demolition Legend' attached to this addendum.
2-9	Question	Do the landscape partitions (furniture system partitions) get painted? Clarification: No.
2-10	Question	What type of cleaning is required for the existing ceramic floor tile? Clarification: A deep treatment steam cleaning, see revised 'Finish Legend' attached to this addendum.
2-11	Question	The wood doors have scratches through the stain, are we to do anything with the doors? Clarification: There is no work, repair, or re-staining to be done on the existing wood doors.
2-12	Question	Will we be able to laminate 1/4" sheetrock on walls that call for wall coverings to be removed? Clarification: No, see the revised 'Partition Legend' and 'Finish Legend' attached to this addendum.
2-13	Question	Will patching be required where picture were or will they reuse the hangers? Clarification: All holes, scratches and other damage to the wall surface is to be patched and repaired. As for the pictures, since they will already be removed it will be impossible to know which holes were for the hangers. If the hangers remain in the wall, then do not patch the hole and do not paint the hanger.
2-14	Question	Are the vinyl wall in the offices to be patched and painted? Clarification: If this is referring to the vinyl covered demountable walls, yes. It is acknowledged that the texture of the patch will be different from the wall surface. Therefore, the area of the patch material which extends beyond the perimeter of the damage area should be as minimal as possible.
2-15	Question	Are the ceiling tiles to be removed from the file room? Clarification: Yes.

Item No.	Section or Sheet No.	Description
2-16	Question	Do the demountable walls need to be temporarily braced? Clarification: Yes, as the existing ceiling grid is demolished and until the new ceiling grid is installed.
2-17	Question	Can the existing stainless steel corner guards be re-used? Clarification: Yes, unless they were previously damaged or are damaged during removal - then they must be replaced.
2-18	Question	Who is responsible for disposing of the light fixtures? Clarification: All light fixtures, except where noted to be re-installed, are to be disposed of by the contractor.
2-19	Question	Is the vinyl to be removed from demountable walls? Clarification: No, only the vinyl wallcovering on built walls is to be removed.
2-20	Question	Room 157, south east wall - what type of wall is this and what are we doing to this wall? Clarification: Demountable wall, AD101 shows them to be removed with the door and then re-installed. On AE101 shows the east wall with the re-installed and reconfigured demountable wall panels and door and the south wall as a new 3-5/8" stud wall.

SPECIFICATION ITEMS

2-21	01230-2	<p>Schedule of Alternates: Add the following:</p> <p>Alternate Number 1: First Floor Carpet Replacement. Remove existing broadloom carpet and rubber base. Install new Interface carpet tile, Style - Nikko 1663402500, Color - Tea Leaves 2931 and new 4" rubber base. Carpet and installation shall be by "State Contract". The installer will be responsible for lifting the furnishings to perform the work.</p> <p>Alternate Number 2: Second Floor Carpet Replacement. Remove existing broadloom carpet and rubber base. Install new Mohawk carpet tile, Style - Junxtion Modular BT135, Color - Coalition 7126 and new 4" rubber base. Carpet and installation shall be by "State Contract". The installer will be responsible for lifting the furnishings to perform the work, except in File Room 267 where the file shelving/storage units will remain in place and the existing carpet will be removed by cutting around the units and the new carpet tile installed around the units. Assume new rubber base around the perimeter of the room only.</p> <p>Alternate Number 3: Third Floor Carpet Replacement. Remove existing broadloom carpet and rubber base. Install new Mohawk carpet tile, Style - Junxtion Modular BT135, Color - Coalition 7126 and new 4" rubber base. Carpet and installation shall be by "State Contract". The installer will be responsible for lifting the furnishings to perform the work.</p>
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DRAWING ITEMS

2-22	GI100	<p>Code Analysis:</p> <p>Clarification: The Code Analysis incorrectly states the building is sprinkled. The building has no fire sprinklers.</p>
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Item No.	Section or Sheet No.	Description
2-23	AD101-103	Replace the 'Plan Demolition Legend' with the revised 'Plan Demolition Legend' attached to this addendum.
2-24	All Sheets	Replace the 'Partition Legend' with the revised 'Partition Legend' attached to this addendum.
2-25	AE101-103	Replace the 'Finish Legend' with the revised 'Finish Legend' attached to this addendum.
2-26	AE101-103	Detail E3: Breezeway Plan: Clarification: The breezeway floor on all three levels is to be repaired. Remove all of the existing carpet and base in the breezeway. Clean off any remaining carpet glue and prep floor to receive cementitious leveling compound. Beginning at the floor offset apply the leveling compound to slope the floor away from the offset, maintaining a constant slope of 1:12 minimum. For bidding purposes assume the area to be sloped with the leveling compound to be the width of the breezeway by six lineal feet and 4" deep. Install new carpet tile and 4" rubber base.

