



State of Utah

JON M. HUNTSMAN, JR.
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Lieutenant Governor

Department of Administrative Services

KIMBERLY K. HOOD
Executive Director

Division of Facilities Construction and Management

DAVID G. BUXTON
Director

ADDENDUM NO. 1

Date: January 15, 2009

To: Contractors

From: Brian Bales, Project Manager, DFCM

Reference: Partial Remodel – Administration Building 002
Redwood Road Campus – Salt Lake Community College
DFCM Project No. 07324660

Subject: **Addendum No. 1**

Pages	Addendum Cover Sheet	1 page
	<u>Architect's Addendum</u>	<u>13 pages</u>
	Total	14 pages

Note: *This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to Disqualification.*

While we contend that SB220 should only be potentially applicable to a contract issued after the effective date of said bill, this is to clarify that for purposes of this contract, regardless of the execution or effective dates of this contract, the status of Utah Law and remedies available to the State of Utah and DFCM, as it relates to any matter referred to or affected by said SB220, shall be the Utah law in effect at the time of the issuance of this Addendum.

1.1 **SCHEDULE CHANGES:** No Project Schedule changes.

1.2 **GENERAL ITEMS:** Architect's Addendum includes project requirements and electrical and mechanical specifications/drawings/clarifications.

ADDENDUM #1

SLCC Remodel Administration Building Project # 07324660 SPECIFIC DFCM PROJECT REQUIREMENTS

1. **Scope**

The contractor shall study the project plans and specifications prior to bid to fully understand the scope of work. Prior to bid, it is the contractor's responsibility to understand the details and scope of any subcontracted work and the costs associated with the performance of work by subcontractors.

2. **Risk**

The contractor shall identify risks for the project.

3. **General Conditions**

Prior to bidding this project, the contractor shall review the DFCM General Conditions paying special attention to the following articles.

- a. 4.1.5 Intent and hierarchy
- b. 4.2.2 Responsibility
- c. 6 Protection of persons and property

4. **Demolition**

The contractor is solely responsible to determine the means and methods for demolition. Adequate safety for personnel and property shall be provided. If required, temporary shoring, bracing and protection shall be provided. Due to the scale of the drawings, it is impossible to show the impact of every demolished surface on surrounding surfaces and structures. It is the contractor's responsibility to identify the extent and cost of repair work for surfaces that adjoin and are indicated to remain in place. Those costs shall be included in the contractors bid. When existing ceilings are removed, the contractor shall be responsible to resupport the following listed items that may be left unsupported due to the ceiling removal. Supporting means shall be in compliance with building codes.

- a. All mechanical and electrical piping 2" and smaller.
- b. All ductwork 10" and smaller.
- c. All electrical cables and wiring that is free strung.

5. **Or Equal Products**

When the project has been designed with a specified manufacturers products and "or equal" products are allowed, all or equal products shall be equivalent in performance, color and physical characteristics. Products that do not meet these criteria will be considered to be a lower quality or lower cost product and will not be considered. It is the contractor's responsibility to insure prior to bid that all "or equal" products meet the stated criteria and specific project requirements. This includes products supplied by subcontractors.

SPECIFIC DFCM PROJECT REQUIREMENTS

Page No. 2

6. **ADA Accessibility**

For remodel and improvement projects in existing buildings, providing correct ADA compliance is a coordinated effort between the architect and the contractor. During the construction phase, the contractor shall coordinate closely with all trades so as to meet the requirements of the drawings and specifications. The contractor shall insure that all ADA required dimensions are maintained after the final finishes are applied. The contractor shall closely monitor the toilet stub ups and tile wall build up thickness. The contractor shall use the designed float or bust allowances to maintain the correct ADA requirements. Where the plans do not provide enough float or bust allowance, it shall be brought to the attention of the A/E before proceeding with ADA aspects of the project.

7. The final bid set of plans and specifications were provided at the pre-bid meeting. It is the contractor's responsibility to insure that the bid is based on the plans and specifications provided at the pre-bid. All contractors have acknowledged receipt of the final bid plans at the mandatory pre-bid meeting.

