



State of Utah

GARY R. HERBERT
Governor

GREGORY S. BELL
Lieutenant Governor

Department of Administrative Services

KIMBERLY K. HOOD
Executive Director

Division of Facilities Construction and Management

DAVID G. BUXTON
Director

ADDENDUM #1

Date: September 1, 2009

To: Contractors

From: Mike Ambre, Project Manager, DFCM

Reference: Moab Liquor Store #27 – Roofing Improvements
Department of Alcoholic Beverage Control, Moab, Utah
Project No. 08042030

Subject: **Addendum No. 1**

Pages	Addendum	1 page
	<u>Architects Addendum</u>	<u>4 pages</u>
	Total	5 pages

Note: *This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to Disqualification.*

While we contend that SB220 should only be potentially applicable to a contract issued after the effective date of said bill, this is to clarify that for purposes of this contract, regardless of the execution or effective dates of this contract, the status of Utah Law and remedies available to the State of Utah and DFCM, as it relates to any matter referred to or affected by said SB220, shall be the Utah law in effect at the time of the issuance of this Addendum.

1.1 **SCHEDULE CHANGES** – There are no changes to the project schedule.

1.2 **GENERAL** – P+A Architects Addendum. Please see attached.

Utah!
Where ideas connect

ADDENDUM NO. 1

Date: September 1st, 2009

PROJECT:

Moab Liquor Store #27
Roofing Improvements
New Dance Studio Interior Remodel
Moab, Utah

ARCHITECT:

P+A ARCHITECTS
821 EAST KENSINGTON AVENUE
SALT LAKE CITY, UT 84105

The original Contract Documents issued for the above noted project are amended as noted in this Addendum. It shall be the sole responsibility of the bidder to appropriately disseminate this information to all concerned prior to the assigned bid time and date, and to coordinate the Addendum with the Contract Documents.

This Addendum consists of a total of One (1) 8 1/2"x11" documents, including this document and a total of Two (2) revised 24"x36" construction documents.

If there are still unresolved questions after examining this addendum, please submit those questions via telephone or facsimile as soon as possible so that an addendum can be issued to clarify those issues in a timely manner.

Architectural:

1. The general contractor shall provide a \$750.00 allowance in the bid for a new vent pipe flashing.
2. See attached revised drawing A-FP100 (Demolition and New Roof Plans) and A-DT500 (Roof Details) to replace original construction documents.

End of Addendum 1

ADDENDUM NO. 1

Date: September 1st, 2009

PROJECT:

Moab Liquor Store #27
Roofing Improvements
New Dance Studio Interior Remodel
Moab, Utah

ARCHITECT:

**P+A ARCHITECTS
821 EAST KENSINGTON AVENUE
SALT LAKE CITY, UT 84105**

The original Contract Documents issued for the above noted project are amended as noted in this Addendum. It shall be the sole responsibility of the bidder to appropriately disseminate this information to all concerned prior to the assigned bid time and date, and to coordinate the Addendum with the Contract Documents.

This Addendum consists of a total of ~~One (1)~~ 8 ½"x11" documents, including this document and a total of ~~Two (2)~~ revised 24"x36" construction documents.

If there are still unresolved questions after examining this addendum, please submit those questions via telephone or facsimile as soon as possible so that an addendum can be issued to clarify those issues in a timely manner.

Architectural:

1. The general contractor shall provide a \$750.00 allowance in the bid for a new vent pipe flashing.
2. See attached revised drawing A-FP100 (Demolition and New Roof Plans) and A-DT500 (Roof Details) to replace original construction documents.