PRIOR APPROVALS

2-27 List of Single-Source Equipment Manufacturers:
 Building Automation Controls: TAC: INET or VISTA, STAEFA" TALON
 Fire Alarm System: SILENT KNIGHT 5808, FIRELITE
 Access Control System: TAC: INET, WIN DSX

ATTACHMENTS

2-28	2 Pages	Mechanical Addendum.
2-29	1 Page	Electrical Addendum.
2-30	1 Page	Revised 'Partition Legend' Drawing.
2-31	1 Page	Revised 'Plan Demolition Legend' Drawing.
2-32	1 Page	Revised 'Finish Legend' Drawing.

ADDENDUM

Project Name: HVAC System Renovation of the DNR Administration Building Addendum No.: 1

DFCM Project # 07183500

Date: 11/20/08

From: WHW Engineering Inc
8619 South Sandy Parkway
Sandy, Utah 84070
Phone (80) 466-4021 Fax (801) 466-8536

To: HFS- Robyn Smith

This Addendum forms and becomes a part of the Contract Documents and modifies the original Bidding Documents dated September 2008 as noted below. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of 2 pages.

I - CHANGES TO PRIOR ADDENDA: N/A

II - CHANGES TO BIDDING REQUIREMENTS: N/A

III - CHANGES TO AGREEMENT & OTHER CONTRACT FORMS: N/A

IV - CHANGES/CLARIFICATIONS TO CONDITIONS OF THE CONTRACT: N/A

V - CHANGES/CLARIFICATIONS TO SPECIFICATIONS:

Item V-1. Section 15080-2.1: Insert the following paragraph:

“E. Mineral-Fiber Blanket Insulation: Mineral or glass fibers bonded with a thermosetting resin. Comply with ASTM C 553, Type II and ASTM C 1290, Type I. Factory-applied jacket requirements are specified in "Factory-Applied Jackets" Article.

1. Duct insulation shall have a minimum R value = 5 for installation in an unconditioned space, and a minimum R value = 8 for installation outdoors. Provide a weather protective sheet metal jacket for outdoor installation.
2. Products: Subject to compliance with requirements, provide one of the following:
 - a. CertainTeed Corp.; Duct Wrap.
 - b. Johns Manville; Microlite.
 - c. Knauf Insulation; Duct Wrap.
 - d. Manson Insulation Inc.; Alley Wrap.
 - e. Owens Corning; All-Service Duct Wrap.
 - f. Prior approved equal. “

VI - CHANGES/CLARIFICATIONS TO DRAWINGS:

- Item VI-1.** Detail/ME501 delete the note referring to drain pans and drains for all VAV boxes. Drains and drain pans are not required.
- Item VI-2.** The new ATC is a DDS system. All pneumatics are to be removed and not re-used for the new ATC.
- Item VI-3.** Contractor shall provide isolation valves in the hot water piping serving each quadrant

on each floor. The purpose is to be able to drain each floor in quadrants instead of having to drain the entire floor.

Item VI-4. Specifications require all piping to be flushed and an inhibitor added. Since this building has to be completed in sections, contractor shall flush and clean piping in each section when installation in this section is completed. When the piping is installed for the entire building the piping shall be flushed and cleaned per the specifications. Inhibitor shall be added to the entire piping system.

PRIOR APPROVALS

THE FOLLOWING ITEMS, AS SUBMITTED, ARE CONSIDERED, IN GENERAL AND IN NAME ONLY, AS EQUAL TO THOSE ITEMS SPECIFIED. THIS REVIEW DOES NOT RELIEVE THE CONTRACTOR OR SUPPLIER OF THE RESPONSIBILITY OF CONFORMING TO THE DRAWINGS AND SPECIFICATIONS, NOR DOES IT RELIEVE THE CONTRACTOR OF THE REQUIREMENTS OF THE SPECIFICATIONS FOR COORDINATION WITH OTHER TRADES. ALL DIMENSIONS SHALL BE CONFIRMED AND CORRELATED AT THE JOBSITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND THE SUITABILITY OF "EQUAL" PRODUCTS FOR THE SPECIFIED APPLICATION.