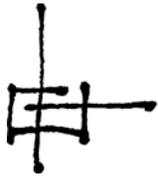
8. **Sky Door**

DFCM will provide engineering for support of the sky door. The engineering will be based on the contractor's selected manufacturer for the sky door. The contractor shall include an allowance of \$7,500.00 for the supporting structure for the sky door. At this time it is anticipated that the support will be compromised of 2 steel tube columns and a horizontal steel channel. The columns will be placed on 2 cast in place footings. The details shown on the plans and installation of the door should be included as indicated in the plans and specifications. Those costs are not included in this allowance

9. The contractor is cautioned that the sidewalks have a limited load bearing capability. The contractor shall not drive heavy equipment on the sidewalks. Damage to the sidewalks or landscaping shall be repaired by the contractor at no cost to the owner.

10. The contractor shall coordinate activities that create loud abrupt noise with the college. Those activities shall be scheduled to minimize disturbance to the occupants. Generally speaking it is expected that those activities shall be conducted before 8 am or after 5 pm. Examples of those activities are jack hammers, shot pin tools, saw cutting and hammer drilling.

11. Asbestos removal will be performed by DFCM prior to the contractor's work and in phases. Project schedule will be modified to allow for the asbestos abatement.



ajc architects

addendum

1

Partial Remodel - Administration Building 002
Redwood Road Campus, Salt Lake Community College

ajc architects project #: 0782

DFCM project #: 07324660

date: January 15, 2009

addendum
attachments: Mechanical Addendum No. 1, Electrical Addendum #01.

The bidders on the above captioned project shall be governed by the following changes, additions, and/or deletions in the Drawings and Specifications. This Addendum shall be included as part of the Contract Documents.

1. CLARIFICATION: Throughout all areas in scope of work - on walls where demolition/construction work requires patch & repair – new paint is to be full height of wall, corner to corner of wall.
2. MODIFICATION: In lieu of ceiling demolition in Area 2B (as required for installation of new mechanical work), new ceiling access doors will be acceptable. Locate as required for installation and maintenance. New access doors are to be painted – color selected by Owner/Architect.
3. CLARIFICATION: Existing clerestory window frame/glazing in south wall of Office 110A is TO REMAIN. Disregard key note #10 on sheet AD101 in this location only. Also, key note #22 on Interior Elevation sheet D4/AE401 is pointing to an area of wall that is actually existing clerestory window to remain (omitted from drawing) – this key note applies to the area of existing wall below the existing clerestory window.
4. MODIFICATION: Sheet AE106, Training Room 165, key note #06 - Provide \$5,000 allowance for engineering/structural support of operable partition recessed in ceiling. \$5,000 includes structural engineering fee, structural steel columns, C8x11.5 structural steel channel (with flanges down as shown on detail C2/AE501), concrete footings, concrete slab infill, seismic bracing, and misc. steel.
5. CLARIFICATION: Operable partition recessed in ceiling in Training Room 165 (see key note #06) is approximately 15' in length (wall to wall), and 10' in height (floor to ceiling). Contractor to field verify dimensions prior to order/installation.
6. CLARIFICATION: Sheet AD101, at existing janitor/utility closet only – existing wall shown dashed to be removed is CMU (disregard key note #05 at this location only).
7. CLARIFICATION: Sheet AD101 only, key note #07 is not used on this sheet.

8. CLARIFICATION: Sheet AE104, floor finish designation "CF" on drawing C4/AE104 should refer to normal weight concrete floor (see key note #18 on AE102), not "gypcrete". Where floor finish designation "CF" is indicated, floor is to be sealed per specifications.
9. MODIFICATION: Sheet AE101, Open Office Area 116B, Provide (1) duplex power outlet & (1) 2-jack data outlet for (1) workstation (furniture by SLCC) surface mount conduit to round structural column in the middle of the room. Paint conduit.
10. MODIFICATION: The following manufacturer(s) are prior approved to bid the project (approved substitutions, not included in original specifications). All manufacturers must bid an equal to that specified, as determined by the Architect. It is the responsibility of the Contractor to ensure the products are equal to those specified. Products determined to be unequal may be disqualified at a later date, and the Contractor shall supply the original specified products:
 - a. W.R. Meadows / Sealtight – Floor-top STG standard grade, self-leveling topping/underlayment
 - b. W.R. Meadows / Sealtight – VOCOMP-25 Water-Base Acrylic concrete cure & seal
 - c. W.R. Meadows / Sealtight – Perminator – 10 & 15 mil underslab vapor barrier
 - d. AARCO Visual Display Boards

