



NATIONAL GUARD ARMORY PARKING LOT DESIGN

1st STREET & VINE STREET
TOOELE CITY, UTAH



NATIONAL GUARD ARMORY PARKING LOT DESIGN
FINAL SET FOR CONSTRUCTION - October 28, 2008

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FOR CONSTRUCTION

DATE PRINTED
May 27, 2009

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO DEVELOPER/ CONTRACTOR

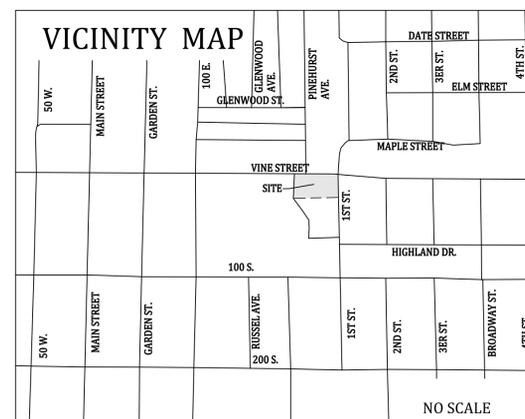
UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

DEVELOPER
DIVISION OF FACILITIES
CONSTRUCTION AND MANAGEMENT
4110 STATE OFFICE BUILDING
SALT LAKE CITY, UTAH 84114
CONTACT: LUCAS DAVIS
PHONE: 801-538-3791



GENERAL NOTES

- ALL WORK SHALL CONFORM WITH DFCM STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES 48 HOURS PRIOR TO DIGGING.
- BENCHMARK ELEVATION = WEST 1/4 CORNER OF SECTION 27, TOWNSHIP 3 SOUTH, RANGE 4 WEST, SALT LAKE BASE & MERIDIAN ELEV. = 5180.40.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING MANHOLES AND OTHER UTILITIES BEFORE CONSTRUCTING ANY IMPROVEMENTS.

ENGINEER/SURVEYOR:



TOOELE
169 North Main Street
Unit 1
Tooele, Utah 84074
Phone: 435.843.3590
Fax: 435.578.0108
WWW.ENSIGNUTAH.COM

