

GLENDENNING HOME REMODEL

DEPARTMENT OF COMMUNITY AND CULTURE

H STREET SOUTH TEMPLE
SALT LAKE CITY, UTAH

FOR STATE OF UTAH DFCM

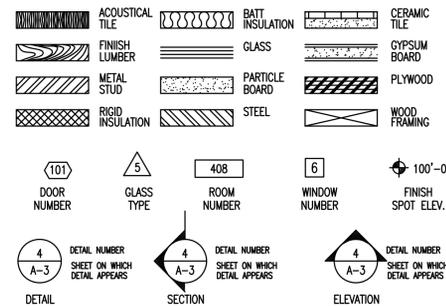
DFCM PROJECT NO.: 07216080

DATE: MAY 26, 2010

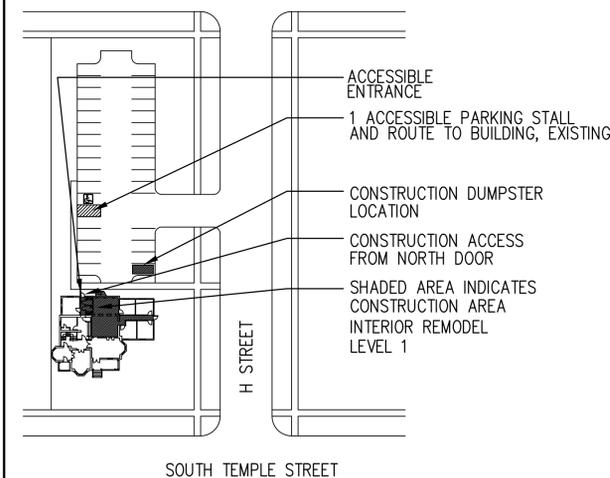
GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- SUBMIT TO ARCHITECT SAMPLES OF ALL PROPOSED FINISHES FOR APPROVAL PRIOR TO COMMENCING WORK.
- COORDINATE USE OF PREMISES AND SCHEDULING OF WORK UNDER THE DIRECTION OF ARCHITECT AND OWNER'S REPRESENTATIVE.
- ALL ADJACENT SURFACES DAMAGED DUE TO WORK UNDER THIS CONTRACT SHALL BE PATCHED AND FINISHED TO MATCH EXISTING ADJACENT SURFACES.
- CONTRACTOR TO PROVIDE DUSTPROOF ENCLOSURES AT PERIMETER OF AREAS OF CONSTRUCTION AND DEMOLITION FOR PROTECTION OF ADJACENT SPACES.
- CONTRACTOR TO ALIGN EXISTING AND NEW WALLS - TYPICAL.
- REMOVE AND RELOCATE EXISTING FIRE ALARM BOXES, THERMOSTATS, SIGNS AND OTHER WALL OR CEILING MOUNTED DEVICES AS REQUIRED. CONTRACTOR TO FIELD VERIFY.
- RE-ROUTE ALL PIPING, CONDUIT AND DUCTWORK AS REQUIRED AT AREAS OF NEW CONSTRUCTION. RELOCATE ANY FIRE DAMPERS AND SLEEVE ALL NEW PENETRATIONS TO ENSURE 1 HOUR RATING AT CORRIDOR WALLS. PROVIDE NEW FIRE DAMPERS AS REQUIRED. CONTRACTOR TO FIELD VERIFY PRIOR TO BIDDING.
- PATCH EXISTING CONC. FLOOR SLABS, AS REQUIRED FOR NEW FINISHES, WITH FLOOR LEVELING COMPOUND: "POR-ROK" BY MINWAX CORP. OR AS APPROVED BY ARCHITECT.
- ALL WORK AND MATERIALS SHALL BE IN CONFORMANCE WITH THE LATEST FEDERAL, STATE AND LOCAL CODES, LAWS AND ORDINANCES, INCLUDING COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE CONSTRUCTION DOCUMENTS FOR PERMIT AND SECURING AND PAYING FOR ALL PERMITS AND FEES REQUIRED TO COMPLETE THIS PROJECT.
- DIMENSIONS ARE TO FACE OF FINISH, UNLESS NOTED OTHERWISE.
- ALL CHANGES IN FLOOR MATERIALS SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE NOTED.
- OBTAIN APPROVAL FROM BUILDING OWNER FOR USE OF PUBLIC AREAS NECESSARY FOR REMOVAL OF DEBRIS AND SUPPLY OF MATERIALS.
- PROTECT THE FIRE ALARM SYSTEM FROM FALSE ALARMS BY CONTAINING CONSTRUCTION DUST.
- ALL WORK TO BE IN ACCORDANCE WITH THE LATEST BUILDING AND CONSTRUCTION STANDARDS AS PROVIDED BY THE BUILDING OWNER. ANY DEVIATION FROM THESE STANDARDS IS TO BE WITH WRITTEN APPROVAL BY THE BUILDING OWNER ONLY.

SYMBOL LEGEND



KEY PLAN



KEY_PLAN



OWNER

STATE OF UTAH, DFCM
4110 STATE OFFICE BUILDING
SALT LAKE CITY, UTAH 84114
CONTACT: BOB ANDERSON
PHONE: (801) 652-6754

CONSULTANTS

MECHANICAL ENGINEERS:
WHW ENGINEERS
1354 EAST 3300 SOUTH
SALT LAKE CITY, UTAH 84106
CONTACT: WIN PACKER
PHONE: 801 466-4021

ELECTRICAL ENGINEERS:
KEN GARNER ENGINEERING, INC
102 WEST 500 SOUTH SUITE 225
SALT LAKE CITY, UTAH 84101
CONTACT: PARIS LELACHEUR
PHONE: 801 560-4140



2 PEPPERWOOD POINTE
SANDY, UTAH 84092

OFFICE: 801-572-1997
FAX: 801-572-9103
CELL: 801-647-8043

DRAWING INDEX

COVER SHEET
ARCHITECTURAL

- A-1 DEMOLITION PLAN & FLOOR PLAN
A-2 INTERIOR ELEVATIONS
A-3 FINISH & DOOR SCHEDULE & DETAILS

MECHANICAL

- MG001 MECHANICAL & PLUMBING SCHEDULES & DETAILS
MD101 MECHANICAL & PLUMBING DEMOLITION PLAN
ME101 MECHANICAL & PLUMBING NEW PLAN
ME601 MECHANICAL & PLUMBING SCHEDULES AND DETAILS

ELECTRICAL

- E-0 SYMBOLS, SCHEDULES AND DRAWING INDEX
E-1 ELECTRICAL DEMOLITION PLAN
E-2 ELECTRICAL LIGHTING PLAN
E-3 ELECTRICAL POWER PLAN

CODE ANALYSIS

APPLICABLE CODES

	Year	Year
International Building Code	2006	National Electrical Code
International Mechanical Code	2006	Uniform Code for Building Conservation
International Plumbing Code	2006	ADA Accessibility Guidelines
International Fire Code	2006	
International Energy Conservation Code	2006	2003

A. Occupancy and Group: B
Change in Use: Yes No Mixed Occupancy: Yes No
Special Use and Occupancy (e.g. High Rise, Covered Mall): N/A

B. Seismic Design Category: N/A Design Wind Speed: N/A mph

C. Type of Construction (circle one):



D. Fire Resistance Rating Requirements for the Exterior Walls based on the fire separation distance (in hours):
North: 0 South: 0 East: 0 West: 0

E. Mixed Occupancies: NO Nonseparated Uses: YES

F. Sprinklers:

Required: NO Provided: NO Type of Sprinkler System: _____

G. Number of Stories: 2 Building Height: 25'

H. Actual Area per Floor (square feet): LEVEL 1: 3,389 SF LEVEL 2: 1,597 SF

I. Tabular Area: 9,000 SF

J. Area Modifications:

$$a) A_a = A_t + \left[\frac{A_t I_f}{100} \right] + \left[\frac{A_t I_s}{100} \right] \quad I_f = 100 \left[\frac{F}{P} - 0.25 \right] \frac{W}{30}$$

b) Sum of the Ratio Calculations for Mixed Occupancies:

$$\frac{\text{Actual Area}}{\text{Allowable Area}} \leq 1$$

c) Total Allowable Area for:

- One Story: _____
- Two Story: $A_a(2)$ _____
- Three Story: $A_a(3)$ _____

d) Unlimited Area Building: Yes No Code Section: _____

K. Fire Resistance Rating Requirements for Building Elements (hours).

Element	Hours	Assembly Listing	Element	Hours	Assembly Listing
Exterior Bearing Walls	0		Floors - Ceiling Floors	0	
Interior Bearing Walls	0		Roofs - Ceiling Roofs	0	
Exterior Non-Bearing Walls	0		Exterior Doors and Windows	0	
Structural Frame	0		Shaft Enclosures	N/A	
Partitions - Permanent	0		Fire Walls	N/A	
Fire Barriers	N/A		Fire Partitions	N/A	
			Smoke Partitions	N/A	

L. Design Occupant Load: 50

Exit Width Required: 10" Exit Width Provided: 102"

M. Minimum Number of Required Plumbing Facilities:

- Water Closets - Required (m) 1 (f) 1 Provided (m) 1 (f) 1
- Lavatories - Required (m) 1 (f) 1 Provided (m) 1 (f) 1
- Bath Tubs or Showers: N/A
- Drinking Fountains: BOT-WAT Service Sinks: HOSE BIB IN TOILET ROOM

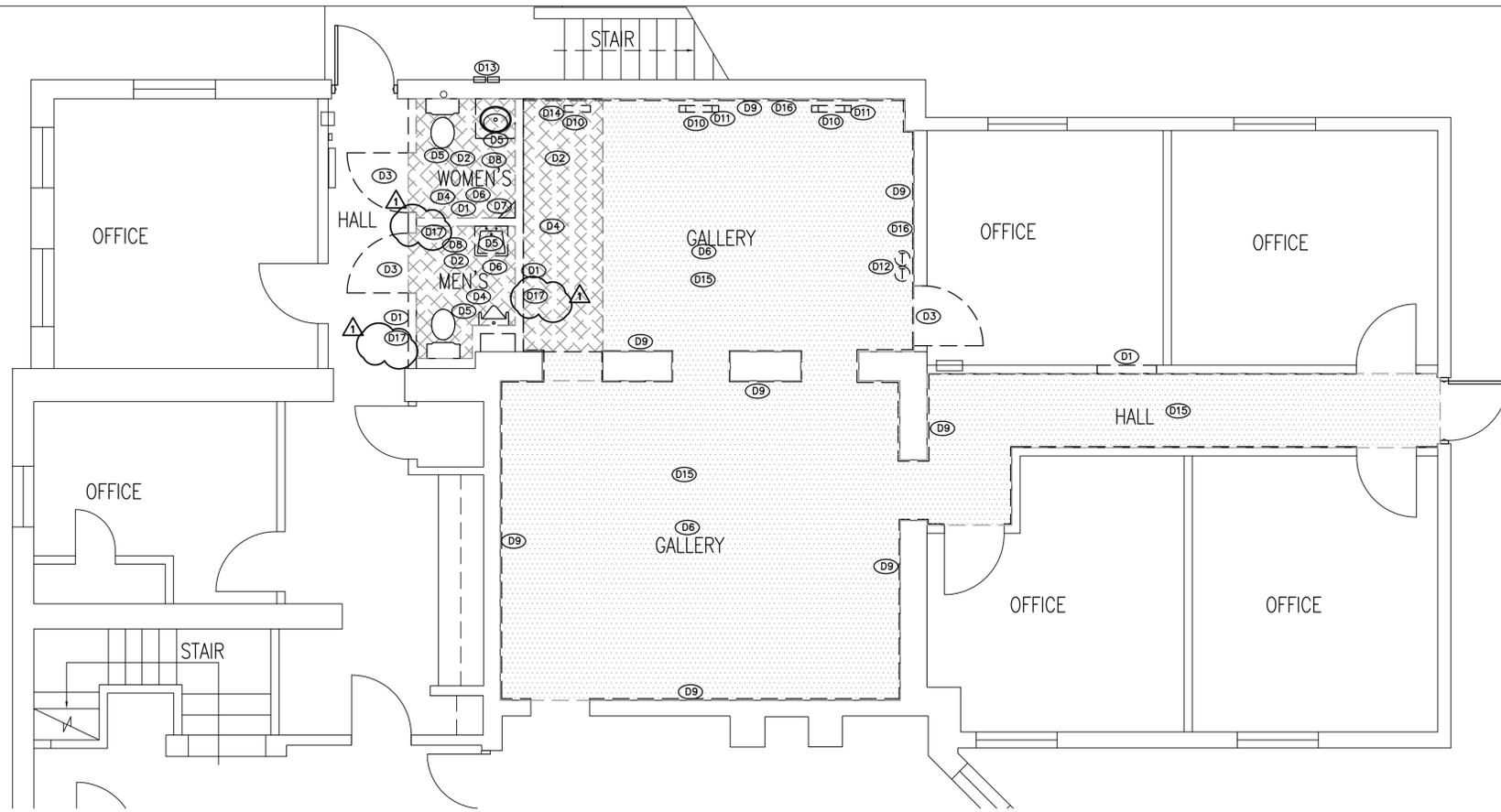
FOOTNOTES:

- In case of conflict with the U.S. Department of Justice Federal Registers Parts I through V - ADA Guidelines and specific reference to the International Building Code Accessibility Chapters, the more restrictive requirement shall govern.
- Additional Code Information shall be provided at the discretion of the Building Official for Complex Buildings. Including, but not limited to:
 - High Rise Requirements.
 - Atriums.
 - Performance Based Criteria.
 - Means or Egress Analysis.
 - Fire Assembly Locator Sheet.
 - Exterior and Interior Accessibility Route.
 - Fire Stopping, Including Tested Design Number.