END OF ADDENDUM

Jill A. Jones AIA

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2 of 2 pages



ELECTRICAL ADDENDUM #01

Project Name: SLCC Building 002 Partial Remodel

KGE Project #: 57092.00

Client Project #: 0782

Date: January 15, 2009

SPECIFICATIONS:

1. Section 27 05 00 - Phone/Data Systems
 - 1.1. All phone/data cabling shall be provided and installed by the Owner. Division 26/27 shall provide raceway and pullstrings for the cabling.
2. Section 28 31 00 – Fire Alarm Systems (Existing)
 - 2.1. The existing fire alarm system is FCI as distributed by Nelson fire not Notifier. The fire alarm system approved manufacturer is FCI not Notifier.

PRIOR APPROVAL TO BID:

The following manufacturers are prior approved to bid the project. All manufacturers must bid an equal to that specified, as determined by the Engineer. It is the responsibility of the Contractor to ensure the catalog numbers are "Equal" to those specified, products approved, but later proving not to be equal (as determined by the Engineer), may be disqualified at a later date, and the contractor shall then supply the original specified products. Products not listed did not meet the prior approval deadline, or are not considered equal to those specified.

1. Lighting

TYPE:	MANUFACTURER(S):
A	Metalux, Day-Brite and HEWilliams
B	Corelite, PMC and HEWilliams
C	Metalux, Day-Brite and LSI
D	Portfolio, Omega and DMFLighting
E1	Isolite, McPhilben and Exitonix
E2	Isolite, McPhilben and Exitonix

DRAWINGS:

2. General

- 2.1. Clarify: The electrical sheets: ED102, EP101, EP102, EL101, EL102 and EX501 have incorrect room numbers shown. Refer to the Architectural Drawings AE101 and AE102 for the correct room numbers.
- 2.2. Revise: The phasing of the electrical work shall follow the phasing outlined on the architectural drawings (GI002) and shall include all electrical work required for the areas of work included within each phase. In general:
 - 2.2.1. Phase 1 (base bid) to include: Area 2A/2B and Area 1A/1C restrooms. This will also include all of the electrical work shown on sheet EP100.
 - 2.2.2. Phase 2 (alternate 1) to include: Area 1B and 1B upper level.
 - 2.2.3. Phase 3 (alternate 2) to include: Area 1A and 1C (excluding the area 1A/1C restrooms)
- 2.3. Clarify: Devices and equipment are new unless indicated otherwise on the drawings.
- 2.4. Add: Division 16 shall be responsible to properly support and brace all existing conduits 1" or less which are not properly supported and are found as a result of removing the ceilings in the areas of work. This work shall be included for each area in the applicable phase; this means each phase will include this requirement.
3. Sheet ED101
 - 3.1. Clarify: The (2) heat detectors within the restrooms 101 and 102 shall be carefully removed, salvaged and stored for re-installation. They shall be re-installed in the same location once the new ceiling has been completed. Provide new conduit and wire as required to maintain the existing fire alarm system at all times and to tie the re-installed devices into the fire alarm system.
4. Sheet ED102
 - 4.1. Revise: Revise the keyed notes, lighting demolition and fire alarm notes as indicated in the attached drawing ADD1-E1.
5. Sheet EP102
 - 5.1. Add: A new fire alarm horn/strobe to the work storage room 118 located along the south wall 4 feet east of the new door's east edge. The horn strobe shall be 30 candela, provide all required conduit, wiring and expansion loops or panels as required to tie it into the existing fire alarm system.
6. Sheet EL102
 - 6.1. Revise: The keyed notes and lighting for the hallway 120 and storage/work room 118 as indicated in the attached drawing ADD1-E2.
7. Sheet EX501
 - 7.1. Clarify: The (3) salvaged fire alarm detectors for the training room shall be installed above the new lay-in ceiling at the structural deck level. Provide new conduit and wire as required to tie them into the existing fire alarm loop. The detectors shall be installed directly above their original locations prior to removal.
8. Sheet EX601

