



State of Utah

JON M. HUNTSMAN, JR.  
Governor

GARY R. HERBERT  
Lieutenant Governor

Department of Administrative Services

KIMBERLY K. HOOD  
Executive Director

Division of Facilities Construction and Management

DAVID G. BUXTON  
Director

## ADDENDUM NO. 1

Date: July 23, 2008

To: Contractors

From: Jim Russell , Project Manager, DFCM

Reference: Five New Liquor and Wine Stores Statewide  
Department of Alcoholic Beverage Control  
Washington, Iron, Utah, and Wasatch Counties  
DFCM Project No. 08034030

Subject: **Addendum No. 1**

Pages	Addendum Cover Sheet	1 page
	Revised Project Schedule	1 page
	Cedar City ALTA Survey	1 page
	<u>Heber City ALTA Survey</u>	<u>1 page</u>
	Total	4 pages

**Note: This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to Disqualification.**

While we contend that SB220 should only be potentially applicable to a contract issued after the effective date of said bill, this is to clarify that for purposes of this contract, regardless of the execution or effective dates of this contract, the status of Utah Law and remedies available to the State of Utah and DFCM, as it relates to any matter referred to or affected by said SB220, shall be the Utah law in effect at the time of the issuance of this Addendum.

1.1 **SCHEDULE CHANGES** – Interview date has changed to August 19, 2008 and Announcement date has changed to August 20, 2008. Refer to attached Revised Project Schedule.

1.2 **GENERAL ITEMS**

1.2.1 Only five copies of the Management Plans and Statement of Qualifications will be required.

1.2.2 Building locations are available only for Cedar City and Heber City (see attached ALTA surveys).



**PROJECT SCHEDULE – REVISED  
PER ADDENDUM NO. 1 DATED JULY 23, 2008**

<b>PROJECT NAME:</b> FIVE NEW LIQUOR AND WINE STORES STATEWIDE DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL WASHINGTON, IRON, UTAH, AND WASATCH COUNTIES				
<b>DFCM PROJECT NO.</b> 08034030				
<b>Event</b>	<b>Day</b>	<b>Date</b>	<b>Time</b>	<b>Place</b>
Solicitation for A/E Services Available	Thursday	July 10, 2008	2:00 PM	DFCM 4110 State Office Bldg SLC, UT and the DFCM web site*
<b>Mandatory</b> Pre-submittal Meeting	Wednesday	July 16, 2008	2:00 PM	DFCM 4110 State Office Bldg SLC, UT
Last Day to Submit Questions	Monday	July 21, 2008	2:00 PM	Jim Russell – DFCM E-mail: jimrussell@utah.gov Fax (801)-538-3267
Addendum Deadline (exception for bid delays)	Wednesday	July 23, 2008	2:00 PM	DFCM web site *
Management Plans, References, Statements of Qualifications, and Termination / Debarment Certifications Due	Wednesday	July 30, 2008	2:00 PM	DFCM 4110 State Office Bldg SLC, UT
Short Listing by Selection Committee, if applicable.	Wednesday	August 6, 2008	12:00 NOON	DFCM web site *
<b>Interviews</b>	<b>Tuesday</b>	<b>August 19, 2008</b>	TBD	Alcoholic Beverage Control 1625 South 900 West SLC, UT
<b>Announcement</b>	<b>Wednesday</b>	<b>August 20, 2008</b>	4:00 PM	DFCM web site *

\* DFCM's web site address is <http://dfcm.utah.gov>.

**PROJECT LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- SECTION LINE
- EASEMENT LINE
- - - - EXISTING POWER
- - - - EXISTING GAS LINE
- - - - EXISTING FENCE LINE
- - - - EXISTING SEWER LINE
- ◆ U.D.O.T. R-O-W MONUMENT
- ◆ SECTION CORNER AS DESCRIBED
- SET INSITE ENG R/C CAP P.L.S. #4938769 OR #6077910.
- FOUND BBE R/C UNLESS OTHERWISE NOTED.

**NARRATIVE**

THIS SURVEY WAS DONE AT THE REQUEST OF PROVIDENCE QUANTUM PARTNERS L.C. TO PERFORM AN A.L.T.A./A.C.S.M. SURVEY.

THE BASIS OF BEARINGS IS THE CEDAR CITY GPS COORDINATE CONTROL NETWORK. ALL COORDINATES SHOWN REFLECT THIS NETWORK.