Description

Manufacturer

Registers, Grilles, Diffusers	Nailor, Anemostat
Cabinet Unit Heaters	Sterling, Beacon-Morris
Flexible Duct	Anco
Fire Dampers	Leader
Smoke and Combination FS Dampers	Leader
Air Terminal Units	Tuttle&Bailey
Circuit setters	Danfoss, Gerand
Check valves	Metraflex
Strainers	Metraflex, IFC
Flexible Pipe Connectors	Metraflex

**DNR ADMINISTRATION BUILDING
HVAC SYSTEM RENOVATION**
DEPARTMENT OF NATURAL RESOURCES
1594 WEST NORTH TEMPLE
SALT LAKE CITY, UTAH
DFCM PROJECT NO. 07183500

November 20, 2008

ELECTRICAL ADDENDUM ITEMS

1. FIRE ALARM SYSTEM REPRESENTATIVE CLARIFICATION

- A. Fire Alarm System - Cerberus (Siemens Building Technologies) manufacturer representatives are:

Distributor

Alarm Control Company
2166 South 900 East
Salt Lake City, Utah 84106
(801) 486-8731

Factory Branch

Siemens Building Technologies, Inc.
9770 South Sandy Parkway
Sandy, Utah 84070
(801) 316-2435

End of Electrical Addendum Items

PARTITION LEGEND



EXISTING EXTERIOR WALL TO BE PAINTED, TYPICAL



EXISTING INTERIOR WALL TO BE PAINTED, TYPICAL



EXISTING CONCRETE WALL TO BE PAINTED



EXISTING BRICK WALL



EXISTING VINYL COVERED DEMOUNTABLE WALL TO BE PAINTED, DO NOT PAINT ALUMINUM TRIM



EXISTING STUD WALL TO BE DEMOLISHED

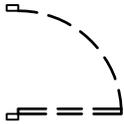


EXISTING DEMOUNTABLE WALL SYSTEM TO BE DEMOLISHED

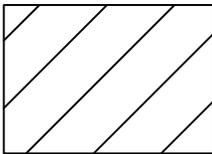


NEW $3\frac{5}{8}$ " METAL STUD WALL W/ $\frac{5}{8}$ " GYPSUM BOARD BOTH SIDES TO 6" ABOVE FINISH CEILING, BRACED TO STRUCTURE ABOVE @ 4'-0" O.C. & TO BE PAINTED

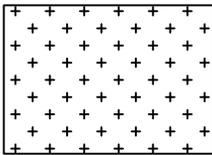
PLAN DEMOLITION LEGEND



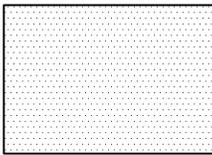
EXISTING WOOD DOOR & H.M. FRAME TO BE DEMOLISHED, TYPICAL



REMOVE FLOOR FINISH AND BASE (WHERE OCCURS) COMPLETE.



REMOVE VCT AND BASE (WHERE OCCURS) COMPLETE.



REMOVE CARPET AND BASE (WHERE OCCURS) COMPLETE.



COMPLETELY REMOVE EXISTING VINYL WALL COVERING, SCORE AT TOP OF BASE (IF REMAINING) & SMALLER SECTIONS FOR REMOVAL, APPLY CHEMICAL STRIPPER, SCRAPE OFF WALLCOVERING, CLEAN EXCESS PASTE FROM WALL SURFACE, APPLY SEALER TO WALL TO COVER ANY REMAINING PASTE, PATCH CRACKS & HOLES, SKIM-COAT WALLS & PRIME FOR PAINTING

FINISH LEGEND

ROOM NAME

RM NUM

FLOOR / BASE — [F | W] — WALL / WAINSCOT

1. BASE BID: EXISTING CARPETING & BASE TO REMAIN, PROTECT FROM DAMAGE. ALTERNATES: NEW CARPET TILE & 4" RUBBER BASE, SEE ALTERNATE SCHEDULE IN SPECIFICATION SECTION 01230
2. EXISTING CONCRETE TO REMAIN
3. EXISTING CERAMIC TILE DEEP TREATED STEAM CLEANED
4. EXISTING RAISED FLOOR TO REMAIN
5. NEW VCT & 4" RUBBER BASE
6. EXISTING TERRAZZO TO REMAIN

- A. WALLS IDENTIFIED TO BE PATCHED & PAINTED IN THE PARTITION LEGEND
- B. EXISTING FINISH TO REMAIN