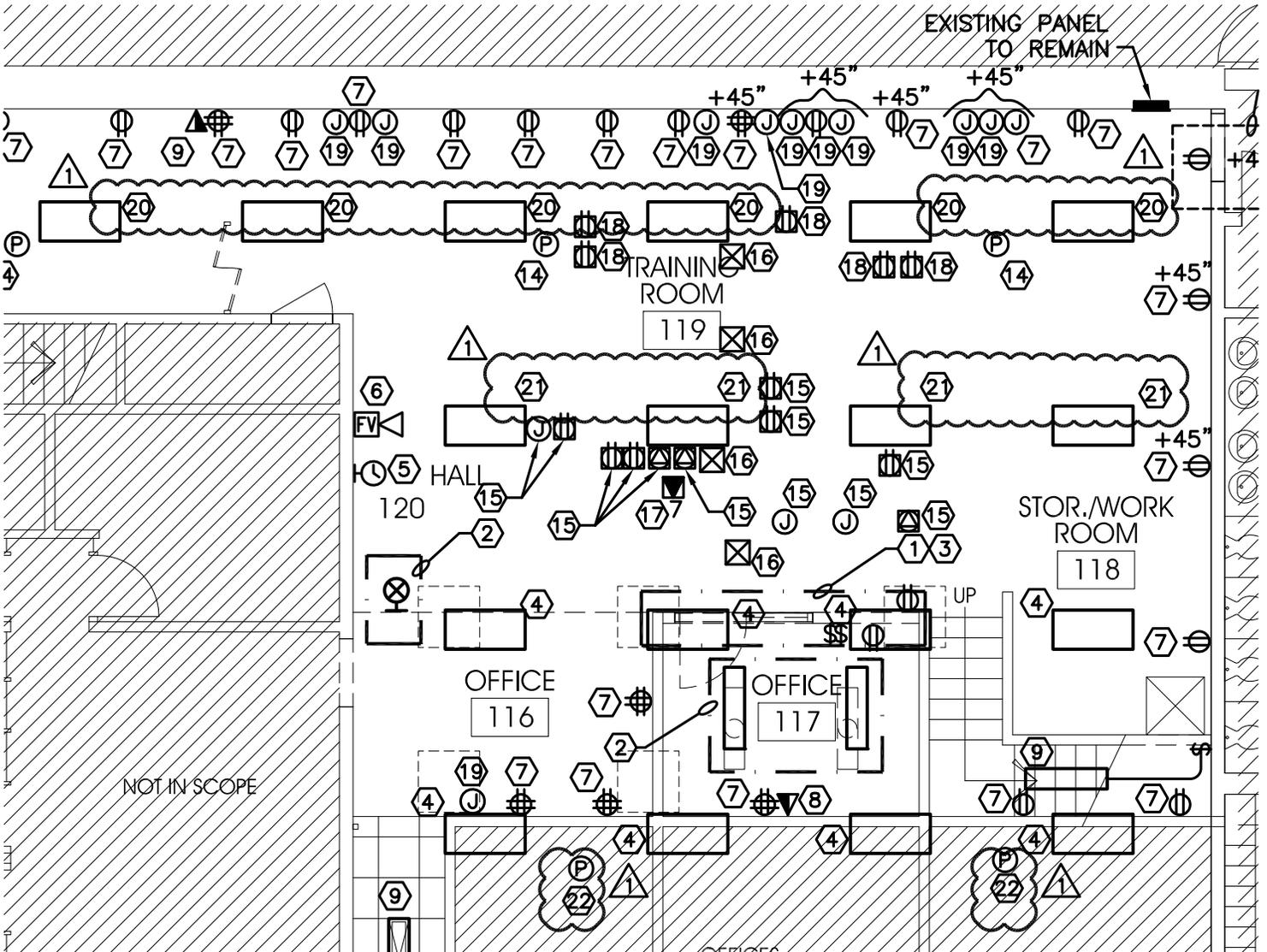
- 8.1. Delete: The type B light fixture will not have an emergency battery pack required.
- 8.2. Clarify: The installation height of the type B fixture shall be coordinated with the Architect prior to installation. The suspension length provided must be field adjustable and must allow for up to a 3' suspension from ceiling to top of fixture.