**REFERENCES:**

SEE ROAD DEDICATION PLAT OF ROYAL HUNTE DR., CROSS HOLLOW ROAD, AND PROVIDENCE CENTER DRIVE RECORDED AUGUST 12, 1999, AS ENTRY #411926 IN BOOK 689 ON PAGE 741, OFFICIAL IRON COUNTY RECORDS.

MINOR LOT SUBDIVISION PREPARED BY BULLOCH BROTHERS ENGINEERING FOR PACIFIC LAND DESIGN, PLAT #1199.

MINOR LOT SUBDIVISION PREPARED BY BULLOCH BROTHERS ENGINEERING FOR QUANTUM/UDOT, PLAT #1195.

MINOR LOT SUBDIVISION PREPARED BY BULLOCH BROTHERS ENGINEERING FOR PROVIDENCE CENTER L.C., PLAT # 1203.

MINOR LOT SUBDIVISION PREPARED BY INSITE ENGINEERING FOR PROVIDENCE CENTER L.C., PLAT # 1597.

MINOR LOT SUBDIVISION PREPARED BY INSITE ENGINEERING FOR PROVIDENCE CENTER L.C., PLAT # 2171.

**A.L.T.A/ A.C.S.M. LAND TITLE SURVEY FOR:  
PROVIDENCE QUANTUM PARTNERS L.C.**

**LOCATED IN THE SE 1/4 OF SECTION 21 AND THE SW 1/4 OF SECTION 22, T36S, R11W, S.L.B.&M.  
CEDAR CITY, IRON COUNTY, UTAH**

**UTILITY INFORMATION**

UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

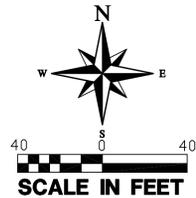
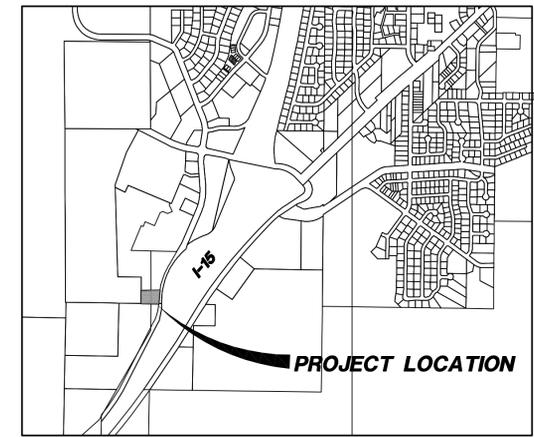
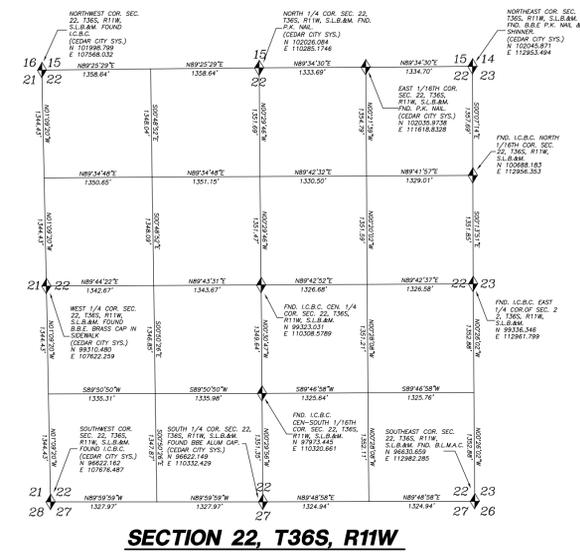
**UTILITY CONTACT INFORMATION:**

ROCKY MOUNTAIN POWER CO.  
DALE HIRSHI  
2217 KITTYHAWK DRIVE  
CEDAR CITY, UTAH 84720  
(435) 865-3303

QWEST  
RANDY WARNER  
103 WEST CENTER  
CEDAR CITY, UTAH 84720  
(435) 586-2470

QUESTAR GAS  
JIM MCPHIE  
946 PRODUCTION ROAD  
CEDAR CITY, UTAH 84720  
(435) 865-5255

BRESNAN CABLEVISION  
DWAYNE DAVIS  
98 WEST HARDING AVENUE  
CEDAR CITY, UTAH 84720  
(435) 586-7655



**SURVEYOR'S CERTIFICATE**

DATE: JUNE 26, 2008

THIS SURVEY IS MADE FOR THE BENEFIT OF:

STATE OF UTAH  
DIVISION OF FACILITIES CONSTRUCTION AND MANAGEMENT  
4110 STATE OFFICE BUILDING, SALT LAKE CITY, UTAH 84114

TITLE INSURER: INVESTOR QUALITY TITLE, LLC  
856 S. SAGE DR. SUITE #250 CEDAR CITY, UTAH 84720  
PHONE (435) 865-7663

THIS IS TO CERTIFY THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDESIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF UTAH, THE RELATIVE POSITION ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

C. SCOTT BISHOP PLS #6077910



DATE

**PARCEL #1 LEGAL DESCRIPTION:**

BEGINNING AT THE SOUTHEAST CORNER OF SECTION 21, TOWNSHIP 36 SOUTH, RANGE 11 WEST, OF THE SALT LAKE BASE AND MERIDIAN; RUNNING THENCE S89°51'05"W ALONG THE SOUTH LINE OF SAID SECTION 21, 150.02 FEET; THENCE DEPARTING SAID SECTION LINE AND RUNNING N01°09'20"W 267.03 FEET; THENCE N90°00'00"E, 298.13 FEET TO A POINT LOCATED ON THE WESTERLY RIGHT-OF-WAY LINE OF PROVIDENCE CENTER DRIVE. SAID POINT ALSO BEING ON A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 1,084.93 FEET, AND A CENTRAL ANGLE OF 14°06'26". (RADIUS POINT BEARS S78°40'37"E); THENCE SOUTHERLY ALONG SAID CURVE AND ALONG SAID RIGHT-OF-WAY LINE 267.13 FEET TO A POINT OF REVERSE CURVATURE TO THE RIGHT HAVING A RADIUS OF 634.07 FEET AND A CENTRAL ANGLE OF 00°04'43"; THENCE SOUTHERLY ALONG SAID CURVE, 0.87 FEET TO A POINT LOCATED ON THE SECTION LINE; THENCE DEPARTING SAID RIGHT-OF-WAY LINE AND RUNNING N89°59'59"W ALONG THE SECTION LINE, 122.92 FEET TO THE POINT OF BEGINNING. CONTAINING 1.71 ACRES.

SUBJECT TO A 7.50 FOOT PUBLIC UTILITY EASEMENT ON THE WEST AND SOUTH PROPERTY LINES OF SAID PARCEL.

SUBJECT TO A 20.00 FOOT PUBLIC UTILITY EASEMENT ON THE EAST PROPERTY LINE OF SAID PARCEL ADJACENT TO PROVIDENCE CENTER DRIVE.

**GENERAL SURVEY NOTES**

ITEMS 1-6 OF THESE NOTES ARE A REFERENCE FROM SCHEDULE B - SECTION 2 OF TITLE REPORT COMMITMENT NO. 20235 DATED JUNE 18, 2008 AT 8:00 A.M. ALL OTHER ITEMS ARE FOR GENERAL INFORMATION.

1. SCHEDULE B SECTION 2 EXCEPTION #8 FROM TITLE REPORT NON-PLOTTABLE.

THE EFFECTS OF EASEMENTS, RESTRICTIONS, COVENANTS, CONDITIONS, NOTES, BUILDING SET-BACK LINES, AND RIGHTS OF WAY OF ROADS, DITCHES, CANALS, STREAMS, RIVERS, TELEPHONE AND TRANSMISSIONS LINES, DRAINAGE, UTILITIES, OR OTHER INCIDENTAL PURPOSES, OVER UNDER OR ACROSS SAID PROPERTY, WHICH ARE OF RECORD OR WHICH MAY BE ASCERTAINED BY AN INSPECTION OR ACCURATE SURVEY, INCLUDING WITHOUT LIMITATION ANY EASEMENTS, NOTES, RESTRICTIONS, BUILDING SITE REQUIREMENTS, SETBACK LINES, OR RIGHTS OF WAY PROVIDED FOR IN THE OFFICIAL PLAT MAP, IF ANY.

2. SCHEDULE B SECTION 2 EXCEPTION #9 FROM TITLE REPORT NON-PLOTTABLE.

ALL EXISTING ROADS, STREETS, ALLEYS, DITCHES, RESERVOIRS, UTILITIES, CANALS, PIPELINES, POWER POLES, TELEPHONE, SEWER, GAS AND WATER LINES AND RIGHTS OF WAY AND EASEMENTS THEREOF.