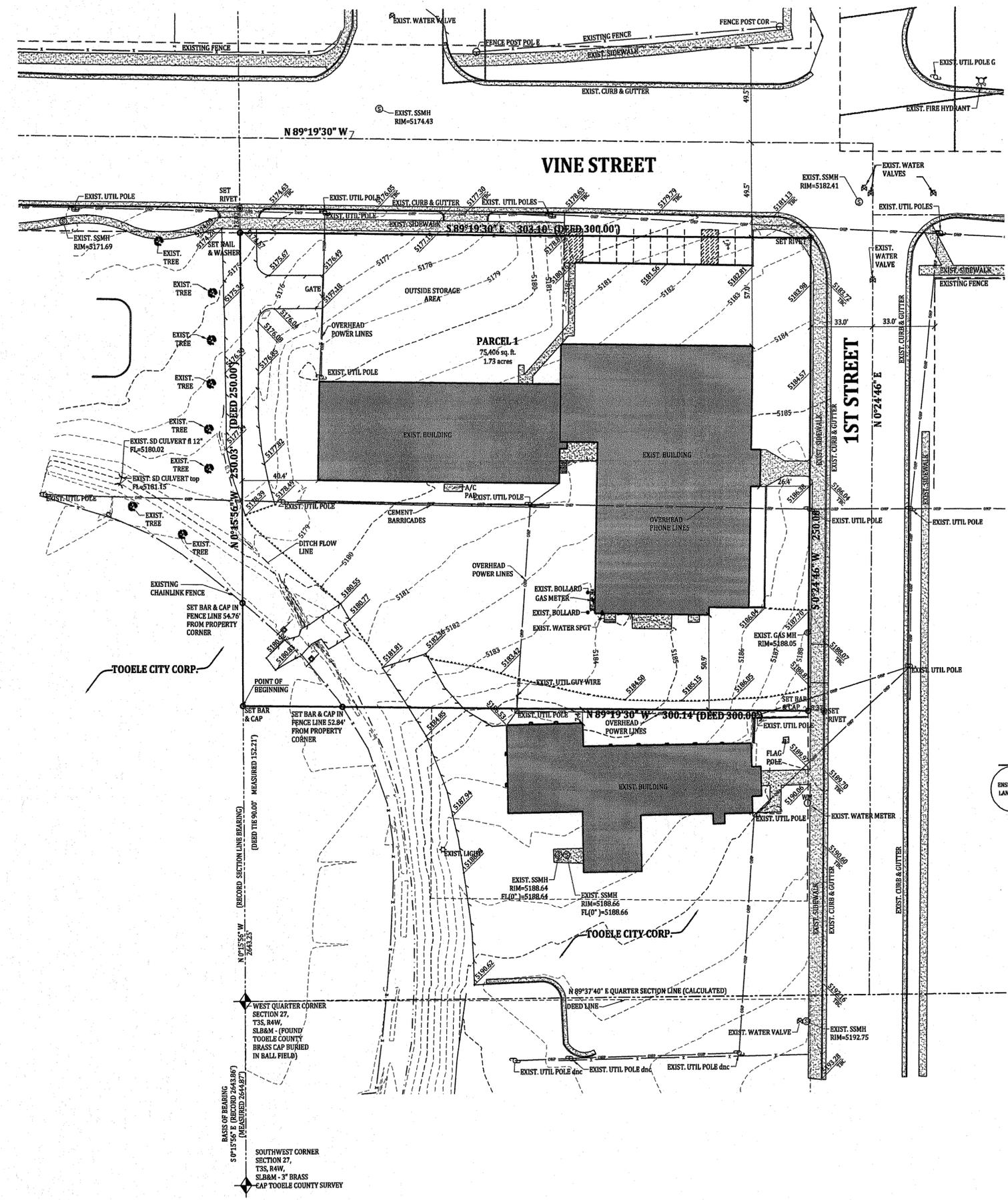
SALT LAKE CITY
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

PLEASANT GROVE
Phone: 801.796.8145

CALL BLUESTAKES
 @ 1-800-662-4111 AT LEAST
 48 HOURS PRIOR TO THE
 COMMENCEMENT OF ANY
 CONSTRUCTION.

BENCHMARK
 WEST QUARTER CORNER
 SECTION 27,
 T3S, R4W,
 SLB&M
 ELEVATION = 5180.40 (ASSUMED)

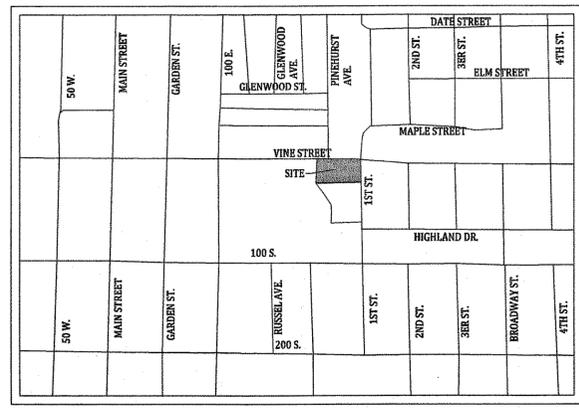


SURVEYOR'S NARRATIVE
 I, Dusty L. Bishop, do hereby state that I am a Professional Land Surveyor, and that I hold license no. 4938720, as prescribed by the laws of the State of Utah, and represent that I have made a survey of the following described property. The purpose of this survey is to establish the boundary of the subject parcel and stake the boundary corners. The basis of bearing is the line between the found monuments at the West Quarter Corner and the Southwest Corner of Section 27, Township 3 South, Range 4 West, Salt Lake Base and Meridian, which bears South 0°15'56\"/>