ATTACHMENT(S):

9. ADD1-E1, ADD1-E2

KEYED NOTES - SHEET ED102

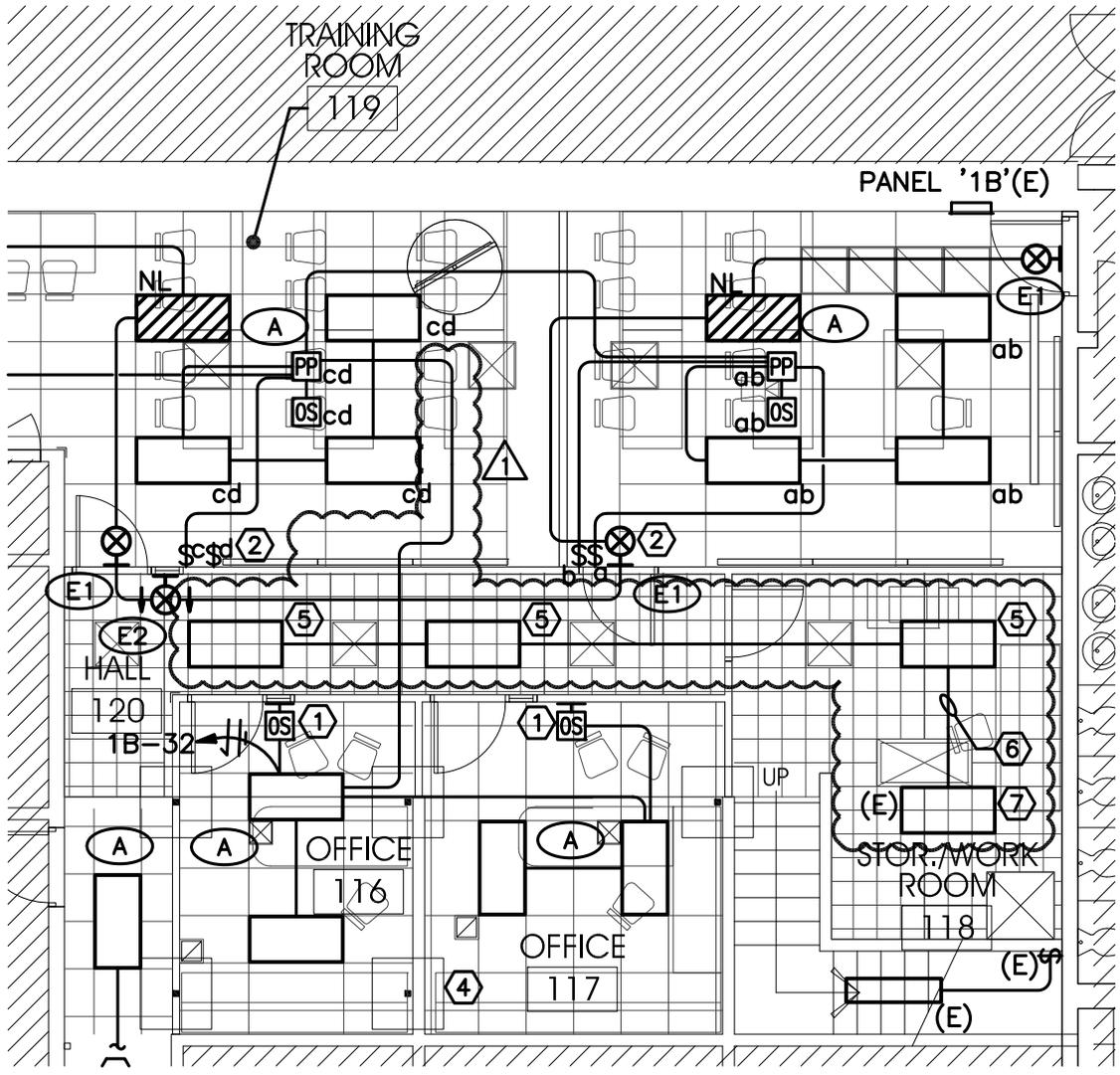
- 14. EXISTING FIRE ALARM DEVICE TO BE CAREFULLY REMOVED FROM CEILING AND RE-INSTALLED AT CEILING DECK JUST ABOVE EXISTING LOCATION.
- 20. DEMOLISH LIGHT FIXTURE, CONDUIT AND WIRE BACK TO ORIGINATING PANEL IF POSSIBLE. EXTEND CONDUIT AND WIRING AS REQUIRED TO MAINTAIN ANY CIRCUITS OR DEVICES WHICH ARE TO REMAIN.
- 21. CAREFULLY REMOVE AND SALVAGE EXISTING LIGHT FIXTURE, STORE AND PROTECT FOR RE-INSTALLATION. CONDUIT AND WIRE TO BE DEMOLISHED.
- 22. EXISTING DETECTOR TO REMAIN.