3. SCHEDULE B SECTION 2 EXCEPTION #10 FROM TITLE REPORT NON-PLOTTABLE.

ANY AND ALL OUTSTANDING OIL AND GAS, MINING AND MINERALS RIGHTS, ECT. TOGETHER WITH THE RIGHT OF THE PROPRIETOR OF A VEIN OR LODE TO EXTRACT HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE RIGHT OF INGRESS AND EGRESS FOR THE USE OF SAID RIGHTS. THE PRESENT OWNERSHIP OF SAID INTERESTS AND MATTERS AFFECTING SAID INTEREST ARE NOT SHOWN HEREIN.

4. SCHEDULE B SECTION 2 EXCEPTION #11 FROM TITLE REPORT NON-PLOTTABLE.

DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS DATED JANUARY 26, 2004 AND RECORDED JANUARY 28, 2004, IN BOOK 917, AT PAGES 456-462 AS ENTRY NO. 478410.

5. SCHEDULE B SECTION 2 EXCEPTION #12 FROM TITLE REPORT NON-PLOTTABLE.

DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS DATED SEPTEMBER 10, 2004 AND RECORDED SEPTEMBER 15, 2004, IN BOOK 944, AT PAGES 160-167 AS ENTRY NO. 490171.

6. SCHEDULE B SECTION 2 EXCEPTION #13 FROM TITLE REPORT NON-PLOTTABLE.

RESOLUTION NO. 99-0616-1 RECORDED JUNE 21, 1999 AS ENTRY NO. 409912, IN BOOK 684 AT PAGE 733. TO CONSTRUCT ADDITIONAL IMPROVEMENTS WITHIN THE CEDAR CITY, UTAH SPECIAL IMPROVEMENT DISTRICT NO. 98-1, TOGETHER WITH ANY CHARGES AND ASSESSMENTS LEVIED THEREBY.

7. THE TRACK OF LAND IS LOCATED IN ZONE CC-1 (CENTRAL COMMERCIAL)

8. THE PROPERTY ON THIS PLAT IS LOCATED IN FLOOD ZONE C AS SHOWN ON FEMA (IRON COUNTY) PANEL #490073-0900B, EFFECTIVE DATE JULY 17, 1986.