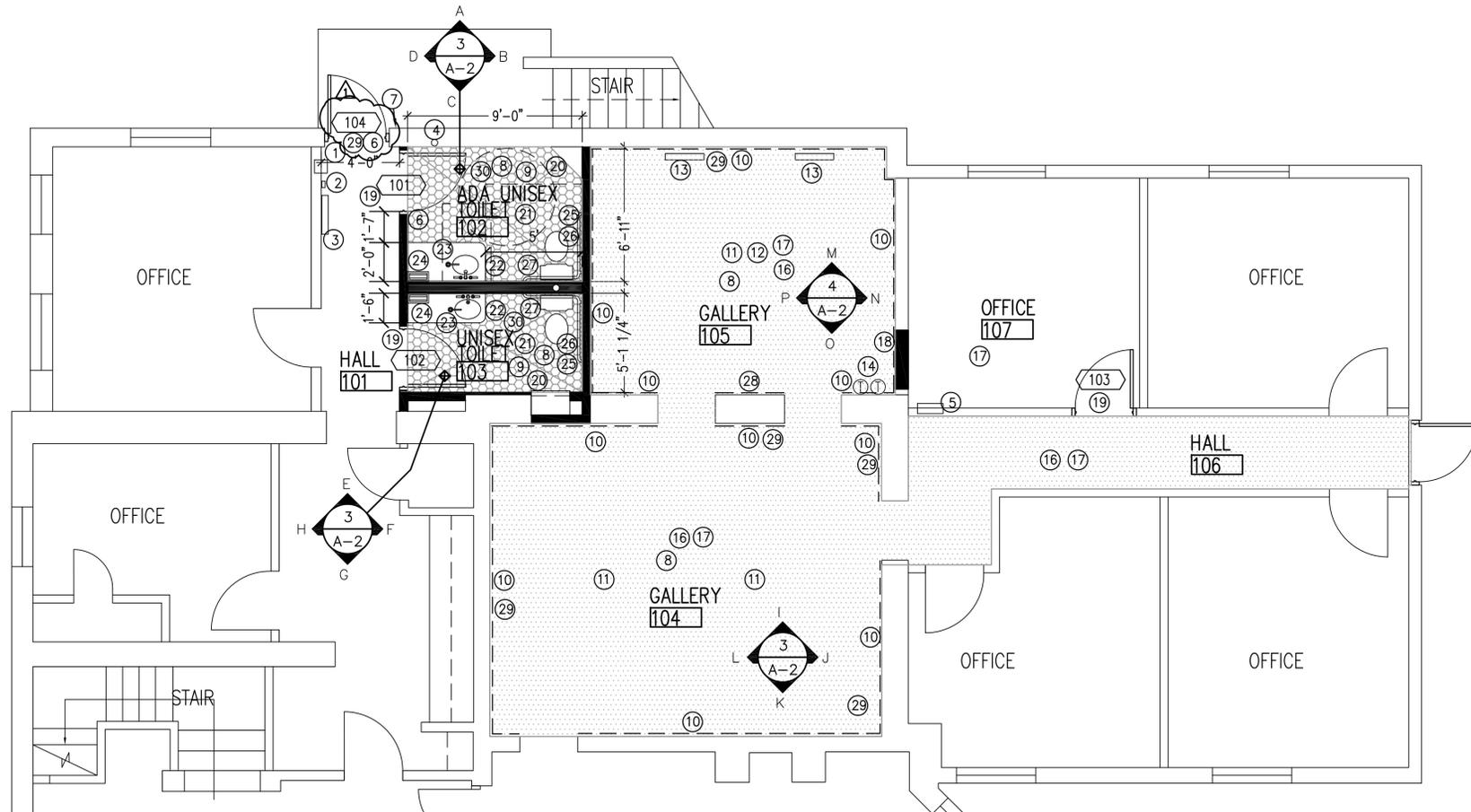
STATE FIRE MARSHAL OFFICE NOTES

5272 SOUTH COLLEGE DRIVE, SUITE 302
MURRAY, UTAH 84123-2611
CONTACT: GEE
PHONE: (801) 284-6350

- OCCUPANCY OF THIS PROJECT IS PROHIBITED UNTIL A FINAL INSPECTION IS CONDUCTED BY THE STATE FIRE MARSHALS OFFICE. A MINIMUM THREE DAY NOTICE SHALL BE GIVEN FOR THIS INSPECTION.
- PLEASE BE CERTAIN THAT ALL PRECAUTIONS ARE TAKEN DURING CONSTRUCTION TO MAINTAIN FIRE PROTECTION AND PROTECT THE CONSTRUCTION CREW.



DEMOLITION_FLOOR_PLAN
SCALE: 1/4" = 1'-0"



MAIN_LEVEL_FLOOR_PLAN
SCALE: 1/4" = 1'-0"

KEYED NOTES

- ① EXISTING FIRE EXTINGUISHER & CABINET.
- ② EXISTING FIRE ALARM PULL BOX.
- ③ EXISTING FIRE ALARM PANEL.
- ④ EXISTING PLUMBING VENT THROUGH ROOF.
- ⑤ EXISTING ELECTRICAL PANEL. SEE ELECTRICAL DRAWINGS.
- ⑥ POWER OPERATED DOOR OPENER WITH OIL RUBBED FINISH.
- ⑦ PATCH EXISTING STUCCO WALL TO MATCH EXISTING. PROVIDE COLOR COAT FINISH OVER ENTIRE WALL FROM CONTROL JOINT TO CONTROL JOINT AT DEMOLISHED EXHAUST VENTS OPENINGS.
- ⑧ PROVIDE CROWN MOLDING AT CEILING/WALL. SEE INTERIOR ELEVATIONS.
- ⑨ THICK SET CERAMIC TILE FLOORING. AMERICAN OLEAN UNGLAZED CERAMIC MOSAICS: 2"OCTAGON (BISCUIT A13) AND 1" DOT (NUTMEG A37) FINISH FLOOR SHALL SLOPE TO DRAIN 1/8"/FT.
- ⑩ PROVIDE PICTURE HANGING WITH LED LIGHTING SYSTEM. SEE INTERIOR ELEVATIONS AND ELECTRICAL DRAWINGS.
- ⑪ REPLACE EXISTING 2X4 LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- ⑫ ADJUST EXISTING TRACK LIGHT FIXTURE SO THAT IT IS CENTERED IN THE ROOM. SEE ELECTRICAL DRAWINGS.
- ⑬ HVAC FLOOR VENTS MATCH EXISTING. REFER TO MECHANICAL DRAWINGS.
- ⑭ RELOCATED THERMOSTATS. SEE MECHANICAL DRAWINGS.
- ⑮ PROVIDE NEW CARPET. SEE FINISH SCHEDULE.
- ⑯ PREP EXISTING WALLS AND CEILING FOR SMOOTH PAINT FINISH. SEE FINISH SCHEDULE.
- ⑰ INFILL EXISTING DOOR OPENING TO FLUSH OUT BOTH SIDES OF WALL.
- ⑱ PROVIDE NEW DOOR. SEE DOOR SCHEDULE.
- ⑳ WOOD CABINETS: ANTIQUE WHITE, WITH OIL RUBBED BRONZE HARDWARE. DOOR STYLE: "FASHIONABLE ENCLOSURES" STRAFFORDSHIRE FULL OVERLAY. COUNTER TOP COLOR: "CONTEMPO TILE", APOLLO STORM 2 CM. WITH OGEE ROUND STEP EDGE.
- ㉑ SLOPE FLOOR TO DRAIN. SEE PLUMBING DRAWINGS.
- ㉒ SOLID SLAB GRANITE VANITY WITH OGEE ROUND STEP EDGE. COLOR: "CONTEMPO TILE", APOLLO STORM 2 CM.
- ㉓ SOAP DISPENSER: COUNTER TOP PUMP TYPE WITH OIL RUBBED BRONZE FINISH. (MOEN 3944ORB OR APPROVED EQUAL.)
- ㉔ PAPER TOWEL DISPENSER: C-FOLD COUNTER TOP TYPE WITH POWDER COAT BRONZE FINISH. (BOBRICK B-526 OR APPROVED EQUAL.)
- ㉕ TOILET PAPER HOLDER: WITH OIL RUBBED BRONZE FINISH. (EMTEK CAST BRONZE SPRING ROD STYLE W/ TYPE 15 ROSETTES OR APPROVED EQUAL.)
- ㉖ SANITARY NAPKIN DISPOSAL: SURFACE MOUNTED WITH POWDER COAT BRONZE FINISH. (BOBRICK B-270 OR APPROVED EQUAL.)
- ㉗ GRAB BARS: WITH OIL RUBBED BRONZE FINISH. (BOBRICK OR APPROVED EQUAL.)
- ㉘ PROVIDE PICTURE HANGING SYSTEM NO LIGHTING. SEE INTERIOR ELEVATIONS AND ELECTRICAL DRAWINGS.
- ㉙ PATCH AND REPAIR WALL FOR ELECTRICAL WORK. SEE ELECTRICAL DRAWINGS.
- ㉚ PROVIDE 5/8" GYPSUM BOARD CEILING WITH SMOOTH FINISH PAINTED. SEE FINISH SCHEDULE.

GENERAL NOTES

- A. FIELD VERIFY ALL EXISTING CONDITIONS.
- B. ALL WORK, MATERIALS & DISPOSAL SHALL BE IN FULL CONFORMANCE WITH THE LATEST FEDERAL, STATE, AND LOCAL CODES, LAWS, AND ORDINANCES, INCLUDING THEIR MOST RECENT REVISIONS, AMENDMENTS, AND INTERPRETATIONS.
- C. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION AND NEW CONSTRUCTION AS INDICATED IN THE DOCUMENTS AND AS REQUIRED FOR A COMPLETE AND PROPER JOB. ALL CONTRACTORS ARE REQUIRED TO SURVEY AND FIELD VERIFY THE SITE PRIOR TO BID.
- D. GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION AND SYSTEMS, WHICH ARE INTENDED TO REMAIN, FROM ANY DAMAGE DURING THE DURATION OF THE ENTIRE DEMOLITION AND NEW CONSTRUCTION CONTRACT. ALL SURFACES DAMAGED DUE TO NEW CONSTRUCTION SHALL BE PATCHED AND REPAIRED TO MATCH ADJACENT SURFACES TO THE OWNERS SATISFACTION.
- E. ALL UNDERGROUND UTILITIES (ELECTRICAL, GAS, SEWER, PHONE, ETC.) ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROTECT. THESE LINES SHALL BE PROTECTED IN PLACE. ANY CONFLICTS AND DISCREPANCY IN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION.
- F. ALL DIMENSIONS ARE TO FINISHED SURFACE OF WALL.
- G. PATCH AND REPAIR EXISTING WALLS, CEILING AND FLOOR WHERE EXISTING WALLS WERE REMOVED.
- H. PROVIDE BLOCKING IN WALLS FOR GRAB BARS, SHELVING, CABINETS, AND HANDRAILS.

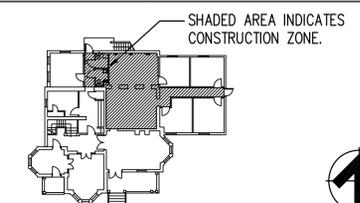
DEMOLITION KEYED NOTES

- D1 REMOVE AND DISPOSE OF EXISTING WALL. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- D2 REMOVE AND DISPOSE OF EXISTING CONCRETE FLOOR SLAB.
- D3 REMOVE AND DISPOSE OF EXISTING DOOR, FRAME AND HARDWARE.
- D4 REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD CEILING.
- D5 REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURES. CAP ALL SUPPLY AND WASTE LINES. REFER TO PLUMBING DRAWINGS.
- D6 REMOVE AND DISPOSE OF EXISTING LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS.
- D7 REMOVE AND DISPOSE OF EXISTING CABINETS AND COUNTER TOP.
- D8 REMOVE TO OWNERS STOCK EXISTING PAPER TOWEL AND SOAP DISPENSERS.
- D9 REMOVE AND DISPOSE OF EXISTING WALL COVERING. PREP WALL FOR SMOOTH PAINTED FINISH.
- D10 REMOVE AND DISPOSE OF EXISTING HVAC GRILLS. REFER TO HVAC DRAWINGS.
- D11 SAW CUT EXISTING CONCRETE FLOOR SLAB TO ENLARGE HVAC GRILL OPENINGS. REMOVE AND DISPOSE OF MATERIALS. REFER TO HVAC DRAWINGS.
- D12 REMOVE AND RELOCATE HVAC THERMOSTAT REFER TO HVAC DRAWINGS.
- D13 REMOVE AND DISPOSE OF EXISTING EXHAUST GRILLS. REFER TO HVAC DRAWINGS.
- D14 CAP EXISTING HVAC DUCT BELOW CONCRETE SLAB WATER TIGHT.
- D15 SHADED AREA INDICATES TO REMOVE AND DISPOSE OF EXISTING FLOOR CARPET. PREP FLOOR FOR NEW CARPET.
- D16 REMOVE AND DISPOSE OF EXISTING CROWN MOLDING.
- D17 THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO REMOVING ANY WALLS. VERIFY THAT THE WALLS BEING REMOVED ARE NOT LOAD BEARING OR SHEAR WALLS. AND THE REMOVAL OF THE WALLS SHALL NOT AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.

WALL TYPES

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- INTERIOR WALL: 3 5/8", 20 GA, METAL STUDS AT 16" O.C. WITH 5/8" GYP. BD. BOTH SIDES. (6" STUDS AT PLUMBING WALL) OR UNLESS NOTED OTHERWISE. REFER TO WALL TYPE 1/A-3

KEY PLAN



Seal

Revisions:
No. Date Description
A 06/29/10 CODE REVIEW ITEMS

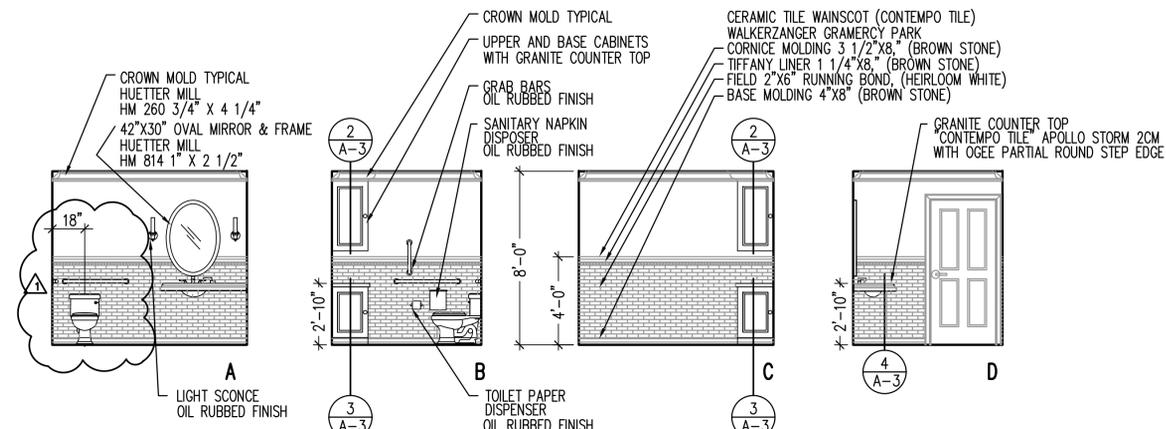
THALMANN ARCHITECT
2 PEPPERWOOD PONTE SANDY, UTAH 84092
OFFICE: (801) 572-1997
CELL: (801) 647-8043
FAX: (801) 572-9103