End of Addendum 1

1

2

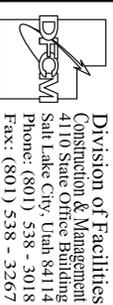
3

4

5

State of Utah

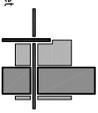
Department of Administrative Services



Construction & Management
4110 State Office Building
Salt Lake City, Utah 84114
Phone: (801) 538 - 3018
Fax: (801) 538 - 3267
Internet: <http://www.dfaem.state.ut.us>

CREATED BY: P+A architects

P+A architects
8271 East Kensington Ave.
Salt Lake City, Utah 84105
P: 801.484.1161
F: 801.485.4540
e-mail: par@paa.net



architecture planning design

CONSULTANT: xyz engineering

BUILDING NAME:
DEPARTMENT OF
ALCOHOLIC BEVERAGE
CONTROL

PROJECT TITLE:
MOAB LIQUOR
STORE #27
ROOFING
IMPROVEMENTS
55 WEST 200 SOUTH
MOAB, UTAH 84532

MARK DATE DESCRIPTION
ISSUE TYPE: CONSTRUCTION DOCUMENTS

ISSUE DATE: 17th August, 2009

DCM PROJECT NO: 08042030

CAD PROJECT NO:

DRAWN BY: BRIAN AND SCOTT

CHECK BY: SCOTT

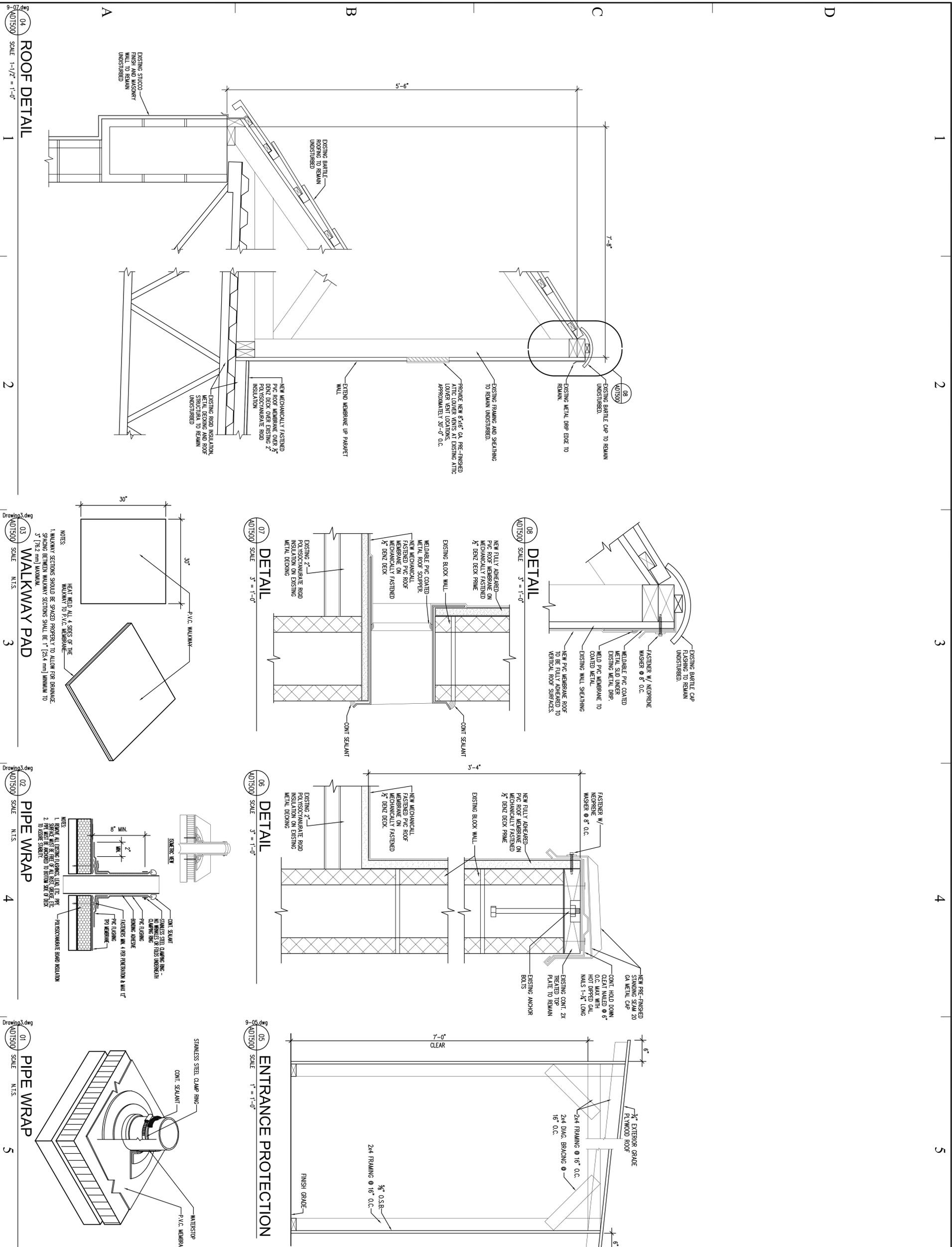
COPYRIGHT: STATE OF UTAH

SHEET TITLE