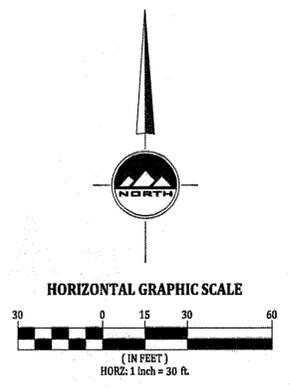
BOUNDARY DESCRIPTION
 Deed Description
 Beginning at a point which is North 90 feet from the West Quarter Corner of Section 27, and which point is on the Section line between Sections 27 and 28, Township 3 South, Range 4 West, Salt Lake Base and Meridian, and extending:
 thence North 250 feet along said Section line to the south side of Vine Street;
 thence East along the south side of Vine Street 300 feet, more or less, to the west line of First Street;
 thence South 250 feet along the west line of First Street;
 thence West 300 feet, more or less, to the Point of Beginning, and containing 1.72 acres of land, more or less.

Surveyed Description
 A parcel of land, situate in the Northwest Quarter of Section 27, Township 3 South, Range 4 West, Salt Lake Base and Meridian, more particularly described as follows:
 Beginning at a point on the Section line, which is located North 0°15'56\"/>

October 1, 2008
 Date
 Dusty L. Bishop
 License No. 4938720



- LEGEND**
- SECTION CORNER
 - SET 24\"/>



LOCATED IN THE SOUTHWEST 1/4 OF
 THE NORTHWEST 1/4
 OF SECTION 27,
 TOWNSHIP 3 SOUTH, RANGE 4 WEST,
 SALT LAKE BASE AND MERIDIAN,
 TOOELE CITY, TOOELE COUNTY, UTAH



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FOR:
 DIVISION OF FACILITIES
 CONSTRUCTION AND MANAGEMENT
 4110 STATE OFFICE BUILDING
 SALT LAKE CITY, UTAH 84114
 CONTACT:
 LUCAS DAVIS
 PHONE: 801-538-3791
 FAX: 801-538-3276

**NATIONAL GUARD ARMORY
 PARKING LOT DESIGN
 1st STREET & VINE STREET
 TOOELE, UTAH**



NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
3			
4			
5			
6			
7			
8			

**BOUNDARY
 TOPOGRAPHY
 SURVEY**

PROJECT NUMBER: T1377
 DATE: 10/1/08
 DRAWN BY: MA
 CHECKED BY:
 PROJECT MANAGER: DK

CALL BLUESTAKES
@ 1-800-462-4113 AT LEAST
48 HOURS PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK
WEST QUARTER CORNER
SECTION 27,
T3S, R4W,
S18&M
ELEVATION = 5180.40