MAIN LEVEL ELECTRICAL DEMOLITION PLAN - AREAS 1B & 2A
SCALE: 1/8"=1'-0"

KEYED NOTES - SHEET EL102

5. RE-INSTALL EXISTING SALVAGED SURFACE WRAP-AROUND LIGHT FIXTURE. PROVIDE NEW CONDUIT AND WIRE. RE-LAMP AND CLEAN FIXTURE.
- ① 6. TIE RE-INSTALLED SALVAGED LIGHTS INTO EXISTING LIGHTING CIRCUIT AND CONTROL FOR MEZZANINE LEVEL.
7. EXISTING MEZZANINE LEVEL LIGHT TO REMAIN, CONNECT RE-INSTALLED SALVAGED LIGHTS HERE.



MAIN LEVEL ELECTRICAL LIGHTING PLAN - AREAS 1B & 2A
 SCALE: 1/8"=1'-0"

MECHANICAL ADDENDUM

Project Name: Salt Lake Community College Administration Building Mech Addendum No.: 1

DFCM Project # 07324660 Date: 01-14-09

From: WHW Engineering Inc
8619 South Sandy Parkway
Sandy, Utah 84070
Phone (80) 466-4021 Fax (801) 466-8536

To: All bidders

This Addendum forms and becomes a part of the Contract Documents and modifies the original Bidding Documents dated October 2008 as noted below. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Mechanical Addendum consists of 4 pages.

I - CHANGES TO PRIOR ADDENDA: NA

II - CHANGES/CLARIFICATIONS TO SPECIFICATIONS: None

III - CHANGES/CLARIFICATIONS TO DRAWINGS:

- Item III-1.** This project shall be done in phases. Coordinate all phasing and alternates with architectural plans, G.C, and all other disciplines. See sheet GI002 for further detail. The phasing summary is as follows:
Phase 1/Base Bid: Area 2A, Area 2B, and area 1A and 1C restrooms 105 and 107 only.
Phase 2/Alternate #1: Area 1B
Phase 3/Alternate #2: Area 1A and 1C, except for restrooms.
Additional mechanical work: There is some additional mechanical work that is physically located outside of the prescribed areas in the phases listed above. All mechanical work that is not specifically located within one of the pre-defined areas shall be included in Phase 1 as part of the Base Bid. This shall include but not be limited to the following: The new multi-zone unit and all associated components on sheet ME105, the new 48/20 fresh air duct south of area 2A on sheet ME104, and the new steam coil at the existing 3rd floor multi zone unit on sheet ME502.
- Item III-2.** The mechanical and plumbing work indicated on sheets MD101, ME101, PD101, and PE101 associated with the restrooms for area 1A and 1C shall all be included as part of the Phase 1 Base bid.
- Item III-3.** Sheets MD105, ME105, ME502: The multi-zone unit MZ-2-6-1 and all dampers, actuators, controls, etc. shall be replaced as part of Phase 1/Base Bid. The steam coil at the existing third floor multi-zone unit MZ-6 shall be replaced as part of Phase 1/Base bid. Sheet ME105, delete sheet note 2. All other multi-zone and AHU units shall remain as is.
- Item III-4.** Sheet ME105 note 1: Multi-zone 6 is no longer shown on this page. This note shall apply to unit MZ-6 shown on sheet ME502.
- Item III-5.** Sheet ME601: New multi-zone unit MZ-2-6-1 shall have a steam heating coil. See