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DEPARTMENT OF COMMUNITY AND CULTURE
H STREET SOUTH TEMPLE
SALT LAKE CITY, UTAH
DFCM PROJECT NO: 07216080

Date: 5/26/10
 Drawn: FLT
 Checked: FLT

Drawing Description
 DEMOLITION PLAN & FLOOR PLAN

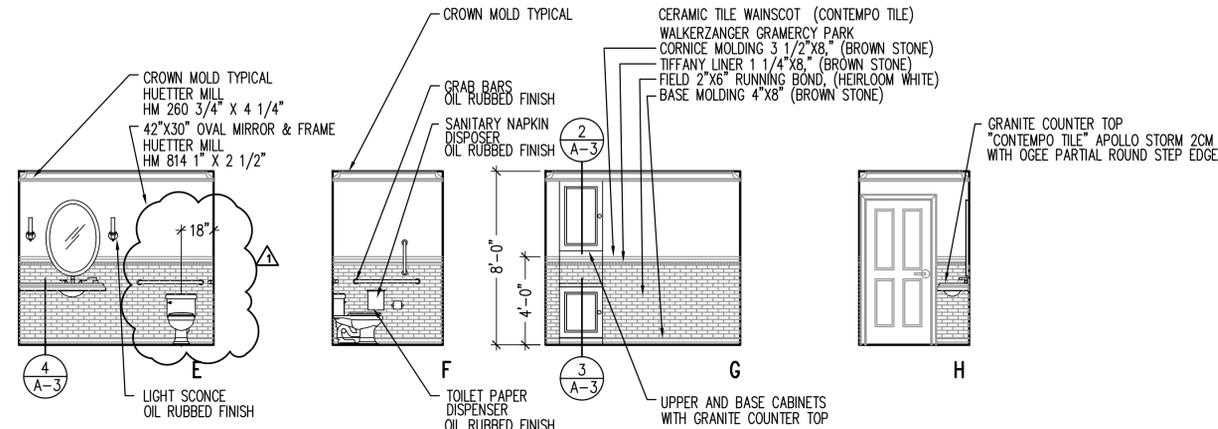
Drawing No.
A-1



ACCESSIBLE UNISEX TOILET ROOM 102

SCALE: $1/4" = 1'-0"$ REFER TO STANDARD MOUNTING HEIGHTS 5/A-2

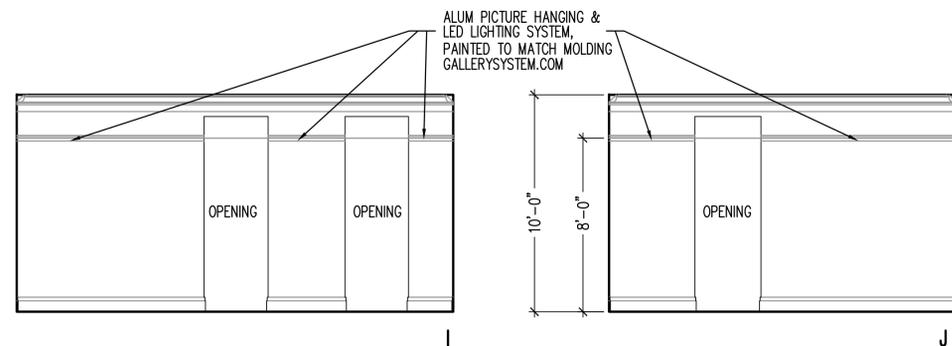
1
A-2



UNISEX TOILET ROOM 103

SCALE: $1/4" = 1'-0"$ REFER TO STANDARD MOUNTING HEIGHTS 5/A-2

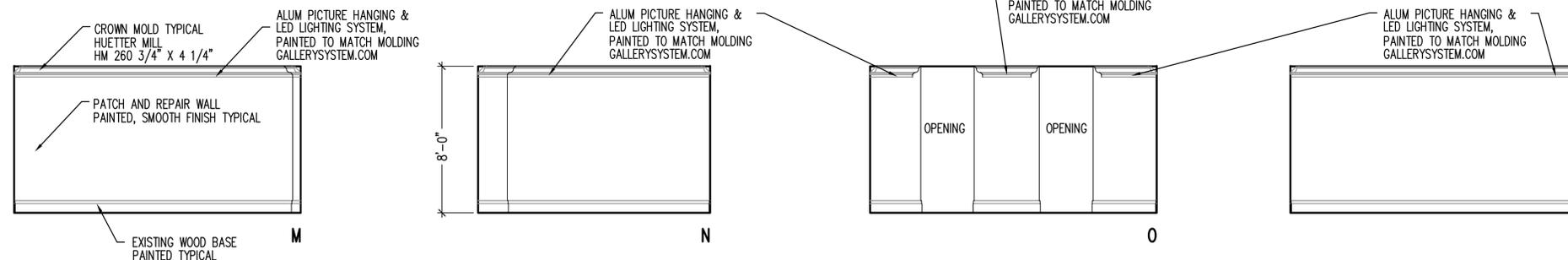
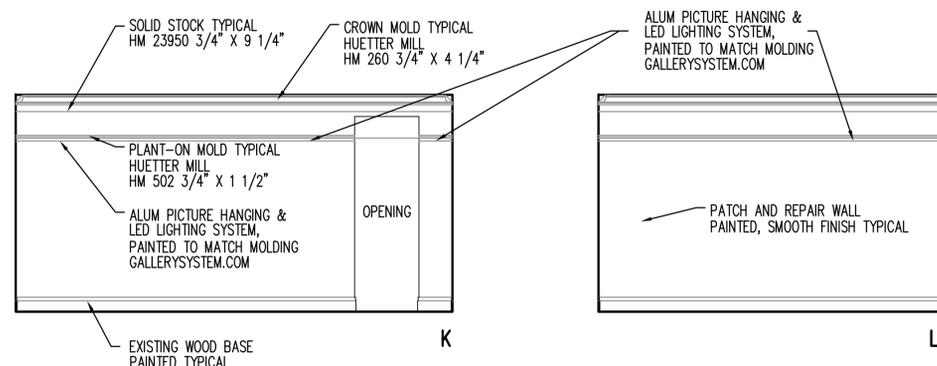
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A-2



GALLERY 104

SCALE: $1/4" = 1'-0"$

3
A-2



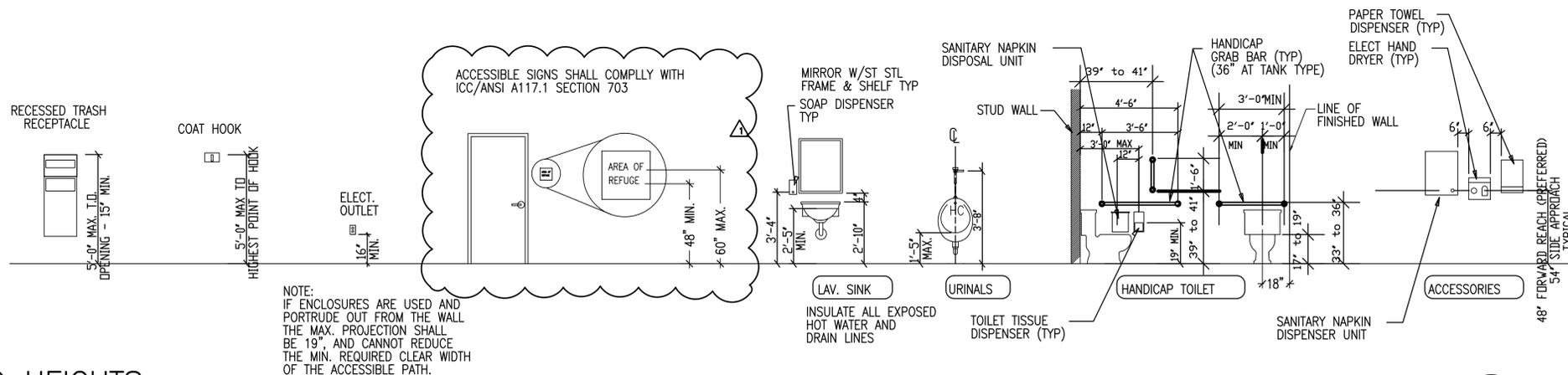
GALLERY 105

SCALE: $1/4" = 1'-0"$

4
A-2

NOTES:

- CONTRACTOR PROVIDE BLOCKING & BACKING FOR ALL ACCESSORIES AND OWNER FURNISHED EQUIPMENT, BLOCKING AT GRAB BARS TO WITHSTAND A 250 LB./FT. LOAD.
- DRINKING FOUNTAINS, TOILETS & URINALS ARE TO BE MOUNTED AS PER MANUFACTURERS RECOMMENDATIONS FOR STANDARDS UNITS UNLESS THEY ARE DESIGNATED TO BE FOR HANDICAPPED USE. H.C. ACCESSIBLE UNITS TO BE MOUNTED AS SHOWN ABOVE.
- CONTRACTOR TO PROVIDE BACKING & BLOCKING FOR ALL CABINETS - BASE & WALL HEIGHTS
- ALL MILLWORK DIMENSIONS SHALL BE FIELD VERIFY PRIOR TO MANUFACTURING AND INSTALLATION.
- ALL COUNTERTOPS SHALL BE STRAIGHT EDGE TYPE, U.N.O.
- ALL OUTSIDE CORNERS OF COUNTERTOPS SHALL BE 4" RADIUS, U.N.O.



STANDARD MOUNTING HEIGHTS

5
A-2

Seal

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THALMANN ARCHITECT
2 PEPPERWOOD PONTE SANDY, UTAH 84092
OFFICE: (801) 572-1997
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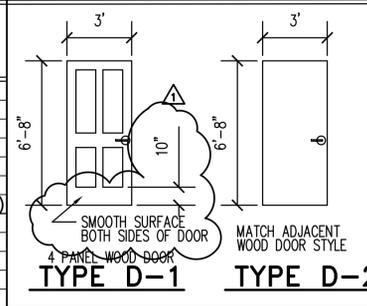
FINISH AND FLOOR SCHEDULE

AREA	RM. NO. [000]	ROOM NAME	FLOOR	WALLS, WAINSCOTS, BASES, DOORS												REMARKS				
				NORTH			EAST			SOUTH			WEST				CEILING			
				WALL	WAINSCOT	BASE	WALL	WAINSCOT	BASE	WALL	WAINSCOT	BASE	WALL	WAINSCOT	BASE		TYPE	HEIGHT		
	101	HALL	EXISTING	EXISTING	---	EXISTING	P-1	---	EXISTING	EXISTING	---	EXISTING	EXISTING	---	EXISTING	EXISTING	EXISTING P-2	8'-0"	TRIM & DOORS P-2	
	102	ADA UNISEX TOILET	CT-1	P-1	CT-2	CT-2	P-1	CT-2	CT-2	P-1	CT-2	CT-2	P-1	CT-2	CT-2	P-1	CT-2	CT-2	8'-0"	TRIM P-2
	103	UNISEX TOILET	CT-1	P-1	CT-2	CT-2	P-1	CT-2	CT-2	P-1	CT-2	CT-2	P-1	CT-2	CT-2	P-1	CT-2	CT-2	8'-0"	TRIM P-2
	104	GALLERY	CARPET-1	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	10'-0"	TRIM P-2
	105	GALLERY	CARPET-1	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	8'-0"	TRIM P-2
	106	HALL	CARPET-1	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	8'-0"	TRIM & DOORS P-2
	107	OFFICE	EXISTING	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	P-1	---	EXISTING P-2	8'-0"	TRIM & DOORS P-2

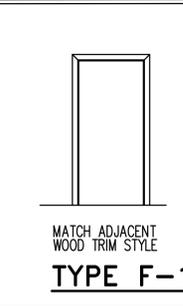
DOOR SCHEDULE

AREA	NO.	DOOR SIZE			DOOR TYPE	DOOR MAT.	DOOR FINISH	OPENING DETAILS				FRAME TYPE	FRAME MAT.	FRAME FINISH	RATING	HRDW. GROUP	REMARKS
		WIDTH	HEIGHT	THICK.				HEAD	RIGHT JAMB	LEFT JAMB	SILL THRESH.						
	101	3'-0"	6'-8"	1 3/4"	D-1	SC WOOD	P-2	5/A-3	5/A-3	5/A-3	MARBLE	F-1	WOOD	P-2	---	1	PROVIDE POWER FOR DOOR OPENER
	102	3'-0"	6'-8"	1 3/4"	D-1	SC WOOD	P-2	5/A-3	5/A-3	5/A-3	MARBLE	F-1	WOOD	P-2	---	2	
	103	3'-0"	6'-8"	1 3/4"	D-2	SC WOOD	P-2	5/A-3	5/A-3	5/A-3	---	F-1	WOOD	P-2	---	3	
	104	3'-0"	6'-8"	1 3/4"	EXIST	EXIST	---	---	---	---	EXIST	EXIST	EXIST	---	---	4	FIELD VERIFY EXISTING DOOR HARDWARE

DOOR TYPES



FRAME TYPES



DOOR HARDWARE SCHEDULE

COORDINATE WITH OWNER FOR KEYING

HARDWARE GROUP 1

1 1/2	PAIR	BUTTS	5BB1	4.5 X 4.5	613	IVES	
1	EACH	PRIVACY	MILANO LEVER W/ RECTANGULAR ROSETTE (ADA)	613	EMTEK		
1	EACH	STOP	WS407	613	IVES		
1	EACH	AUTO OPENER	9131	696	LCN		
1	EACH	ACTUATOR	8310-818		LCN		
1	EACH	ELECTRIC STRIKE	5100	696	VON DUPRIN		
1	EACH	POWER SUPPLY	PS861		VON DUPRIN		

HARDWARE GROUP 2

1 1/2	PAIR	BUTTS	5BB1	4.5 X 4.5	613	IVES	
1	EACH	PRIVACY	MILANO LEVER W/ RECTANGULAR ROSETTE (ADA)	613	EMTEK		
1	EACH	STOP	WS407	613	IVES		
1	EACH	CLOSER	1461	695	LCN		

HARDWARE GROUP 3

1 1/2	PAIR	BUTTS	5BB1	4.5 X 4.5	613	IVES	
1	EACH	OFFICE PASSAGE	MILANO LEVER W/ RECTANGULAR ROSETTE (ADA)	613	EMTEK		
1	EACH	STOP	WS407	613	IVES		