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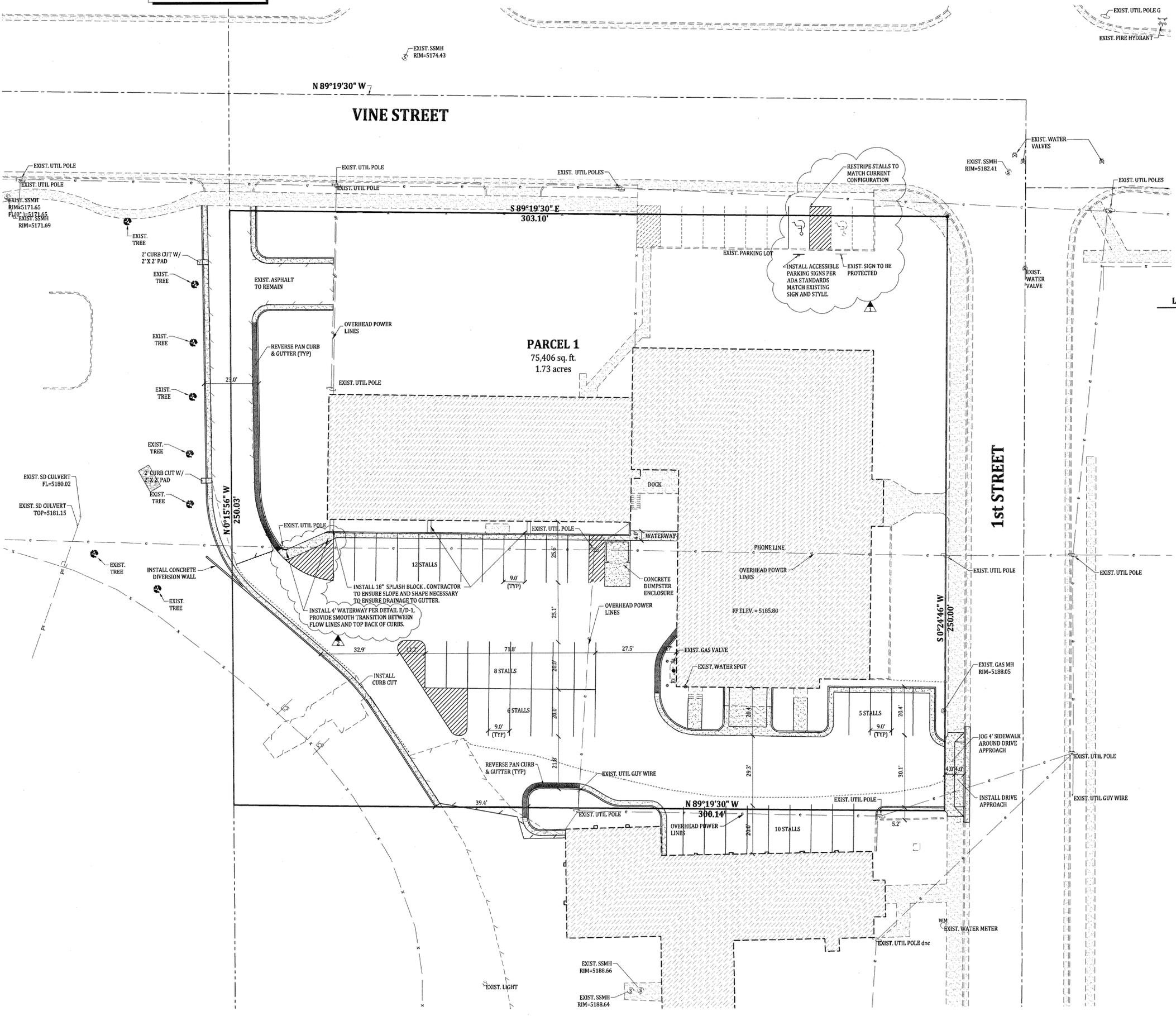
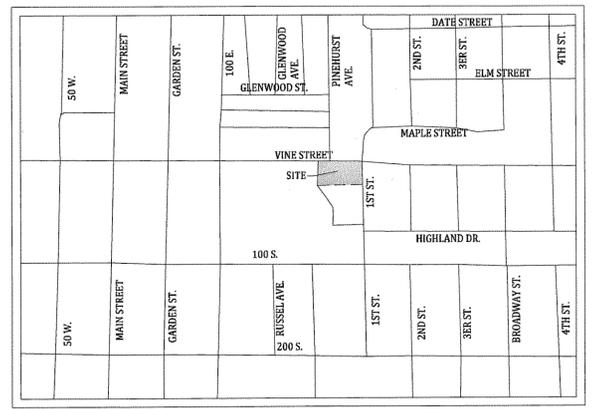
SALT LAKE CITY
Phone: 801.255.0529

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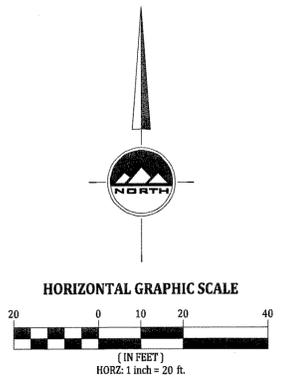
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LEGEND