attached sheet for updated schedule. New coils shall be re-connected to existing chilled water and existing steam piping, and piped per details. See ME501 for steam piping detail. See attached sheet for chilled water piping detail.

- Item III-6.** Sheet PD101: Additional demolition work shall be included in Phase 3/Alternate #2 as necessary to remove the existing service sink and associated piping in room 170. See architectural plans. Remove piping from service sink back to mains and cap.

PRIOR APPROVALS

THE FOLLOWING ITEMS, AS SUBMITTED, ARE CONSIDERED, IN GENERAL AND IN NAME ONLY, AS EQUAL TO THOSE ITEMS SPECIFIED. THIS REVIEW DOES NOT RELIEVE THE CONTRACTOR OR SUPPLIER OF THE RESPONSIBILITY OF CONFORMING TO THE DRAWINGS AND SPECIFICATIONS, NOR DOES IT RELIEVE THE CONTRACTOR OF THE REQUIREMENTS OF THE SPECIFICATIONS FOR COORDINATION WITH OTHER TRADES. ALL DIMENSIONS SHALL BE CONFIRMED AND CORRELATED AT THE JOBSITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND THE SUITABILITY OF "EQUAL" PRODUCTS FOR THE SPECIFIED APPLICATION.

Description

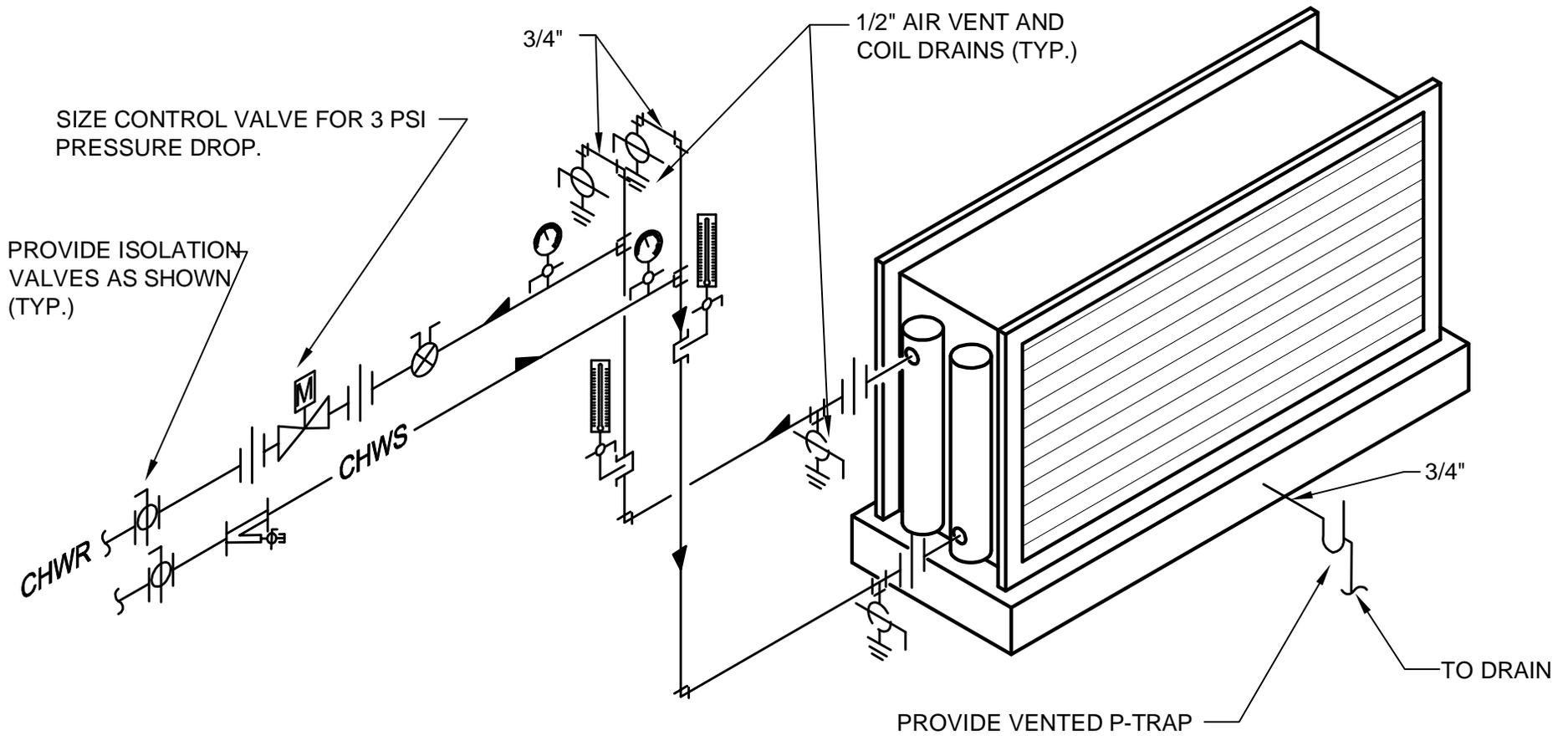
Manufacturer

233300 Volume Dampers	Greenheck
233300 Flexible ducts	Hart and Cooley
233300 HETDs	Hercules
233416 Exhaust Fans	Breidert, S&P, Captive Aire