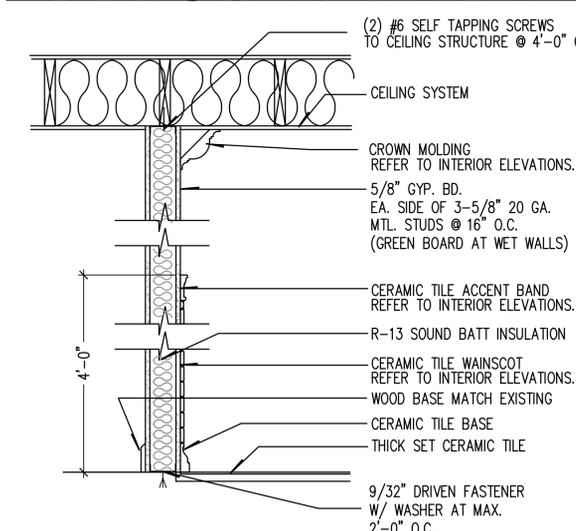
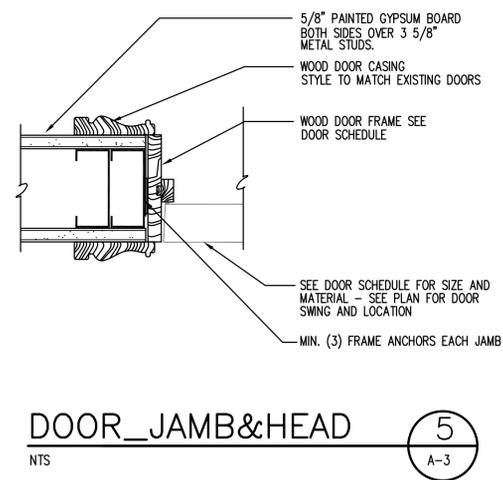
HARDWARE GROUP 4

1	EACH	AUTO OPENER	9131	696	LCN		
1	EACH	ACTUATOR	8310-818		LCN		

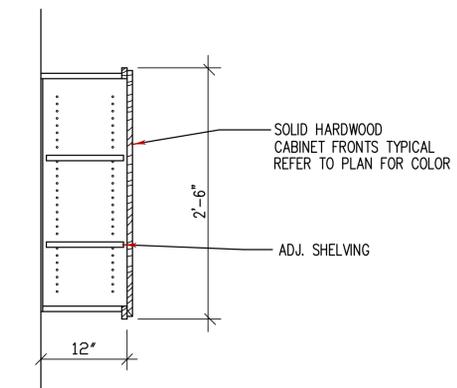
NOTE: FIELD VERIFY EXISTING DOOR HARDWARE AND POWER SUPPLY

COLOR SCHEDULE

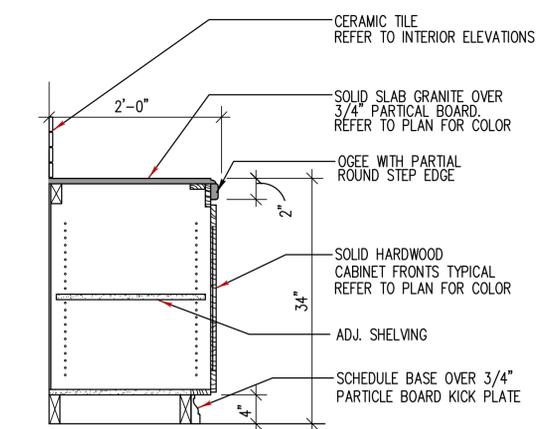
Tag	Material	Manufacture	Color
P-1:	PAINT	SHERWIN WILLIAMS:	SW 7547 SAND BAR, SATIN FINISH
P-2:	PAINT TRIM AND DOORS	SHERWIN WILLIAMS:	SW EXTRA WHITE, SEMI-GLOSS FINISH
CT-1:	FLOOR UNGLAZED MOSAICS	AMERICAN OLEAN:	2"OCTAGON (BISCUIT A13) AND 1" DOT (NUTMEG A37)
CT-2:	CERAMIC TILE WAINSCOT	WALKERZANGER GRAMERCY PARK (CONTEMPO TILE)	
B-1:	BASE BOARD	MATCH EXISTING	
CARPET-1:	CARPET TILE	SHAW CONTRACT GROUP:	BRILLIANCE TILE, COLOR GOLDEN GLOW 29170
RESTROOM MIRRORS: 1/4" POLISHED #1 QUALITY PLATE MIRROR, BLUE LABEL.			
GRANITE COUNTER TOP: "CONTEMPO TILE" APOLLO STORM 2CM, WITH OGEE PARTIAL ROUND STEP EDGE.			
WOOD CABINETS: ANTIQUE WHITE, WITH OIL RUBBED BRONZE HARDWARE. DOOR STYLE: "FASHIONABLE ENCLOSURES" STRAFFORDSHIRE FULL OVERLAY. WWW.FASHIONABLEENCLOSURES.COM			



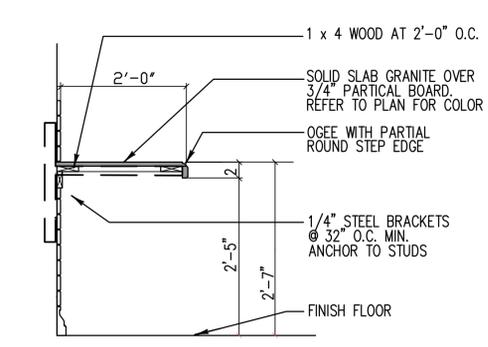
WALL_TYPE (1) A-3



UPPER-CAB (2) A-3



BASE-CAB (3) A-3



VANITY_SECTION (4) A-3

Seal

Revisions:
No. Date Description
1 06/29/10 CODE REVIEW ITEMS

THALMANN ARCHITECT

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SANDY, UTAH 84092
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GLENDENNING HOME REMODEL
DEPARTMENT OF COMMUNITY AND CULTURE
H STREET SOUTH TEMPLE
SALT LAKE CITY, UTAH
DFCM PROJECT NO: 07216080

Date: 5/26/10
 Drawn: FLT
 Checked: FLT
 Drawing Description: DETAILS
 Drawing No. A-3

MECHANICAL LEGEND					
SYMBOL	ABR.	DESCRIPTION	SYMBOL	ABR.	DESCRIPTION
GENERAL TERMINOLOGY			AIR SIDE		
(A2)		DETAIL NUMBER DESIGNATION CORRESPONDING WITH GRID LOCATION			EXISTING AIR DUCT TO BE REMOVED
					EXISTING AIR DUCT TO REMAIN
(MA)		MECHANICAL EQUIPMENT DESIGNATION			NEW AIR DUCT
(1)		EQUIPMENT ITEM DESIGNATION			NEW SPIRAL DUCT
(D-1)		REGISTER, GRILL OR DIFFUSER DESIGNATION WITH BALANCING CFM LISTED BELOW			NEW MEDIUM PRESSURE DUCT
(CFM)					BURIED OR UNDER FLOOR DUCT
(R-1)		GRILLE, OR LOUVER DESIGNATION WHERE BALANCING NOT REQUIRE			FLEXIBLE AIR DUCT
					LINED DUCT
(1)		REVISION DESIGNATOR AND NUMBER			VANED ELBOW
(1)		KEY NOTE DESIGNATOR AND NUMBER			RADIUS ELBOW
(POC)		POINT OF CONNECTION			FLEXIBLE AIR DUCT CONNECTION
(POR)		POINT OF REMOVAL			VOLUME DAMPER
GC		GENERAL CONTRACTOR			SUPPLY AIR DIFFUSER
MC		MECHANICAL CONTRACTOR			RETURN AIR, FRESH AIR, AND TRANSFER AIR
ATC		CONTROL CONTRACTOR			CEILING MOUNTED EXHAUST FAN OR EXHAUST GRILLE
EC		ELECTRICAL CONTRACTOR			RETURN OR OUTSIDE AIR DUCT UP
FPC		FIRE PROTECTION CONTROL			SUPPLY DUCT UP
NIC		NOT IN CONTRACT			EXHAUST AIR INTAKE UP
NTS		NOT TO SCALE			RETURN OR OUTSIDE AIR DUCT DOWN
C		COMMON			SUPPLY DUCT DOWN
NC		NORMALLY CLOSED			EXHAUST DUCT DOWN
NO		NORMALLY OPEN			ROUND DUCT UP
					ROUND DUCT DOWN
				AP	ACCESS PANEL
					EXISTING EQUIPMENT TO BE REMOVED
					EXISTING EQUIPMENT TO REMAIN
					NEW EQUIPMENT
(RTU-1)	T-STAT	WALL MOUNTED THERMOSTAT MECHANICAL EQUIPMENT CONTROLLED			
SA		SUPPLY AIR			
RA		RETURN AIR			
EA		EXHAUST AIR			
OA		OUTSIDE AIR			
MA		MIXED AIR			
FA		FRESH AIR			
RF		RELIEF AIR			

PLUMBING LEGEND			
MEANING	SYMBOL OR ABBREVIATION	MEANING	SYMBOL OR ABBREVIATION
HOT WATER LINE		WALL CLEANOUT	WCO
COLD WATER LINE		CLEANOUT	CO
HOT WATER RECIRCULATING LINE		CLEANOUT TO GRADE	COTG
VENT LINE		FLOOR CLEANOUT	FCO
WASTE LINE		BALL VALVE	Φ
GAS LINE		UNION	
VENT THRU ROOF	VTR	CONNECTION TO EXISTING PIPING	
UNDER FLOOR	UF	REGULATOR	(R)
SANITARY SEWER	SS	SOFT WATER	SW
PRIMARY ROOF DRAIN (PRD)	PD	SECONDARY ROOF DRAIN (SRD)	SD

MECHANICAL GENERAL NOTES:

G-1 MECHANICAL INFORMATION IS NOT LIMITED TO THE MECHANICAL DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR INFORMATION OF THE EXISTING BUILDING AND SITE CONDITIONS, EXISTING PIPING, EXISTING ELECTRICAL, AND EXISTING SUPPORTS.

A - EACH DRAWING SHEET AND THE SPECIFICATIONS HAVE BEEN PREPARED TO SUPPLEMENT EACH OTHER AND THEY SHALL BE INTERPRETED AS AN INTEGRAL UNIT WITH ITEMS SHOWN AND NOTED ON ONE AND NOT THE OTHER BEING FURNISHED AND INSTALLED AS THOUGH SHOWN AND CALLED OUT IN ALL PLACES. ITEMS IN SPECIFICATIONS OR DRAWINGS LISTED WHICH ARE DIFFERING IN EFFICIENCY OR QUALITY SHALL BE HELD TO THE GREATEST OF: EFFICIENCY, QUALITY OR GOVERNING CODE.

B - THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE INSTALLATION OF THE SYSTEMS ACCORDING TO THE TRUE INTENT AND MEANING OF THE CONTRACT DOCUMENTS.

C - THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT WITH PROPER SERVICE ACCESS AND CLEARANCES ACCORDING TO MANUFACTURERS RECOMMENDATIONS. THE CONTRACTOR SHALL REVIEW SUPPLIERS BID PACKAGES FOR COMPLETENESS AND COMPLIANCE TO THE SPECIFICATIONS, SCHEDULES, AND DESIGN INTENT (ALL EQUIPMENT AND METHODS). THE CONTRACTOR SHALL REMOVE AND REINSTALL CORRECTLY AT HIS OWN EXPENSE ANY EQUIPMENT NOT IN COMPLIANCE.

D - THE CONTRACTOR SHALL CONSULT MANUFACTURERS INSTALLATION INSTRUCTIONS FOR SIZES, METHODS, ACCESSORIES, AND CLEARANCES IN SPACE AVAILABLE PRIOR TO BIDDING PROJECT.

E - ANYTHING NOT CLEAR OR IN CONFLICT WILL BE EXPLAINED BY MAKING APPLICATION TO THE ENGINEER IN WRITING.

G-2 ANY AND ALL ALTERATIONS TO THE SYSTEM SHOWN SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO CHANGES FOR APPROVAL. CONTRACTOR SHALL NOT START ANY CHANGES UNTIL NOTIFIED IN WRITING. IF CHANGES ARE MADE PRIOR TO APPROVAL CONTRACTOR SHALL TAKE ALL RESPONSIBILITY FOR THE CHANGES MADE AND ALL COSTS RELATING TO FAILURE OR REPLACEMENT OF ALTERATIONS.

G-3 CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND LOCATIONS.

G-4 THE WORKING DRAWINGS ARE DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND, OR ELBOW NECESSARY FOR THE COMPLETE INSTALLATION IN THE SPACE PROVIDED. ALL LOCATIONS FOR MECHANICAL EQUIPMENT SHALL BE FIELD VERIFIED AND COORDINATED WITH ALL DRAWINGS. THE CONTRACTOR SHALL PROVIDE OR COORDINATE WITH THE GENERAL CONTRACTOR PROVISIONS FOR BLOCKOUTS OR CORE DRILLS THROUGH STRUCTURE.

G-5 THE INSTRUCTION TO "PROVIDE" ALSO INCLUDES INSTALLATION.

G-6 MECHANICAL CONTRACTOR SHALL PROVIDE AND INSTALL SMOKE AND FIRE DAMPERS AS REQUIRED BY LOCAL CODES AND AUTHORITIES.

G-7 SHEET METAL DUCT SIZES SHOWN ON DRAWINGS ARE FREE AREA DIMENSIONS.

G-8 PROVIDE AND INSTALL BALANCING DAMPERS IN ALL SUPPLY AND EXHAUST AIR BRANCH DUCTS. BALANCE TO CFM SHOWN ON PLAN.

G-9 SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF DIFFUSERS AND GRILLES.

G-10 PROVIDE TURNING VANES IN ALL ELBOWS OF RECTANGULAR DUCT.

G-11 THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY IN HANDLING AND DISPOSING OF REFRIGERANTS, OILS, ETC. ALL SUCH MATERIALS SHALL BE HANDLED, DISPOSED, AND USED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS.

G-12 THE MECHANICAL CONTRACTOR SHALL VERIFY MOTOR VOLTAGES WITH THE ELECTRICAL DRAWING BEFORE ORDERING MOTORIZED EQUIPMENT AND CONTROLS.

G-13 C.F.M. LISTED IS ACTUAL AIR.

G-14 SUPPLIERS SHALL REVIEW ALL DRAWINGS AND THE SPECIFICATIONS PRIOR TO SUBMITTING PRICES TO THE CONTRACTOR. ALL QUESTIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO BIDDING.

G-15 CONTRACTOR SHALL THOROUGHLY REVIEW AND SIGN SUBMITTALS FOR COMPLETENESS AND COMPLIANCE TO THE SPECIFICATIONS PRIOR TO ENGINEERS REVIEW. SUPPLIERS SHALL HIGHLIGHT OR MARK ALL INFORMATION REQUIRED TO SHOW COMPLIANCE TO THE SPECIFICATIONS. ALL REQUESTED EXCEPTIONS TO THE SPECIFICATIONS, OR SCHEDULES SHALL BE CLEARLY NOTED AND EXPLAINED. SUBMITTAL REVIEW AND ACCEPTANCE IS FOR DESIGN CONCEPT ONLY, AND DOES NOT AT ANY TIME RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO MEET SPECIFICATIONS, CAPACITIES, OR DESIGN INTENT.