9. THE WATER PRESSURE IN THIS AREA IS ± 45 PSI (CALCULATED) WITH MINIMUM COVER OF 3 FEET.

10. ALL ROADS ARE UNDER THE JURISDICTION OF CEDAR CITY CORPORATION.

11. THERE ARE NO OBSERVABLE SIGNS OF WETLANDS ON THE PROJECT SITE.

12. THERE ARE EXISTING TREES ON THE PROJECT SITE.

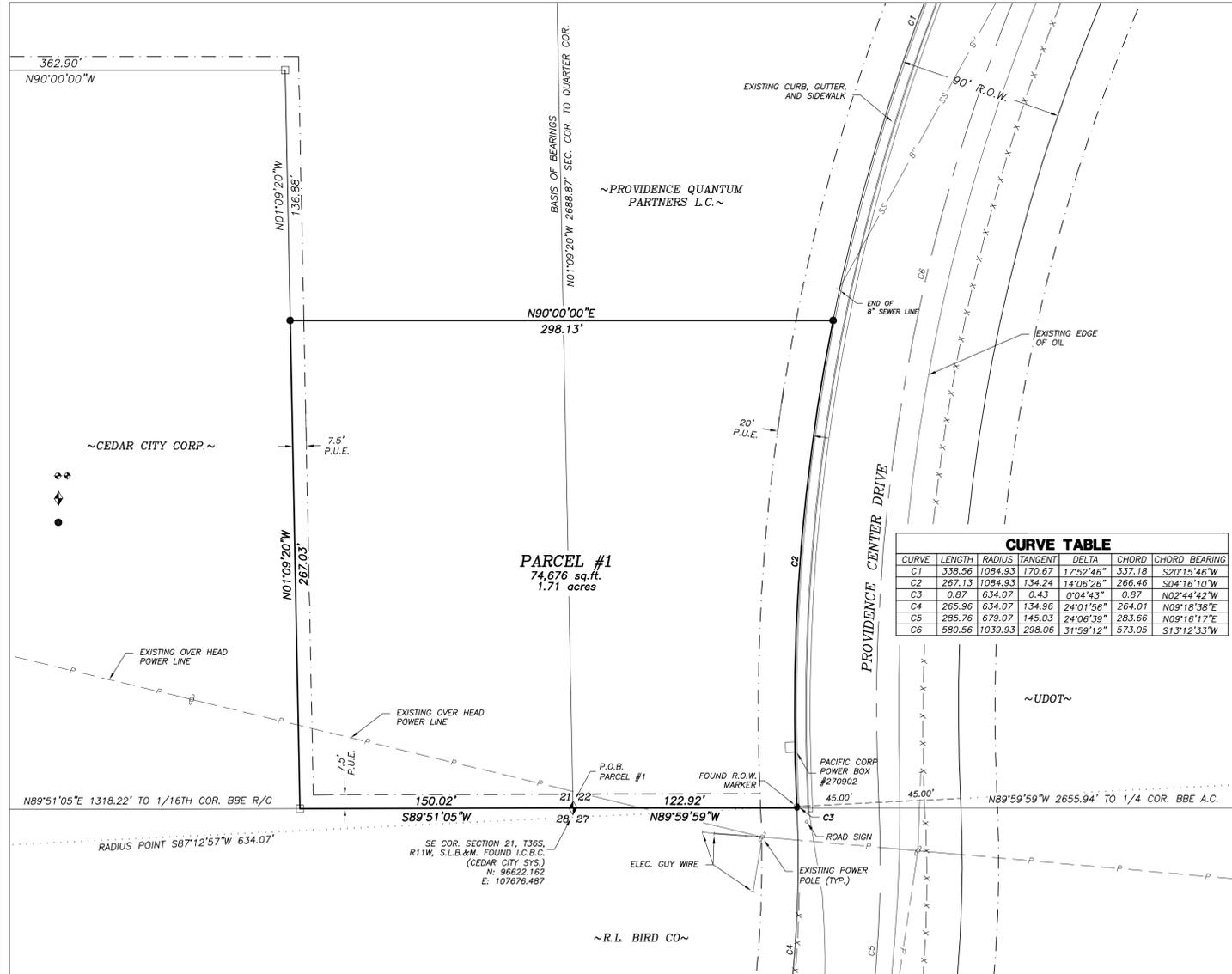
13. THERE IS NO EVIDENCE OF HAZARDOUS TOXIC SUBSTANCES ON THE PROJECT SITE.

14. THERE IS NO EVIDENCE OF RAILROAD TRACKS SIDINGS ON THE PROJECT SITE.

15. VERTICAL DATUM NGS BENCHMARK = D-376 WHICH IS A STAINLESS STEEL POST IN A RING AND LID MONUMENT LOCATED AT THE NORTHEAST QUAD OF THE INTERSECTION OF MAIN STREET AND OLD HIGHWAY 91 AT THE SOUTH INTERCHANGE. ELEV.=5998.98 NAVD 1929. ADD +3.46' FOR NAVD 1988. NON-PLOTTABLE

16. HORIZONTAL DATUM = CEDAR CITY GPS COORDINATE CONTROL NETWORK.

17. THERE ARE NO NEARBY WELLS OR BODIES OF WATER ON THE PROJECT SITE.



NO.	REVISIONS	DESCRIPTION	DATE	BY

**InSite Engineering, P.C.**  
Civil Engineers - Land Surveyors - Land Planners  
1843 W. Royal Hunt Dr., Suite 200  
Cedar City, Utah 84709  
Phone: (435) 867-4459

--

AL.T.A./A.C.S.M. LAND TITLE SURVEY FOR:  
**PROVIDENCE QUANTUM PARTNERS L.C.**  
LOCATED IN THE SE 1/4 OF SECTION 21 AND SW 1/4 OF SECTION 22, T36S, R11W, S.L.B.&M.  
CEDAR CITY, IRON COUNTY, UTAH

DATE: 6-26-2008  
SCALE: 1"=40'

JOB NO.  
2509

SHEET NO.  
**1 OF 1**

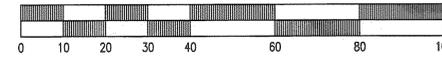
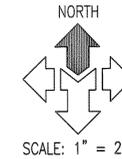
2509 PROVIDENCE FOR ALTA