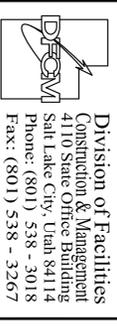
ROOF DETAILS
ADDENDA NO1

SHEET NUMBER

A-DT500



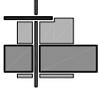
04 ROOF DETAIL SCALE 1-1/2" = 1'-0"
03 WALKWAY PAD SCALE N.T.S.
02 PIPE WRAP SCALE N.T.S.
01 PIPE WRAP SCALE N.T.S.



Division of Facilities
Construction & Management
4110 State Office Building
Salt Lake City, Utah 84114
Phone: (801) 538 - 3018
Fax: (801) 538 - 3267
Internet: <http://www.dfm.state.ut.us>

CREATED BY: P+A architects

P+A architects
2871 East Kensington Ave.
Salt Lake City, Utah 84105
P: 801.484.1161
F: 801.485.4540
e-mail: parclitee@comcast.net



architecture planning design

CONSULTANT: xyz engineering

BUILDING NAME:
DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL

PROJECT TITLE:
MOAB LIQUOR STORE #27 ROOFING IMPROVEMENTS

55 WEST 200 SOUTH MOAB, UTAH 84532

MARK: DATE DESCRIPTION

ISSUE TYPE: CONSTRUCTION DOCUMENTS

ISSUE DATE: 17th August, 2009

DCM PROJECT NO: 08042030

CAD PROJECT NO:

CAD DWG FILE:

DRAWN BY: BRIAN AND SCOTT

CHECKED BY: SCOTT

COPYRIGHT: STATE OF UTAH

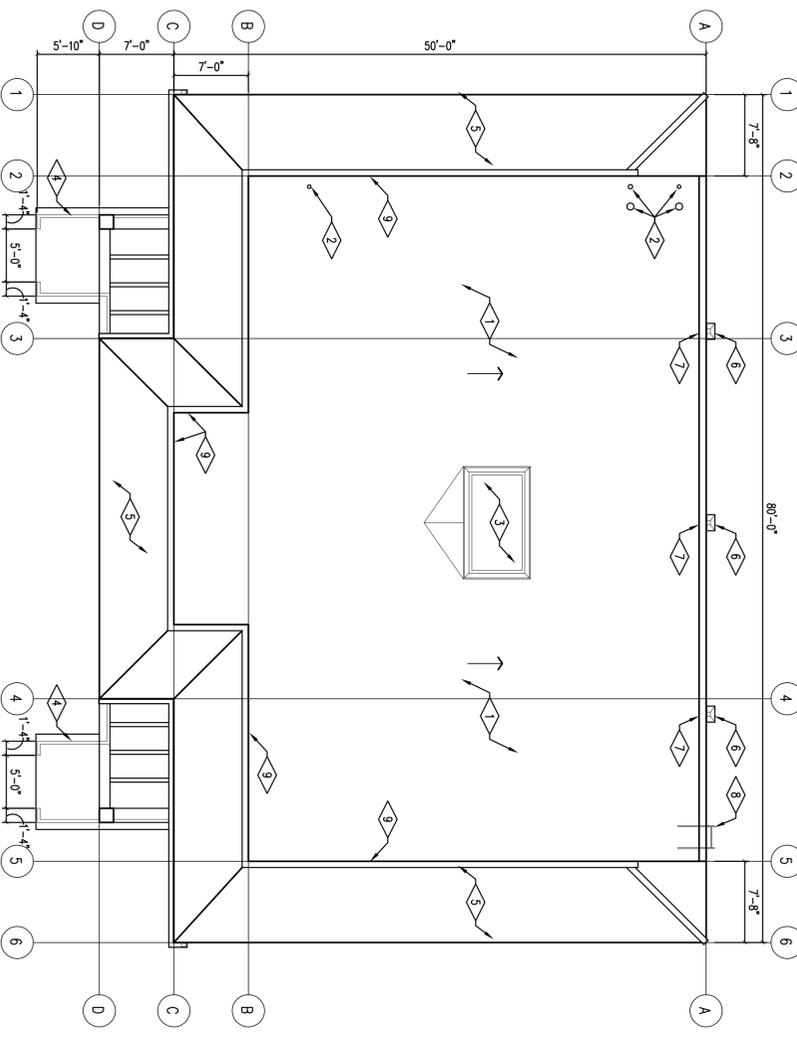
SHEET TITLE

DEMOLITION AND NEW ROOF PLANS
ADDENDA NO.1

SHEET NUMBER

A-FP100

1 2 3 4 5



02 DEMOLITION ROOF PLAN
SCALE 1/8" = 1'-0"
PLAN NORTH

REFERENCE NOTES

- 1 EXISTING BUILD-UP ASPHALT ROOF SYSTEM AND ROOFING PROTECTION BOARD TO BE REMOVED. EXISTING ROOF INSULATION TO REMAIN.
- 2 EXISTING VENT THROUGH ROOF TO REMAIN. SEE NEW ROOF PLAN AND DETAILS.
- 3 EXISTING ROOF TOP MECHANICAL UNIT TO REMAIN UNDISTURBED.
- 4 EXISTING BUILDING ENTRANCES AND EXITS TO BE PROTECTED FROM FALLING DEBRIS DURING THE CONSTRUCTION PROCESS. SEE DETAIL 05/A/01500. DASHED LINES INDICATE 2x WALL FRAMING BELOW.
- 5 EXISTING BATTLE ROOF TO REMAIN UNDISTURBED.
- 6 EXISTING CONDUCTOR HEADS AND DOWN SPOUTS TO REMAIN UNDISTURBED.
- 7 EXISTING THRU-WALL SCUPPER TO BE REMOVED.
- 8 EXISTING ROOF ACCESS LADDER.
- 9 EXISTING GRANULATED ASPHALT ROOFING SHEETS AT PARAPET WALLS TO BE REMOVED.

GENERAL NOTES

1. SEE ALL GENERAL NOTES

LEDGEND

ARROW INDICATES DIRECTION OF EXISTING 1/2" PER FOOT ROOF SLOPE

REFERENCE NOTES

- 1 NEW MECHANICALLY FASTENED PVC ROOF MEMBRANE OVER NEW MECHANICALLY FASTENED 1/2" DENZ DECK. SEE SPECIFICATION.
- 2 NEW REINFORCED ROOFING MEMBRANE WALKWAY PADS. SEE LEGEND AND DETAIL 03/A/01500
- 3 VENT PIPE ROOF PENETRATION TO RECEIVE PRE-MANUFACTURED VENT PIPE BOOT. SEE SPECIFICATION AND DETAILS 01 & 02/A-01500
- 4 EXISTING BATTLE ROOF NOT TO BE DISTURBED.
- 5 EXISTING BATTLE VALLEY LINE NOT TO BE DISTURBED.
- 6 EXISTING BUILDING ENTRANCES AND EXITS TO BE PROTECTED FROM FALLING DEBRIS DURING THE CONSTRUCTION PROCESS. SEE DETAIL 05/A/01500. DASHED LINES INDICATE 2x WALL FRAMING BELOW.
- 7 NEW PRE-FINISHED RIDG POLYISO/CYANURATE DETAILS 06/A/01500.
- 8 PROVIDE NEW TAPERED RIDG POLYISO/CYANURATE CRACKER AT MECHANICAL UNIT.
- 9 EXISTING CONDUCTOR HEAD TO REMAIN UNDISTURBED.
- 10 NEW PVC COATED METAL THRU-WALL SCUPPER. SEE DETAIL 01/A/01500
- 11 EXISTING BATTLE CAP TO REMAIN UNDISTURBED.
- 12 EXISTING MECHANICAL UNIT TO REMAIN UNDISTURBED.