G-16 ALL MECHANICAL SHALL BE INSTALLED AND CONFORM TO THE 2006 EDITION OF THE IMC AND IPC WITH UTAH ANNOTATIONS AND LOCAL AUTHORITY REQUIREMENTS.

G-17 THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE DRAINING DOWN AND RE-FILLING OF ALL SYSTEMS NECESSARY TO COMPLETE THE WORK OUTLINED BY THIS PROJECT. THIS INCLUDES PROVIDING THE REQUIRED CHEMICAL TREATMENT WHEN RE-FILLING THE SYSTEM.

G-18 ALL PIPING, MATERIALS, ETC. SHALL BE NEW AND DOMESTIC MADE UNLESS SPECIFICALLY AUTHORIZED IN WRITING PRIOR TO BID.

PLUMBING GENERAL NOTES:

G-1 ALL PLUMBING SHALL BE INSTALLED AND CONFORM TO THE 2006 EDITION OF THE INTERNATIONAL PLUMBING CODE (IPC) WITH UTAH ANNOTATIONS AND LOCAL AUTHORITY REQUIREMENTS.

G-2 ALL PIPING MATERIALS SHALL MEET ALL REQUIREMENTS OF IPC AND LOCAL AUTHORITY. PLASTIC PIPING SHALL BE ALLOWED ONLY WHERE ALLOWED BY CODE. PLASTIC PIPING SHALL NOT BE ROUTED THROUGH RETURN AIR PLENUMS OR OTHER AREAS PROHIBITED BY THE IMC, IPC OR NFPA CODES OR BY LOCAL AUTHORITY

G-3 GAS PIPING INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH GAS COMPANY REGULATIONS, NFPA CODE REQUIREMENTS, AND LOCAL AUTHORITY.

G-4 ALL MATERIALS SHALL BE NEW AND SHALL BE DOMESTIC MADE UNLESS SPECIFICALLY APPROVED OTHERWISE IN WRITING BY ARCHITECT OR OWNER.

G-5 PROVIDE VACUUM BREAKERS AND BACK FLOW PREVENTERS WHERE REQUIRED BY CODE OR WHERE THERE MAY BE ANY POSSIBLE CHANCE FOR CROSS CONTAMINATION. PREVENTERS SHALL BE INSTALLED IN ACCORDANCE WITH UTAH CODE.

G-6 ALL PLUMBING INFORMATION IS NOT LIMITED TO THE PLUMBING DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR INFORMATION ON ALL OTHER CONSTRUCTION DOCUMENTS INCLUDING SPECIFICATIONS, ARCHITECTURAL DRAWING, STRUCTURAL DRAWINGS, MECHANICAL DRAWINGS, AND ELECTRICAL DRAWINGS.

G-7 THE WORKING DRAWINGS ARE DIAGRAMMATIC. BECAUSE OF THE SMALL SCALE OF THE DRAWING, THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW NECESSARY FOR THE COMPLETE INSTALLATION IN THE SPACE PROVIDED. ALL PIPING SHALL BE CHECKED AND COORDINATED WITH THE SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.

G-8 COORDINATE ALL PIPING AND PLUMBING EQUIPMENT WITH ALL OTHER TRADES AND/OR CONTRACTORS PRIOR TO INSTALLATION.

G-9 ANY AND ALL ALTERATIONS TO THE SYSTEM SHOWN SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR AND ARCHITECT/ENGINEER SHALL BE NOTIFIED IN WRITING PRIOR TO CHANGES.

G-10 GAS LINE FITTINGS SHALL BE STANDARD WELD FITTINGS WITH TAPERED REDUCERS. DO NOT USE VALVES, UNIONS, OR AUTO CONTROLS IN GAS LINES ROUTED IN INACCESSIBLE CONCEALED SPACES.

G-11 ALL WATER SYSTEMS SHALL MEET THE REQUIREMENTS OF ANS/NSF STANDARD 61 SECTION 9 (1998), CONCERNING METAL CONTAMINANTS IN THE WATER SYSTEM.

G-12 WATER PIPING SHALL NOT BE ROUTED IN OUTSIDE WALLS OR ON EXTERIOR SIDE OF BUILDING INSULATION ENVELOPE.

G-13 WATER HAMMER ARRESTORS SHALL BE INSTALLED IN ALL WATER LINES WITH QUICK OPEN OR QUICK CLOSE VALVES.

WATER HAMMER ARRESTOR SCHEDULE:

TYPE A 1-11 FIXTURE UNITS
 TYPE B 12-32 FIXTURE UNITS
 TYPE C 33-60 FIXTURE UNITS
 TYPE D 61-113 FIXTURE UNITS

Seal



Revisions:
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GLENDENNING HOME REMODEL
 DEPARTMENT OF COMMUNITY AND CULTURE
 H STREET SOUTH TEMPLE
 SALT LAKE CITY, UTAH
 DFCM PROJECT NO: 07216080

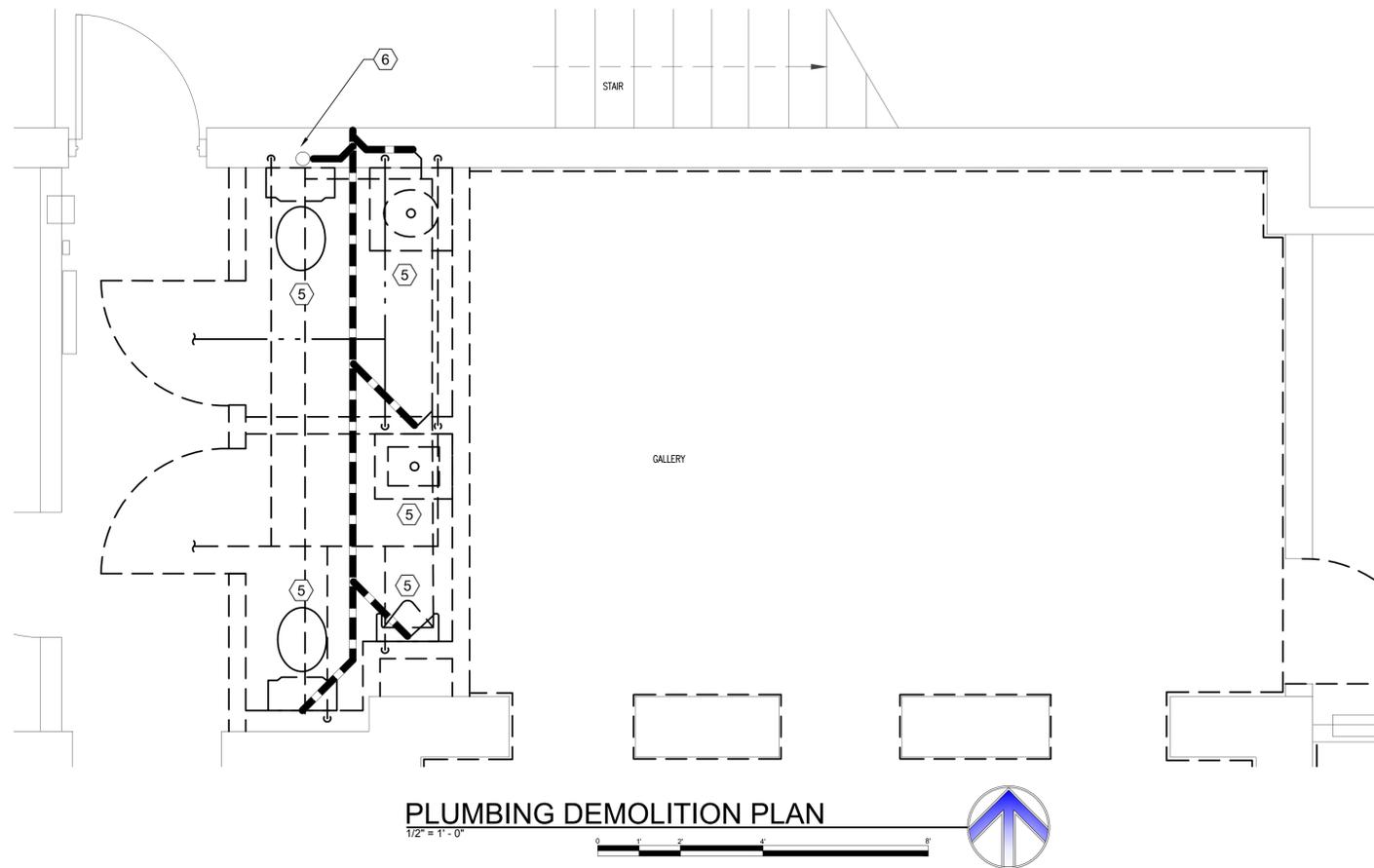
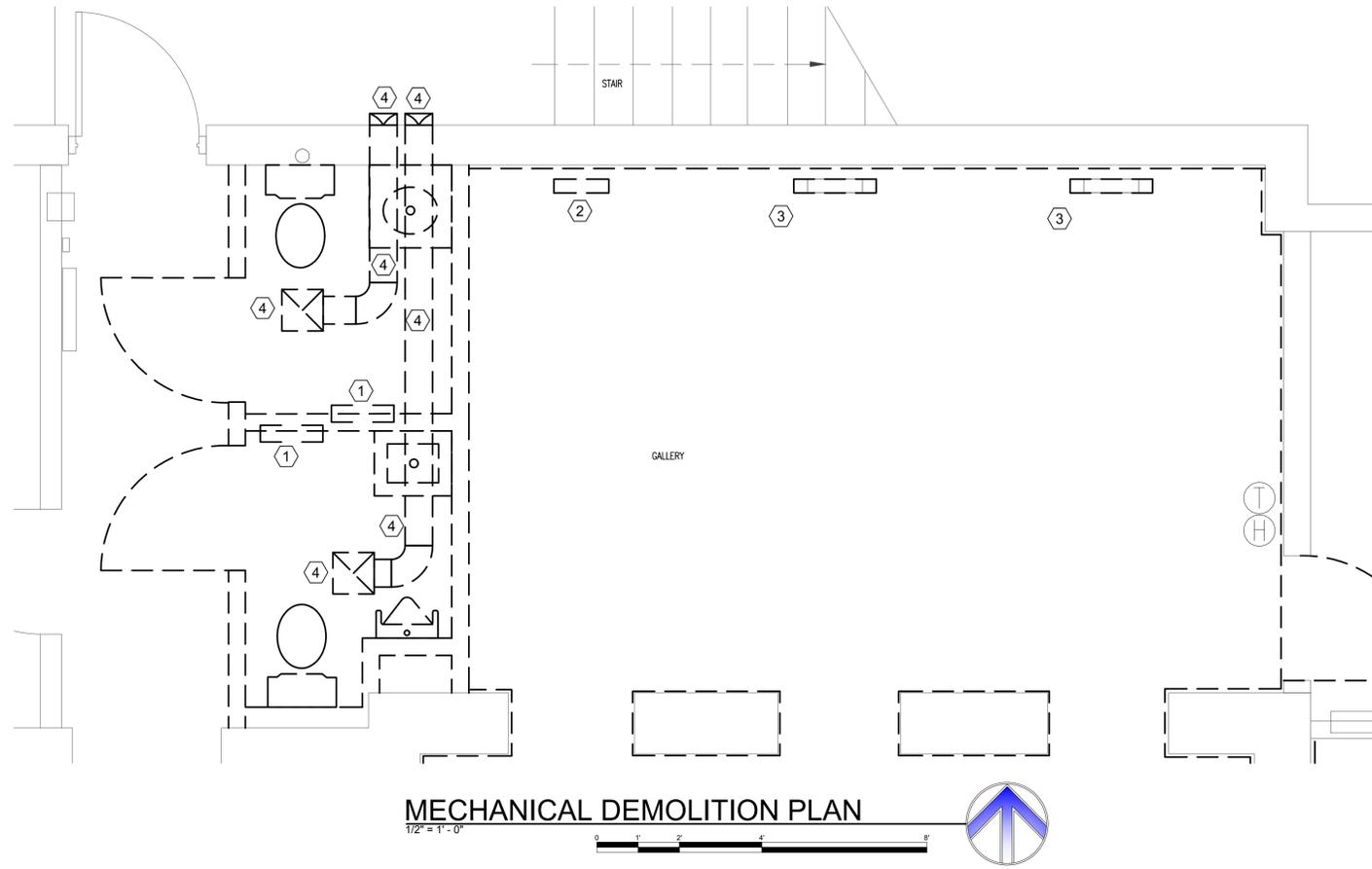


WHW
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Date: 5/26/10
 Drawn: RB
 Checked: WP

Mechanical & Plumbing
 Schedules & Details

MG001

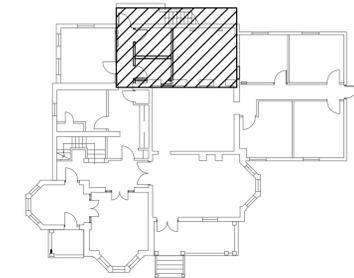


SHEET NOTES:

- ① REMOVE EXISTING UNIT HEATER. COORDINATE WITH ELECTRICAL.
- ② CAP DUCT OPENING AND SEAL WATER TIGHT.
- ③ COORDINATE WITH GC TO SAW CUT EXISTING GRILLE OPENING TO FIT NEW GRILLE. TIE INTO DUCTWORK BELOW. COORDINATE SIZE OF OPENING WITH DIFFUSER SCHEDULE.
- ④ REMOVE EXISTING EXHAUST GRILLE, EXHAUST FAN, ASSOCIATED DUCTWORK, ETC. COORDINATE WITH GC TO PATCH AND REPAIR EXTERIOR WALL TO MATCH EXISTING.
- ⑤ REMOVE EXISTING PLUMBING FIXTURE AND ASSOCIATED WATER & VENT PIPING BACK TO MAIN AND CAP. ABANDONED WASTE PIPING TO BE MADE INTO WALL CLEAN OUT. COORDINATE WALL CLEAN OUT LOCATIONS WITH ARCHITECT. FIELD VERIFY EXACT LOCATIONS AND CONDITIONS OF PIPING.
- ⑥ EXISTING 4" VENT THROUGH ROOF TO REMAIN.

GENERAL NOTES:

- 1. AS BUILTS NOT AVAILABLE. ALL PIPING & DUCTWORK SHOWN IS APPROXIMATE. FIELD VERIFY DURING CONSTRUCTION.