1200 SOUTH STREET (PUBLIC)

BASIS OF BEARING S 89°58'07" E 2657.82' (MEASURED) N 89°50'29" E 2659.77' (RECORD PER WASATCH COUNTY DEPENDENT SURVEY) 1433.99' (CALCULATED & MEASURED)

NORTHWEST CORNER OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SLB&M, FOUND WASATCH COUNTY BRASS CAP MONUMENT (RING & LID) (A MARKED STONE ALLEGEDLY FOUND ON JANUARY 10, 1936 AT A POINT 2.58' SOUTH AND 3.34' WEST OF THE FOUND WASATCH COUNTY BRASS CAP MONUMENT PER ANNEXATION MAP PREPARED BY FRANCIS SMITH ENGINEERING, INC. AND FILED AS ENTRY NO. 189543, BOOK 332 / PAGE 70-79)

NORTH QUARTER OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SLB&M, FOUND WASATCH COUNTY BRASS CAP MONUMENT (RING & LID)



DEED DESCRIPTION PER TITLE REPORT

(PARCEL 1) LOT 3 HEBER GATEWAY PLAZA, ACCORDING TO THE OFFICIAL PLAT RECORDED DECEMBER 13, 2007, AS ENTRY NO. 329671 IN THE WASATCH COUNTY'S RECORDER'S OFFICE.

(PARCEL 2) TOGETHER WITH THE NON-EXCLUSIVE RIGHT OF WAY OVER THE ACCESS EASEMENTS AS SHOWN ON THE RECORDED PLAT.

SURVEYOR'S CERTIFICATE

TO: HEBER CITY COMMERCIAL L.L.C.; 1200 SOUTH DEVELOPMENT, INC., A UTAH CORPORATION; STEWART TITLE GUARANTY COMPANY; COALITION TITLE AGENCY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF UTAH, THE RELATIVE, POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.