233724 Louvers	Air Rite
237313 Multi-zone Air handling units and steam coils	McQuay, Temtrol (Verify sections can be brought into mech room)
238126 Split System Air Conditioners	Daikin
Electric Baseboard Heaters	Qmark, Markel

INDOOR MULTI-ZONE AIR HANDLING UNIT SCHEDULE

SYMBOL	COOLING CFM	MINIMUM O.A. CFM	HEATING SIZE CFM	UNIT H (INCHES)	UNIT W (INCHES)	UNIT L (INCHES)	ESP	FAN MOTOR				COOLING COIL								STEAM HEATING COIL					MANUF. & MODEL #	SCHEDULE NOTES
								HP	VOLT	PHASE	CYCLE	TOTAL MBH	TONS COOL	GPM	EWT	LWT	EAD B	EAWB	LAT	MBH	EAT	LAT	STEAM PSIG	STEAM FLOW LBS/HR		
MZ 2-6-1	7450	1500	7450	72"	46"	120"	1.25"	7.5	480	3	60	228	19	45	45	55	80	67	55	335	55	100	7	345	YORK	1,2,3,4,5

1. SEE DRAWINGS FOR EXACT CONFIGURATION, SIZE, ETC.
2. SEE SPECIFICATIONS FOR APPROVED MANUFACTURERS.
3. PROVIDE WITH HOT DECK, COLD DECK, AND NEUTRAL DECK FOR EACH ZONE. SEE SECTIONS, PLANS AND DETAILS.
4. PROVIDE WITH 7 ZONES. SEE DRAWINGS FOR DUCT CONNECTION SIZES. MINIMUM CFM AND DAMPER SIZES PER DAMPER AT EACH DECK: ZONE 1 1900 CFM, ZONE 2 815 CFM, ZONE 3 635 CFM, ZONE 4 1550 CFM, ZONE 5 800 CFM, ZONE 6 900 CFM, ZONE 7 850 CFM
5. UNIT SHALL BE BROKEN DOWN INTO SECTIONS AS ESSENCE TO FIT THROUGH DOUBLE DOORS.



A

A1

CHILLED WATER COIL PIPING ISOMETRIC

SCALE: NONE