Seal



Revisions:
No. Date Description



**GLENDENNING HOME REMODEL
 DEPARTMENT OF COMMUNITY AND CULTURE
 H STREET SOUTH TEMPLE
 SALT LAKE CITY, UTAH
 DFCM PROJECT NO: 07216080**

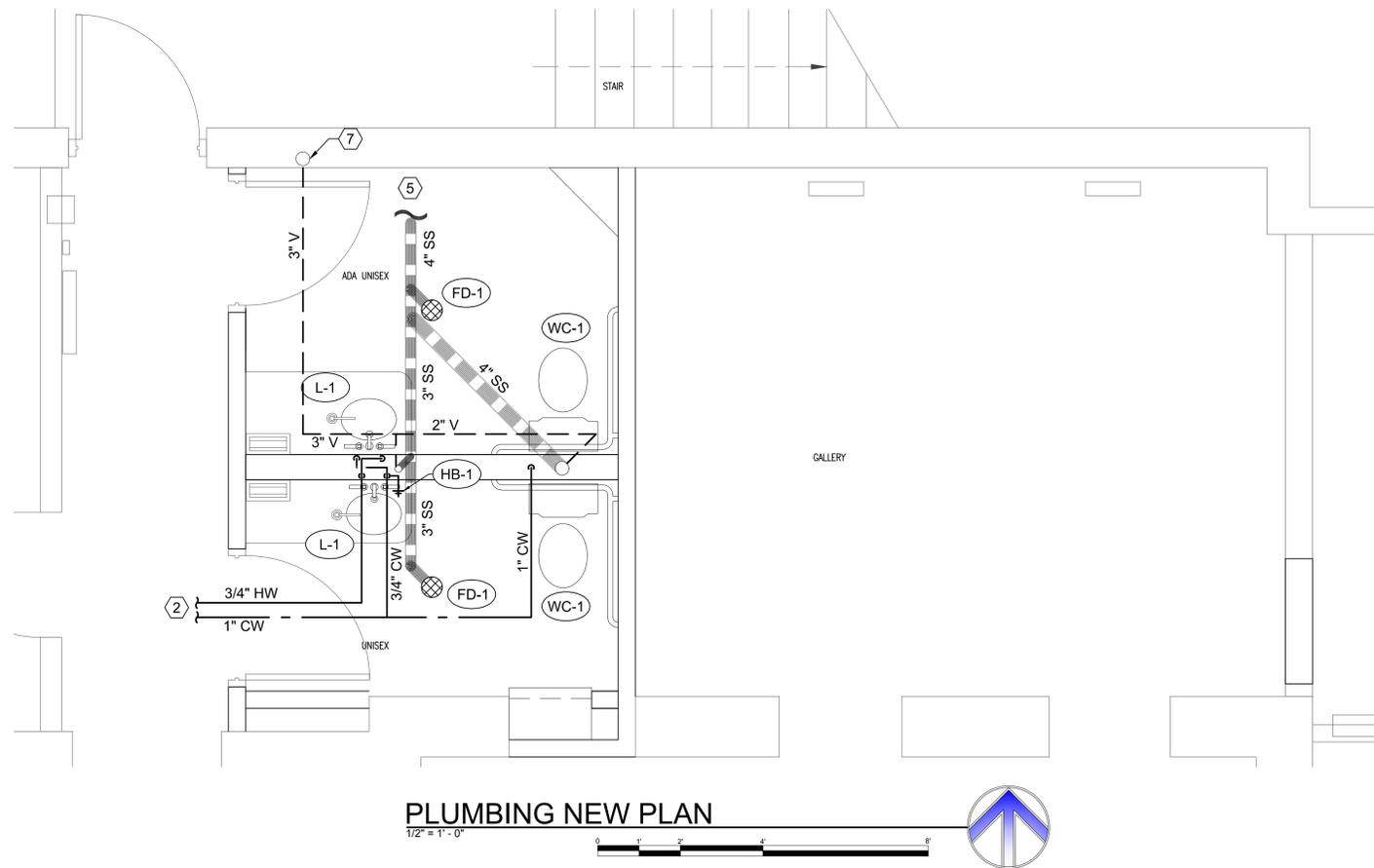
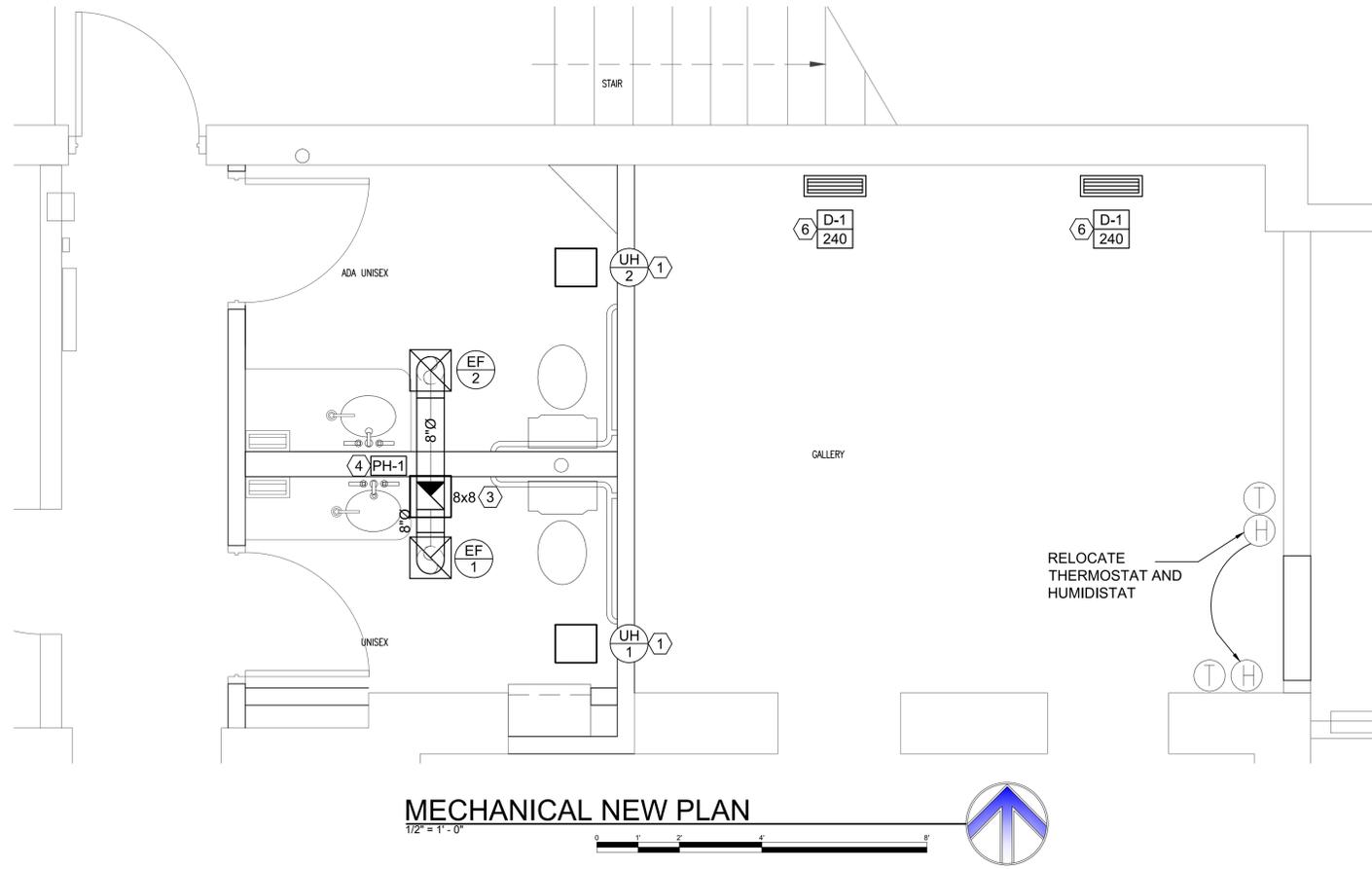


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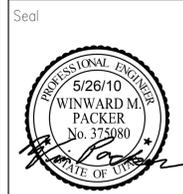
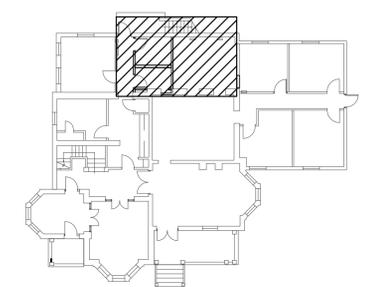
Mechanical & Plumbing
 Demolition Plan

MD101



- SHEET NOTES:**
- ① INSTALL UNIT HEATER IN THE CEILING. MAINTAIN 6" FROM WALL.
 - ② TIE INTO EXISTING WATER LINES OF EQUAL OR GREATER SIZE. FIELD VERIFY EXACT LOCATION AND SIZES PRIOR TO ORDERING.
 - ③ 8" x 8" EXHAUST DUCT UP TO PENTHOUSE (PH-1) ON ROOF.
 - ④ INSTALL PENTHOUSE ON ROOF. SEE DETAIL.
 - ⑤ CONNECT 4" SANITARY SEWER LINE TO EXISTING SEWER LINE OF 4" OR BIGGER. FIELD VERIFY EXACT LOCATION, DIRECTION OF FLOW, SIZE, ETC. OF EXISTING SEWER LINE.
 - ⑥ COORDINATE WITH GC TO SAW CUT EXISTING GRILLE OPENING TO FIT NEW GRILLE. TIE INTO DUCTWORK BELOW. COORDINATE SIZE OF OPENING WITH DIFFUSER SCHEDULE.
 - ⑦ CONNECT NEW 3" VENT LINE TO EXISTING 4" VENT THROUGH ROOF.

- GENERAL NOTES:**
1. AS BUILTS NOT AVAILABLE. ALL PIPING & DUCTWORK SHOWN IS APPROXIMATE. FIELD VERIFY DURING CONSTRUCTION.



Revisions:

No.	Date	Description



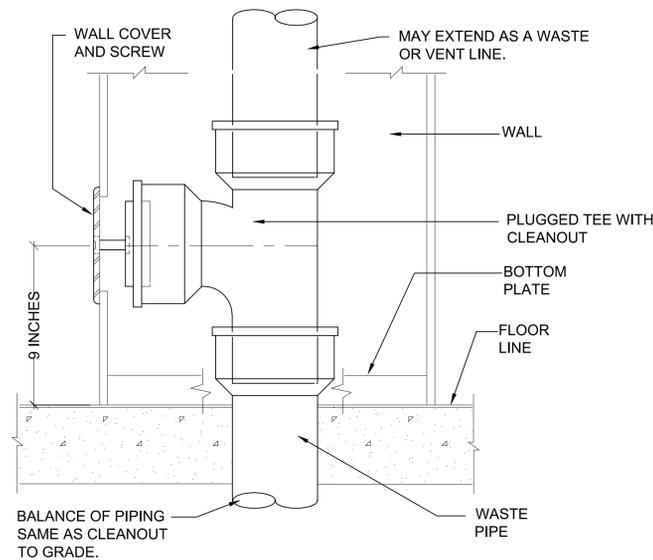
GLENDENNING HOME REMODEL
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 H STREET SOUTH TEMPLE
 SALT LAKE CITY, UTAH
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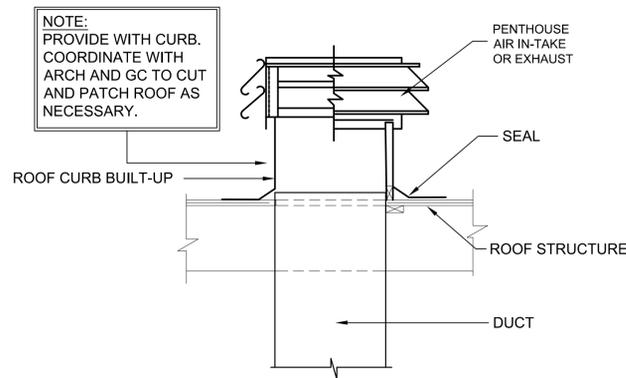


Mechanical & Plumbing
 New Plan

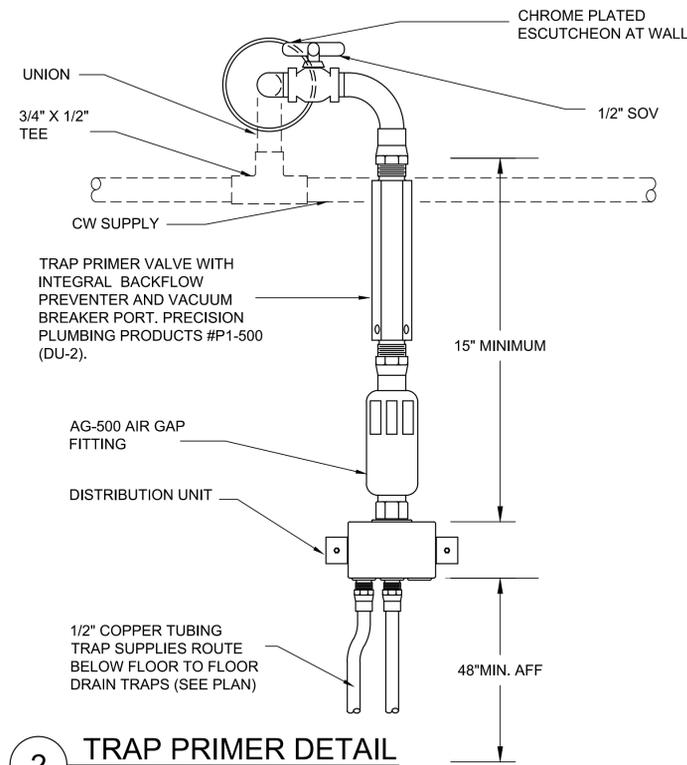
ME101



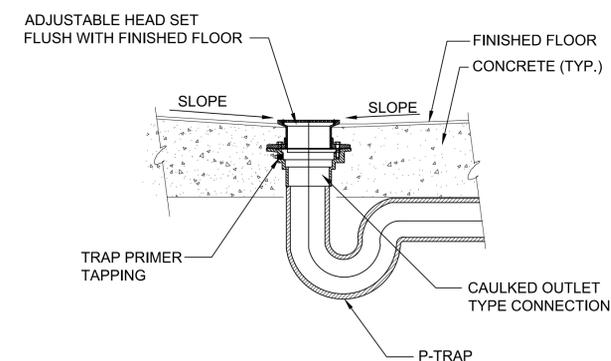
4 WALL CLEAN-OUT DETAIL
SCALE: NONE



1 PENTHOUSE DETAIL
SCALE: NONE



2 TRAP PRIMER DETAIL
SCALE: NONE



3 FLOOR DRAIN DETAIL
SCALE: NONE

EXHAUST FAN SCHEDULE

SYMBOL	MANUFACTURER & MODEL No.	SERVES	C.F.M.	STATIC PRESSURE IN. WG.	MAX NOISE SONES	MOTOR			OPER. WT. (LBS.)	SCHEDULE NOTES
						V - Ø - Hz	WATTS	RPM		
EF 1	COOK GC-144	UNISEX RESTROOM	100	.25	3	120/1/60	77	1100	20	1,2
EF 2	COOK GC-320	ADA RESTROOM	150	.25	3.6	120/1/60	56	1365	30	1,2

1. INTERLOCK WITH OCCUPANCY SENSOR AND RUN FANS AN ADDITION 10 MINUTES AFTER OCCUPANT EXITS.
2. PROVIDE WITH INTEGRAL BACKDRAFT DAMPER.