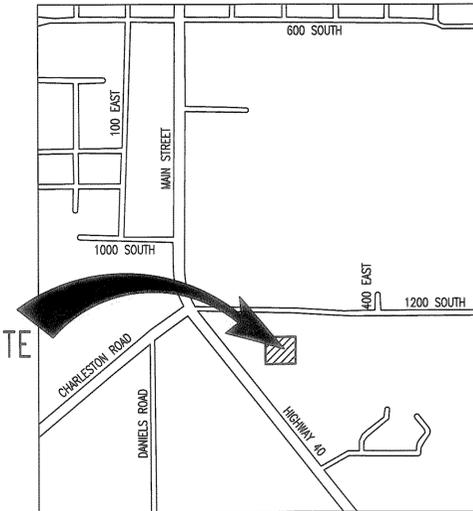
MICHAEL D. HOFFMAN LICENSE NO. 316831

NARRATIVE

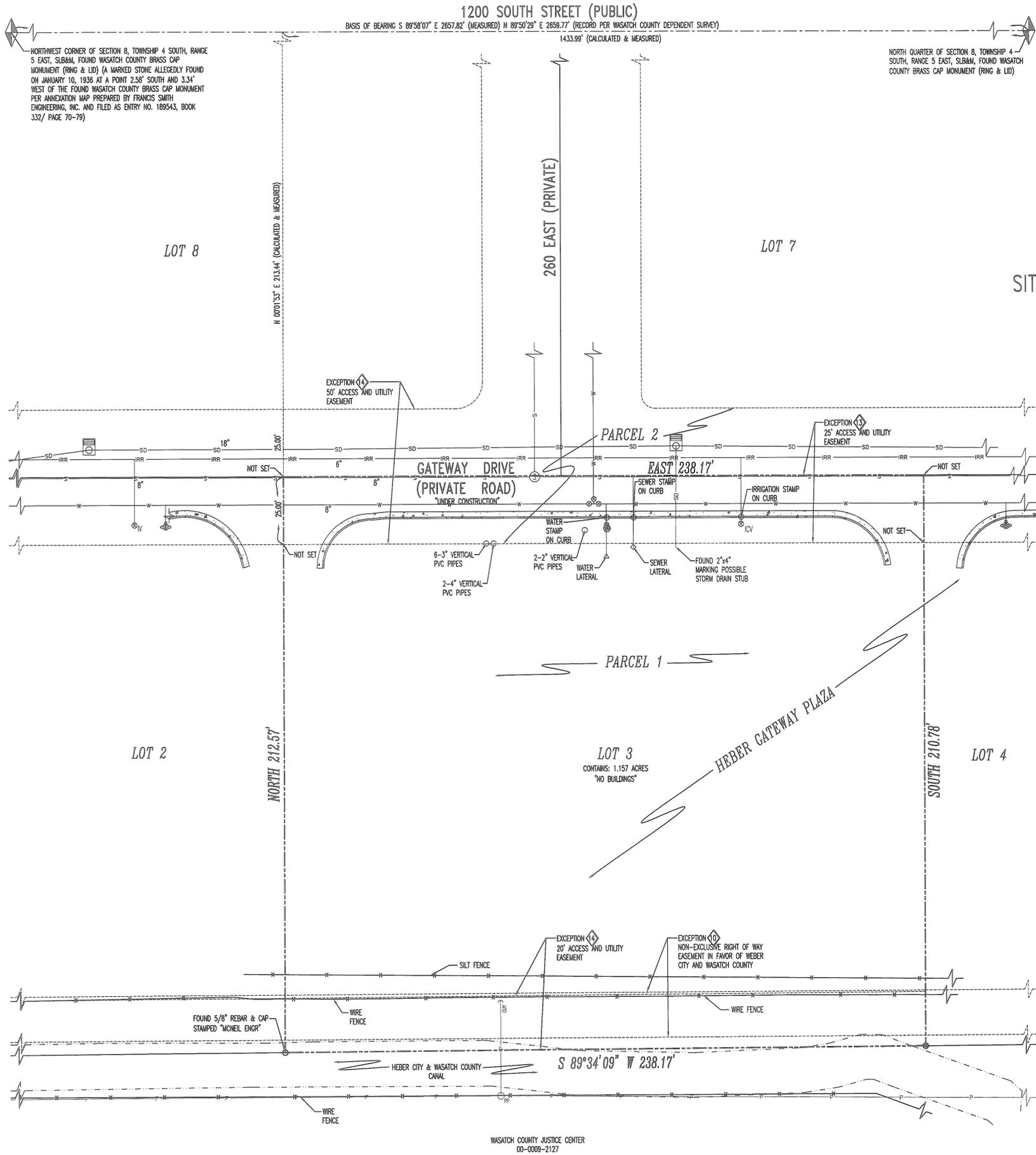
- 1. THE PURPOSE OF THIS SURVEY IS TO PROVIDE AN "ALTA/ACSM LAND TITLE SURVEY" ON THE SUBJECT PROPERTY PER CLIENTS REQUEST.
2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS, ADJOINERS AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO TRACT SHOWN HEREON WAS GAINED FROM TITLE COMMITMENT NO. 18825 PREPARED BY COALITION TITLE AGENCY, EFFECTIVE DATE: JUNE 6, 2008, AT 8:00 AM. THE FOLLOWING COMMENTS CORRESPOND TO THE ITEMS NUMBERED IN THE ABOVE-REFERENCED COMMITMENT.

ALL PLOTTABLE SCHEDULE B-2 EXCEPTIONS;