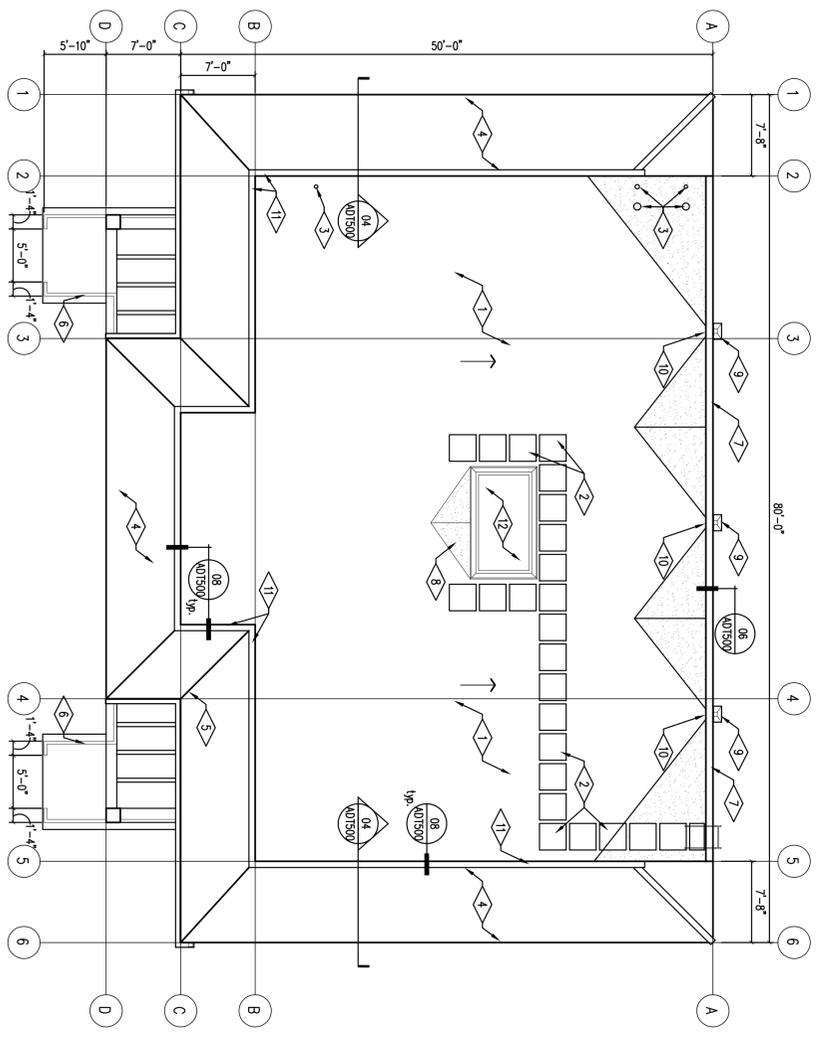
LEDGEND

- ARROW INDICATES DIRECTION OF EXISTING 1/2" PER FOOT ROOF SLOPE
- NEW REINFORCED WALKWAY PADS SEE DETAIL 03/A/01500 AND SPECIFICATION.
- HATCH PATTERN INDICATES LOCATION OF NEW MECHANICALLY FASTENED 1/2" DENZ DECK OVER NEW INSULATION CRACKS.