ELECTRIC UNIT HEATER SCHEDULE

SYMBOL	MANUFACTURER AND MODEL NO.	ELECTRICAL			WEIGHT (LBS)	COMMENTS
		SERVICE	WATTS	AMPS		
UH 1	QMARK CRA1512-IF	120/1/60	375	3.1	10	COMPLETE WITH THERMOSTAT CONTROL
UH 2	QMARK CRA1512-IF	120/1/60	750	6.3	10	COMPLETE WITH THERMOSTAT CONTROL

DIFFUSER SCHEDULE

SYMBOL	TYPE	MAX CFM	FACE SIZE	NECK SIZE	BLOW	PATTERN	SCHEDULE NOTES
D-1 CFM	FLOOR MOUNTED	240	24x4	24x4	1-WAY	⬆	1,2,3,4

1. MAXIMUM NC 25 AT CFM LISTED.
2. PROVIDE TRANSITION TO DIFFUSER NECK SIZE AS REQUIRED TO DUCT WORK SHOWN ON PLAN.
3. DIFFUSER SHALL BE PRICE MODEL LPB 15B OR EQUAL BY APPROVED MANUFACTURER IN SPECIFICATIONS.
4. FINISH SHALL BE ALUMINUM.

PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURE	INDIVIDUAL LINE SIZES					REMARKS
		TRAP	WASTE	VENT	COLD WATER	HOT WATER	
FD-1	FLOOR DRAIN	3"	3"	2"	-	-	PROVIDE WITH TRAP PRIMER
HB-1	HOSE BIBB	-	-	-	3/4"	-	PROVIDE WITH KEYED HANDLE.
L-1	LAVATORY	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"	UNDER COUNTER MOUNT. CRANE PETITE TIARA 17"x14" OVAL WITH FRONT OVERFLOW HOLE, OR EQUAL IN SPECS. FAUCET MOEN ROTHBURY WITH OIL RUBBED BRONZE FINISH OR EQUAL IN SPECS. PROVIDE WITH THERMOSTATIC AND PRESSURE MIXING VALVE.
WC-1	WATER CLOSET	INT	4"	2"	1"	-	FLOOR MOUNTED, FLUSH TANK. KOHLER K-3451 OR EQUAL IN SPECS.
WC-2	WATER CLOSET	INT	4"	2"	1"	-	FLOOR MOUNTED, FLUSH TANK, ADA COMPLIANT. KOHLER K-3451 OR EQUAL IN SPECS.

REGISTER, LOUVER & GRILLE SCHEDULE

SYMBOL	TYPE	SERVICE	MAX CFM	NOMINAL SIZE	THROAT SIZE	COMMENTS	SCHEDULE NOTES
PH-1	ROOF MOUNTED	EXHAUST	300	12"x12"x10" (2 TIERS HIGH)	12"x12"	RUSKIN PH811	1,2,3,4

REGISTER, LOUVER AND DIFFUSER SCHEDULE NOTES:

1. MAXIMUM NC = 25 @ MAXIMUM CFM NOTED.
2. SEE SPECIFICATIONS FOR APPROVED MANUFACTURERS.
3. KYNAR FINISH WITH COLOR SELECTED BY ARCH.
4. PROVIDE ALUMINUM BIRD SCREENS.



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Revisions:
No. Date Description



GLENNING HOME REMODEL
DEPARTMENT OF COMMUNITY AND CULTURE
H STREET SOUTH TEMPLE
SALT LAKE CITY, UTAH
DFCM PROJECT NO: 07216080

Date: 5/26/10
Drawn: RB
Checked: WP

Mechanical & Plumbing
Schedules & Details

ME601

B:\rroom: May 26, 2010 - 10:31am
 H:\2010\Glendinning Mansion Restroom Remodel 10017\Cad\E-0.dwg

LUMINAIRE SCHEDULE			
TYPE	DESCRIPTION	LAMP(S) AND BALLASTS	MANUFACTURER(S)
A	DESCRIPTION: WALL MOUNTED SCONCE SIZE: 4.5 IN ROUND BASE; 5.4 IN FROM WALL; 13.2 IN TALL HOUSING: CAST METAL BASE WITH BLOWN GLASS CYLINDER FINISH: ANTIQUE BRONZE CYLINDER: WHITE FRIT BLOWN GLASS OTHER: DAMP LOCATION	(1) 18W 2G11 BASE	WILMETTE LIGHTING 600LNDW-W-Z-CF OR PRE-APPROVED EQUAL
B	DESCRIPTION: CEILING MOUNTED GLASS DOME SIZE: 12 IN DIAMETER DOME; 9.8 IN FROM CEILING WITH BASE HOUSING: CAST METAL BASE WITH DOME SHAPED GLASS SHADE FINISH: ANTIQUE BRONZE DOME GLASS: WHITE SCHOOLHOUSE GLASS OTHER: DAMP LOCATION	(1) 32W GX24Q-3 BASE	WILMETTE LIGHTING 600MNRG-W-Z-CF OR PRE-APPROVED EQUAL
C	DESCRIPTION: CEILING MOUNTED HISTORICAL GLASS PENDANT SIZE: 14.4 IN TALL; 13.4 IN DIAMETER; 24" SUSPENSION TOP TO BOTTOM HOUSING: CAST METAL BASE WITH VINTAGE PRISMATIC GLASS FINISH: ANTIQUE BRONZE LENS: PRISMATIC GLASS - FROST OTHER: DAMP LOCATION	(1) 32W GX24Q-3 BASE	WILMETTE LIGHTING 600PMNS-24-F-Z-CF OR PRE-APPROVED EQUAL
D	DESCRIPTION: GALLERY SYSTEM ART DISPLAY WITH LIGHTING OPTION TRACK: WHITE COATED ALUMINUM, COMPLETE WITH CORNERS AND END CAPS. HANGERS: STAINLESS STEEL CABLE X 2 M (6.5 FT) 10 PACK (QUANTITY 6) HOOKS: PUSH BUTTON - 10 PACK, (QUANTITY TO MATCH NUMBER OF HANGERS.) LIGHTING OPTION: PROVIDE (20) LIGHTING COMPLETE LIGHTING SYSTEMS PER SYSTEM INCLUDING LIGHT WAND, POWER CABLE, JUNCTION BOX AND LED LAMPS	MR-16 LED	GALLERY SYSTEM ART DISPLAYS http://www.gallerysystem.com 1-800-460-8703 OR PRE-APPROVED EQUAL

MECHANICAL EQUIPMENT LIST									
DESCRIPTION	V	PH	HP	WATTS	AMPS	DISCONNECT			REMARKS
						SIZE	FUSED	STARTER	
EF-1 EXHAUST FAN	120	1		77 W	0.70	THERMAL SWITCH		DIV 15	1.
EF-2 EXHAUST FAN	120	1		56 W	0.50	THERMAL SWITCH		DIV 15	1.
UH-1 UNIT HEATER	120	1		375 W	3.10	THERMAL SWITCH		DIV 15	
UH-2 UNIT HEATER	120	1		750 W	6.30	THERMAL SWITCH		DIV 15	
1. CONTROL IS TO INTERCONNECT WITH THE ROOM OCCUPANCY SENSOR.									

- ### SYMBOL LIST
-  SURFACE/PENDANT LIGHT FIXTURE
 -  WALL MOUNTED SCONCE LIGHT FIXTURE
 -  SURFACE FLUORESCENT LIGHT FIXTURE
 -  WALL MOUNTED FLUORESCENT LIGHT FIXTURE
 -  WALL MOUNTED EXIT LIGHT
 -  EMERGENCY BATTERY LIGHT FIXTURE
 -  SINGLE POLE SWITCH
 -  DUPLEX RECEPTACLE
 -  DUPLEX RECEPTACLE ABOVE COUNTER
 -  DUPLEX RECEPTACLE, FLUSH CEILING
 -  SPECIAL OUTLET TO MATCH EQUIPMENT PLUG
 -  JUNCTION BOX
 -  SURFACE EQUIPMENT CABINET AS NOTED
 -  RECESSED EQUIPMENT CABINET AS NOTED
 -  SURFACE ELECTRICAL PANELBOARD
 -  RECESSED ELECTRICAL PANELBOARD
 -  MANUAL STARTER
 -  MOTOR CONNECTION
 -  FIRE ALARM MANUAL PULL STATION
 -  PHOTO ELECTRIC SMOKE DETECTOR
 -  HEAT DETECTOR
 -  DRAWING NOTE DESIGNATION
 -  LIGHT FIXTURE DESIGNATION
 -  MECHANICAL EQUIPMENT DESIGNATION

- ### ABBREVIATIONS
- AFF ABOVE FINISHED FLOOR
 - BG BELOW GRADE
 - CKT CIRCUIT
 - EM EMERGENCY
 - (E) EXISTING
 - (F) FUTURE
 - GFI GROUND FAULT INTERRUPTER
 - GFP GROUND FAULT PROTECTOR
 - GRD GROUND
 - IG ISOLATED GROUND
 - LTG LIGHTING
 - MCB MAIN CIRCUIT BREAKER
 - MCC MOTOR CONTROL CENTER
 - (N) NEW
 - NTS NOT TO SCALE
 - PNL PANEL
 - TYP TYPICAL
 - TVSS TRANSIENT VOLTAGE SURGE SUPPRESSOR
 - UNO UNLESS NOTED OTHERWISE
 - WG WIRE GUARD
 - WP WEATHER PROOF



Revisions:	No.	Date	Description

THALMANN ARCHITECT

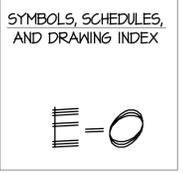
2 PEPPERWOOD POINTE
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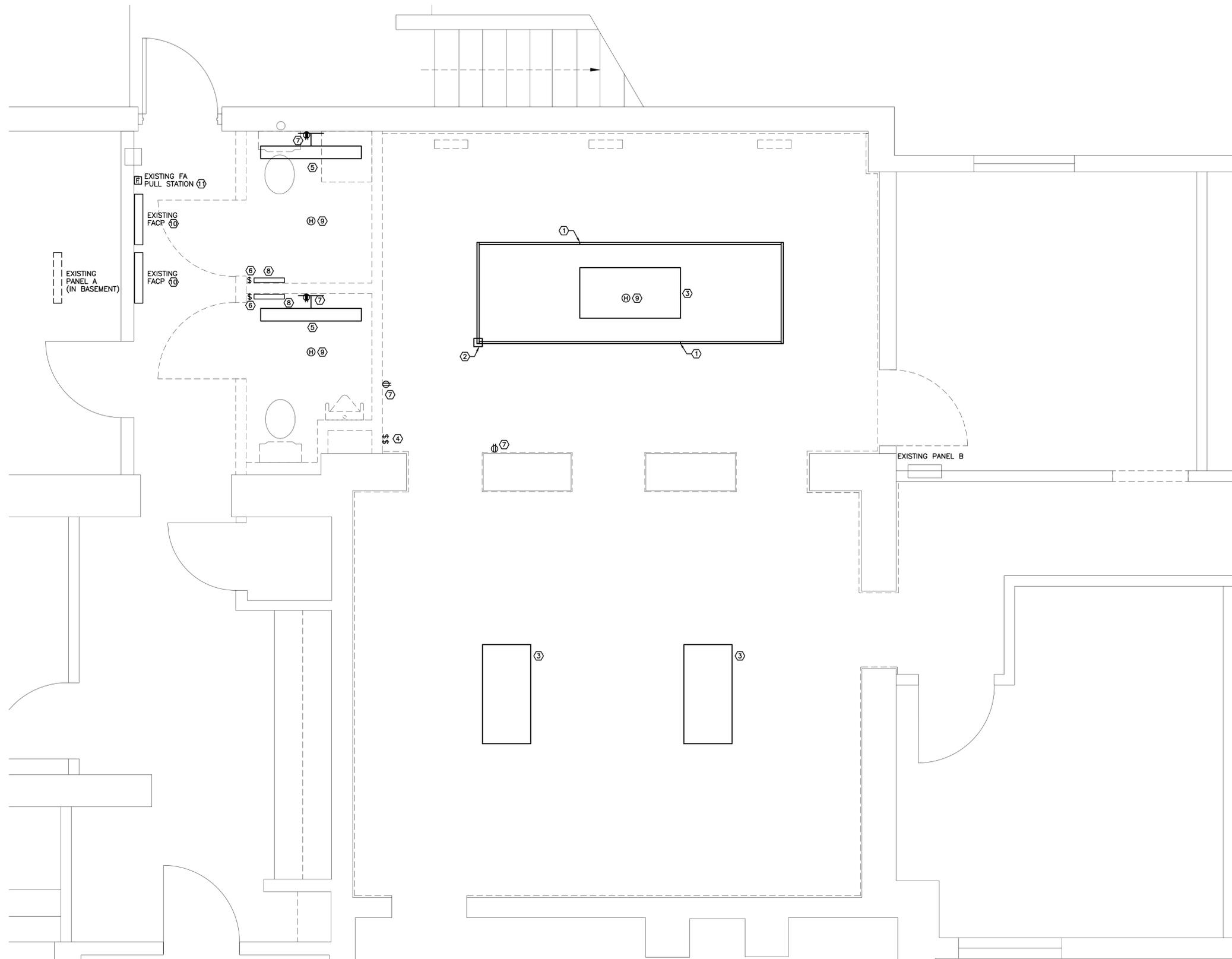
**GLENDEENING HOME REMODEL
 DEPARTMENT OF COMMUNITY AND CULTURE
 H STREET SOUTH TEMPLE
 SALT LAKE CITY, UTAH
 DFCM PROJECT NO: 071216080**

DRAWING INDEX	
E-0	SYMBOLS, SCHEDULES, AND DRAWING INDEX
E-1	ELECTRICAL DEMOLITION PLAN
E-2	ELECTRICAL LIGHTING PLAN
E-3	ELECTRICAL POWER PLAN

Date: 5/26/10
 Drawn: KGE
 Checked: PL

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1
E-1
ELECTRICAL DEMOLITION PLAN
SCALE: 1/2" = 1'-0"

KEYED NOTES - SHEET E-1

1. REMOVE AND RETAIN TRACK LIGHTING FOR RE-INSTALLATION. REINSTALL TRACK AFTER CEILING HAS BEEN PAINTED. SEE SHEET E-2 FOR NEW CONFIGURATION.
2. TRACK LIGHTING POWER SUPPLY. POWER SUPPLY WILL HAVE TO BE MOVED TO ACCOMMODATE THE NEW WALL. SEE SHEET E2 FOR NEW LOCATION.
3. REMOVE SURFACE 2X4 FIXTURE AND RETURN TO OWNER. OWNER MAY CHOOSE TO SALVAGE OR DISPOSE OF THE FIXTURE.
4. DEMOLISH EXISTING LIGHTING SWITCH LOCATION. PULL WIRE UP TO CEILING SPACE FOR RE-USE. SEE SHEET E-2 FOR NEW LIGHT SWITCH LOCATION.
5. DEMOLISH EXISTING LIGHTING FIXTURE. MAINTAIN CIRCUIT FOR RE-USE.
6. DEMOLISH EXISTING LIGHTING SWITCH.
7. DEMOLISH EXISTING RECEPTACLE, MAINTAIN CIRCUIT FOR RE-USE.
8. REMOVE CIRCUIT TO THE HEATER UNIT. MAINTAIN CIRCUIT FOR RE-USE.
9. DEMOLISH EXISTING HEAT DETECTOR.
10. EXISTING FIRE ALARM CONTROL PANEL IS TO REMAIN. FIRE ALARM CONTROL PANEL IS TO REMAIN ACTIVE THROUGHOUT THE ENTIRE REMODEL PROCESS.
11. EXISTING FIRE ALARM PULL STATION TO REMAIN.