- 10. A NON-EXCLUSIVE RIGHT OF WAY AND EASEMENT IN FAVOR OF HEBER CITY AND WASATCH COUNTY, FOR USE AS A ROADWAY AND ACCESS TO THE REPAIR AND MAINTENANCE OF THE DRAINAGE CHANNEL LYING ADJACENT THERETO IMMEDIATELY TO THE SOUTH OF THE EAST PARCEL, TOGETHER WITH THE RIGHT TO PLACE GATES ALONG SAID RIGHT OF WAY AT EITHER END THEREOF, SUBJECT TO THE CONDITIONS AND COVENANTS SET FORTH HEREIN, RECORDED SEPTEMBER 14, 1994, AS ENTRY NO. 175030, IN BOOK 284, AT PAGE 778, WASATCH COUNTY RECORDER'S OFFICE. (AS SHOWN HEREON)
12. A GROSS EASEMENT AGREEMENT, DATED JANUARY 2, 2008, BY 1200 SOUTH DEVELOPMENT, INC., A UTAH CORPORATION, RECORDED JANUARY 8, 2008, AS ENTRY NO. 330543, IN BOOK 957, ON PAGE 2145, FOR THE PURPOSE OF A PERPETUAL EASEMENT AND RIGHT OF WAY FOR INGRESS AND EGRESS OF VEHICULAR AND/OR FOOT TRAFFIC OVER THE PROPERTY. (DOES NOT EFFECT SUBJECT PARCEL)
13. A TWENTY-FIVE (25) FOOT ACCESS AND UTILITY EASEMENT, RUNNING ALONG THE NORTHERLY SIDE OF THE SUBJECT PROPERTY AS SHOWN ON THE RECORDED PLAT OF HEBER GATEWAY PLAZA. (AS SHOWN HEREON)
14. CONDITIONS, RESTRICTIONS, EASEMENTS, AND NOTES AS SHOWN ON THE RECORDED PLAT OF HEBER GATEWAY PLAZA. (AS SHOWN HEREON)
3. McNEIL ENGINEERING, INC., MAKES NO REPRESENTATIONS AS TO THE EXISTENCE OF ANY OTHER RECORD DOCUMENTS THAT MAY AFFECT THIS PARCEL OTHER THAN THOSE SHOWN IN THE EXCEPTIONS OF SCHEDULE B-2 AS SHOWN HEREON.
4. THE BASIS OF BEARING FOR THIS SURVEY IS SOUTH 89°58'07" EAST ALONG THE SECTION LINE, BETWEEN FOUND WASATCH COUNTY BRASS CAP MONUMENTS MARKING THE NORTHWEST CORNER AND THE NORTH QUARTER CORNER, BEING PART OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN AS SHOWN ON THIS SURVEY.
5. CORNER MONUMENTS NOT FOUND ON THE PROPERTY WERE MARKED WITH A 5/8" INCH BAR, TWO FEET IN LENGTH, AND RED PLASTIC CAP STAMPED "McNEIL ENGR." UNLESS OTHERWISE NOTED AS SHOWN ON THE ACCOMPANYING PLAT.
6. THIS PARCEL IS LOCATED IN A SUBDIVISION THAT IS CURRENTLY UNDER CONSTRUCTION, DUE TO SAID CONSTRUCTION THERE MAY BE IMPROVEMENTS IN PLACE THAT ARE NOT SHOWN HEREON. UTILITIES IN THE ROAD WERE NOT VISIBLE AT THE TIME THE FIELD PORTION OF THE SURVEY WAS COMPLETED, ALL UTILITIES IN THE ROAD SHOWN HEREON ARE BASED UPON THE CONSTRUCTION DESIGN DRAWINGS. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ALTHOUGH ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED, TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THIS SURVEY. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, NOTIFY BLUE STAKES. THERE MAY EXIST ADDITIONAL RECORD DOCUMENTS THAT WOULD AFFECT THIS PARCEL.
7. THIS PARCEL IS LOCATED IN FLOOD ZONE D, PER THE FEMA FLOOD INSURANCE RATE MAP NO. 490166 0001 B EFFECTIVE AS OF MARCH 18, 1987.



VICINITY MAP SCALE: N.T.S.



LEGEND table with symbols for Lot Line, Property Line, Section Line, Easement Line, Fence, Power Line, Telephone Line, Sewer Line, Storm Drain Line, Contour Line, Water Valve, Fire Hydrant, Water Meter, Storm Drain Combo Box, Irrigation Valve, Sewer Manhole, Irrigation Control Valve, Set Rebar & Cap or Nail & Washer Stamped 'McNeil Engr'.

McNEIL GROUP logo and contact information: Designing for the Future Since 1983, 6895 SOUTH 900 EAST MIDVALE, UTAH 84047, TEL. (801) 255-7700 FAX. (801) 255-5071, E-MAIL: info@mcneileng.com WEB SITE: AT www.mcneil-group.com

LOT 3 HEBER GATEWAY PLAZA HEBER CITY COMMERCIAL L.L.C. 262 EAST GATEWAY DRIVE HEBER CITY, UTAH LOCATED IN THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN

REVISIONS table with columns for REV, DATE, and DESCRIPTION. Includes project info: PROJECT NO: 260797.7D, CAD DWG FILE: 260797.7D.DLT, DRAWN BY: KSL/KES, CALC BY: MRP, FIELD CREW: JSG/DMP, CHECKED BY: MDH, DATE: 06-27-08.

SHEET TITLE: ALTA/ACSM LAND TITLE SURVEY 1 OF 1

Vertical text on the left margin: S:\WORKAREA\260797\260797.Dwg, 260797.dwg, Jan 27, 2008, 1:27pm, McNEIL ENGINEERING-ST. GEORGE, L.C.