GENERAL NOTES

1. GENERAL CONTRACTOR MUST VISIT THE SITE SO AS TO BE FAMILIAR WITH ALL EXISTING CONDITIONS, BRING ANY QUESTIONS OR CONCERNS TO THE ATTENTION OF THE PROJECT MANAGER OR CONSULTANT FOR ADDRESS PRIOR TO BID SUBMITTAL. ANY CHANGES TO THE CONTRACT SHALL BE MADE FOR CONDITIONS THAT ARE CLEARLY VISIBLE.
2. GENERAL CONTRACTOR SHALL WORK WITH LOCAL LEADERSHIP TO IDENTIFY ALL EXISTING CONDITIONS AND DETERMINE WHETHER THE CONTRACTOR OR ANY OF HIS PEOPLE SHALL HAVE ACCESS TO THE BUILDING WITHOUT PRIOR AUTHORIZATION.
3. ALL SAFETY STANDARDS AND REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
4. BEFORE FABRICATION OF ANY SHEET METAL WORK, SUBMIT APPROVAL DRAWINGS TO PROJECT ARCHITECT FOR REVIEW AND APPROVAL WITH ALL MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
5. GENERAL CONTRACTOR RESPONSIBLE TO KEEP BUILDING APPROXIMATELY CLEAN THROUGHOUT THE PROJECT.
6. GENERAL CONTRACTOR RESPONSIBLE TO PROTECT AND MAINTAIN ALL EXISTING CONDITIONS AND MECHANICAL UNITS TO REMAIN ON THE BUILDING OR ITS CONTENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. GENERAL CONTRACTOR TO CHECK ALL MECHANICAL EQUIPMENT BEFORE DISCONNECTING TO MAKE SURE THEY ARE OPERATING PROPERLY. CONTRACTOR IS RESPONSIBLE FOR UNITS TO BE IN COMPLETE OPERATING CONDITION AT THE COMPLETION OF THE PROJECT. COORDINATE SHUTDOWN WITH USERS.
8. ALL PIPES, CONDUITS AND MECHANICAL UNITS TO REMAIN ON ROOF ARE TO BE PROTECTED AND KEPT CLEAN THROUGH THE END OF CONSTRUCTION.
9. FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING ANY MATERIALS. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS DO NOT SCALE DRAWINGS FOR QUANTITIES.
10. ANY SIDING, FASCIA, ETC. THAT NEEDS TO BE REMOVED TO COMPLETE THIS JOB ARE TO BE PART OF THE CONTRACT. CARE MUST BE TAKEN TO ENSURE THAT ALL ITEMS TO BE REINSTALLED ARE NOTE DAMAGED DURING REMOVAL AND/OR ARE DAMAGED.
11. AT THE END OF CONSTRUCTION CONTRACTOR IS TO CLEAN OUT ALL DEBRIS FROM THE ROOF AND DOWN SPOUTS TO MAKE SURE THEY ARE NOT PLUGGED AND ARE IN WORKING CONDITION.
12. ALL EXISTING VENT STOPS TO REMAIN GENERAL CONTRACTOR SHALL EXAMINE AND CHECK AS NECESSARY FOR WARRANTY REQUIREMENT CLEARANCES FROM TOP OF VENT PIPE TO REQUIRED CLAMP RING.
13. ALL ROOF AREAS MUST SLOPE TO DRAIN. ROND WATER IS NOT ACCEPTABLE. ALL TAPERED INSULATION CRACKERS, SHOULDS AND ANY OTHER APPURTENANCES NECESSARY TO ACCOMPLISH THIS TASK ARE PART OF THIS CONTRACT.
14. PROVIDE SEALANT AND PAINT ALL ROOF PENETRATIONS. NOTE: DO NOT PAINT ALUMINUM OR STAINLESS STEEL HOODS, VENTS, ETC.
15. ROOFING SYSTEM TESTING AS PER U.L. 283 BASIC STANDARDS FOR ROOFING PRODUCT INVESTIGATION. INSTALLATION AS PER CLASS 1A PVC ROOFING SYSTEM, FULLY ADHERED INCLINE 2
16. ALL EXISTING AND NEW PIPE AND VENT PIPES SHALL RECEIVE PRE MANUFACTURED PIPE BOOTS ONLY.
17. USE STAINLESS STEEL OR ALUMINUM FASTENERS AT ALUMINUM METAL FINISH LOCATIONS.

01 NEW ROOF PLAN
SCALE 1/8" = 1'-0"
PLAN NORTH



1 2 3 4 5