GENERAL NOTES - SHEET E-1

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, MATERIALS, FINISHES, AND DIMENSIONS BEFORE AND AFTER DEMOLITION.
- B. CONTRACTOR TO ENSURE THAT ALL CORRIDORS OUTSIDE OF CONSTRUCTION AREA ARE KEPT CLEAN AND CLEAR OF DEBRIS AND OBSTRUCTIONS AT ALL TIMES.
- C. PROTECT ALL ITEMS TO REMAIN FROM DAMAGE.
- D. ANY DAMAGE TO ELECTRICAL ITEMS THAT IS NOT REPORTED WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE. IF ANY DAMAGED ELECTRICAL ITEMS ARE FOUND, DOCUMENT AND REPORT THE DAMAGE TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.



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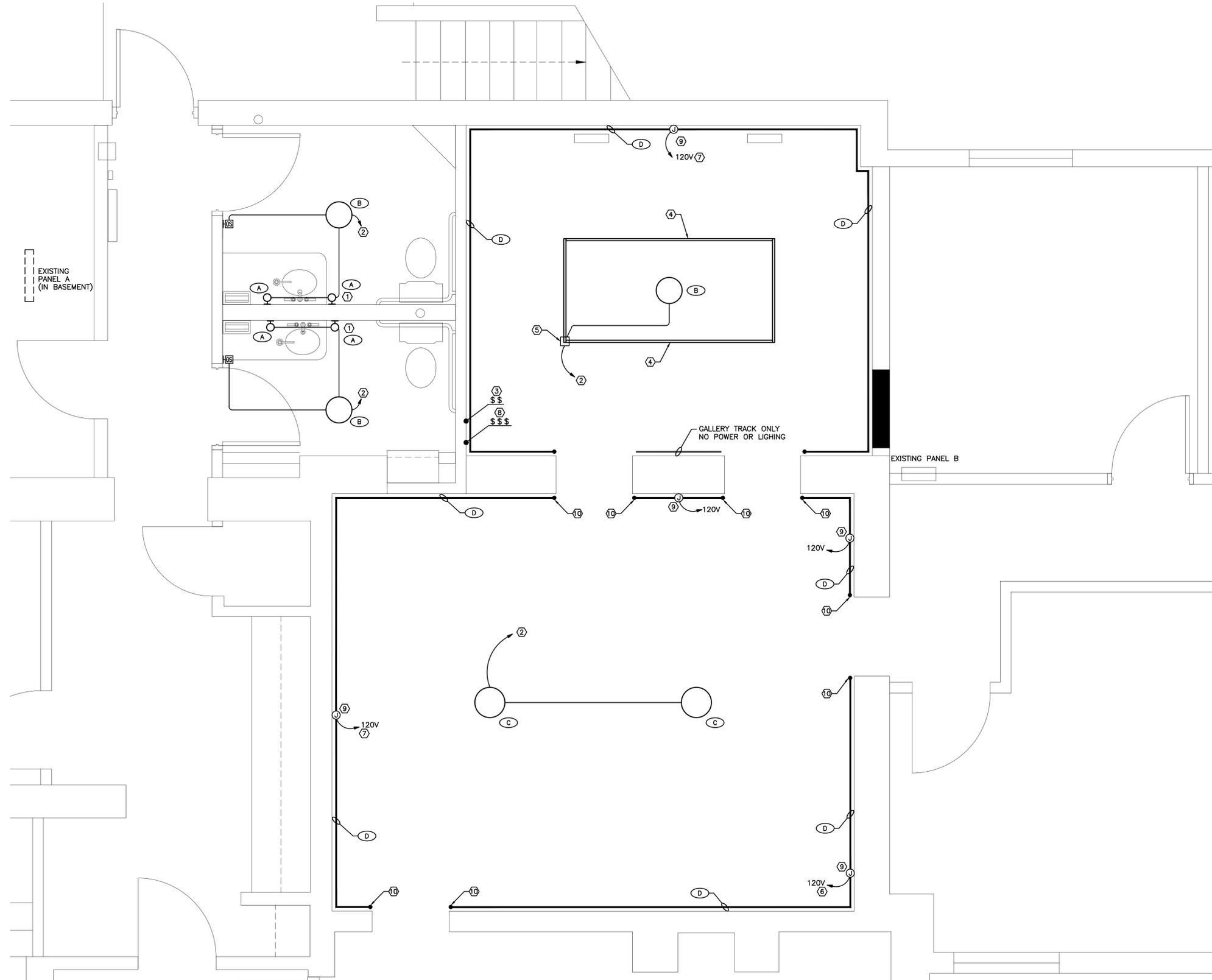
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ELECTRICAL DEMOLITION PLAN

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By: rromm; May 26, 2010 - 10:43am
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1
 E-2 **ELECTRICAL LIGHTING PLAN**
 SCALE: 1/2" = 1'-0"

KEYED NOTES - SHEET E-2

1. FOR MOUNTING HEIGHT OF TYPE A FIXTURE, REFER TO ARCHITECTURAL INTERIOR ELEVATIONS.
2. USE EXISTING 120V LIGHTING CIRCUIT.
3. NEW LIGHTING SWITCH LOCATION. ONE SWITCH CONTROLS THE TRACK, THE SECOND SWITCH CONTROLS TYPE C.
4. INSTALL THE EXISTING TRACK, MINUS THE (2) SHORT SECTIONS. INSTALL SO THAT THE TRACK IS CENTERED IN THE ROOM. FIXTURE TYPE B IS TO BE CENTERED IN THE TRACK.
5. NEW LOCATION FOR THE TRACK POWER FEED.
6. TO SPARE 120V 20A/1P BREAKER IN PANEL B.
7. TO SPARE 120V 20A/1P BREAKER IN PANEL A. PANEL A IS LOCATED IN THE BASEMENT AND IS ACCESSED FROM THE EXTERIOR DOOR ON THE WEST SIDE.
8. NEW SWITCHES FOR THE GALLERY LIGHTING SYSTEMS
9. GALLERY SYSTEM TRACK IS TO BE INSTALLED ACCORDING TO THE ARCHITECTURAL ELEVATIONS. REFER TO ARCHITECTURAL PLANS.
10. END OF GALLERY SYSTEM TRACK.

GENERAL NOTES - SHEET E-2

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, MATERIALS, FINISHES, AND DIMENSIONS BEFORE AND AFTER DEMOLITION
- B. CONTRACTOR TO ENSURE THAT ALL CORRIDORS OUTSIDE OF CONSTRUCTION AREA ARE KEPT CLEAN AND CLEAR OF DEBRIS AND OBSTRUCTIONS AT ALL TIMES.
- C. PROTECT ALL ITEMS TO REMAIN FROM DAMAGE.
- D. ANY DAMAGE TO ELECTRICAL ITEMS THAT IS NOT REPORTED WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE. IF ANY DAMAGED ELECTRICAL ITEMS ARE FOUND, DOCUMENT AND REPORT THE DAMAGE TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.



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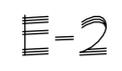


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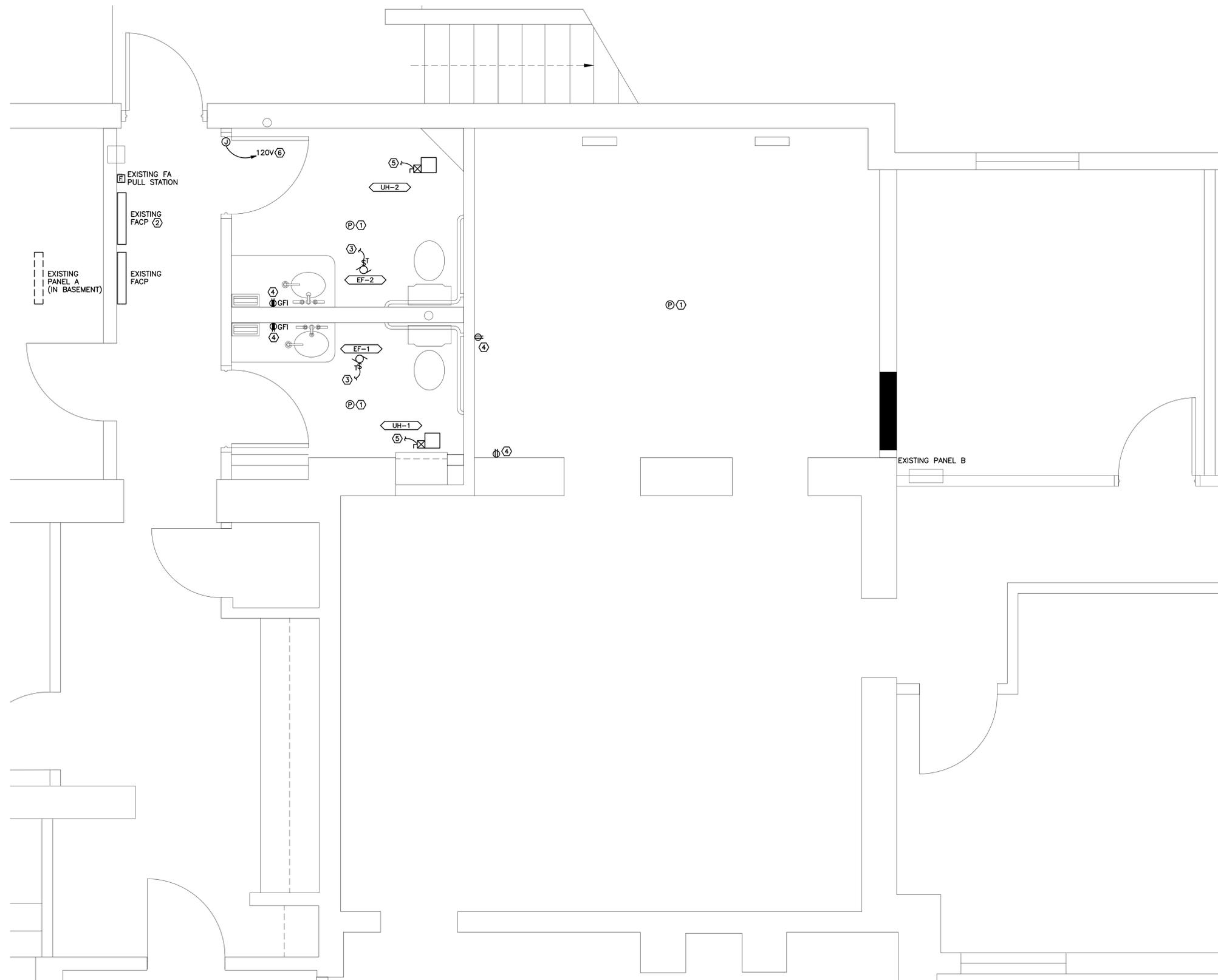
Date: 5/26/10
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ELECTRICAL LIGHTING PLAN

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By: rromm; May 26, 2010 - 10:44am
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1 **ELECTRICAL POWER PLAN**
 E-3 SCALE: 1/2" = 1'-0"

KEYED NOTES - SHEET E-3

1. NEW FIRE ALARM SMOKE DETECTOR. TIE TO EXISTING FIRE ALARM LOOP.
2. EXISTING FACP IS SILENT KNIGHT MODEL SK-5208.
3. USE SAME CIRCUITS AS THE LIGHTING. EXHAUST FANS ARE TO BE CONTROLLED WITH THE LIGHTING. SET OCCUPANCY SENSORS TO MAINTAIN ON FOR 20 MINUTES AFTER THE RESTROOM IS VACANT.
4. USE EXISTING RECEPTACLE CIRCUIT.
5. USE EXISTING UNIT HEATER CIRCUIT.
6. PROVIDE A 120V CIRCUIT FOR THE POWER ASSIST DOOR HARDWARE. COORDINATE WITH THE DOOR INSTALLER FOR JUNCTION BOX LOCATION. ELECTRICAL CONTRACTOR TO MAKE FINAL ELECTRICAL CONNECTIONS TO THE CONTROLLER AND THE PUSH BUTTON CONTROLLERS. ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT, WIRE AND J-BOX TO PUSH BUTTON LOCATIONS, COORDINATE LOCATION WITH DOOR INSTALLER.

GENERAL NOTES - SHEET E-3

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, MATERIALS, FINISHES, AND DIMENSIONS BEFORE AND AFTER DEMOLITION
- B. CONTRACTOR TO ENSURE THAT ALL CORRIDORS OUTSIDE OF CONSTRUCTION AREA ARE KEPT CLEAN AND CLEAR OF DEBRIS AND OBSTRUCTIONS AT ALL TIMES.
- C. PROTECT ALL ITEMS TO REMAIN FROM DAMAGE.
- D. ANY DAMAGE TO ELECTRICAL ITEMS THAT IS NOT REPORTED WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE. IF ANY DAMAGED ELECTRICAL ITEMS ARE FOUND, DOCUMENT AND REPORT THE DAMAGE TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.



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E-3