	SECTION CORNER		EXIST STORM DRAIN COMBO BOX
	EXIST MONUMENT		PRO STORM DRAIN COMBO BOX
	EXIST REBAR AND CAP		EXIST STORM DRAIN CULVERT
	SET ENSIGN REBAR AND CAP		PRO STORM DRAIN CULVERT
	EXIST WATER METER		EXIST SIGN
	PRO WATER METER		PRO SIGN
	EXIST WATER MANHOLE		EXIST UTILITY MANHOLE
	PRO WATER MANHOLE		EXIST UTILITY POLE
	EXIST WATER VALVE		EXIST GAS VALVE
	PRO WATER VALVE		EXIST TREE
	EXIST FIRE HYDRANT		EXIST SHRUB
	PRO FIRE HYDRANT		DENSE VEGETATION PREVENTION ACCESS FOR ACCURATE SURVEY
	EXIST SECONDARY WATER VALVE		EXIST BUILDING
	PRO SECONDARY WATER VALVE		PRO BUILDING
	EXIST IRRIGATION VALVE		BUILDABLE AREA WITHIN SETBACKS
	PRO IRRIGATION VALVE		PUBLIC DRAINAGE EASEMENT
	EXIST SANITARY SEWER MANHOLE		EXISTING 30" CURB AND GUTTER
	PRO SANITARY SEWER MANHOLE		PROPOSED 30" CURB AND GUTTER
	EXIST STORM DRAIN CLEAN OUT		REVERSE PAN 30" CURB AND GUTTER
	PRO STORM DRAIN CLEAN OUT		EXIST DITCH FLOW LINE
	EXIST STORM DRAIN CATCH BASIN		EXIST FENCE
	PRO STORM DRAIN CATCH BASIN		PRO FENCE
			EXIST EDGE OF ASPHALT
			PRO EDGE OF ASPHALT



LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 27, TOWNSHIP 3 SOUTH, RANGE 4 WEST, SALT LAKE BASE AND MERIDIAN TOOELE CITY, TOOELE COUNTY, UTAH

**NATIONAL GUARD ARMORY
PARKING LOT DESIGN
1st STREET & VINE STREET
TOOELE, UTAH**



NO. DATE: REVISION BY

1	OCT 2008	ADJUSTED NORTH PARKING RP	RP
2	06-08-09	REMOVAL OF PARKING ISLAND	RP
3			
4			
5			
6			
7			
8			

SITE PLAN

PROJECT NUMBER	DATE
T1377	6/8/09
DRAWN BY	CHECKED BY
MA	
PROJECT MANAGER	
DK	

C-1

CALL BLUESTAKES
@ 1-800-662-4111 AT LEAST
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BENCHMARK
WEST QUARTER CORNER
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T3S, R4W,
S18&M
ELEVATION = 5180.40



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1st STREET & VINE STREET
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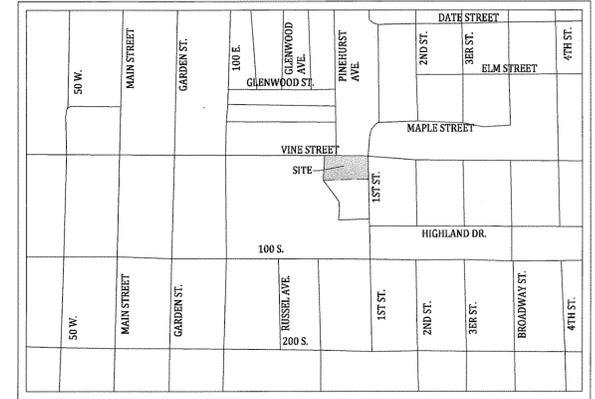


NO. DATE REVISION BY
1 OCT 2008 ADJUSTED NORTH PARKING RP
2 06-08-09 REMOVAL OF PARKING ISLAND RUF
3
4
5
6
7
8
9
10

**GRADING AND
DRAINAGE PLAN**

PROJECT NUMBER DATE
T1377 6/8/09
DRAWN BY CHECKED BY
MA
PROJECT MANAGER
DK

C-2



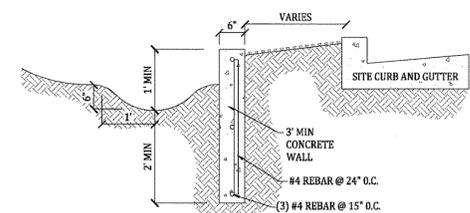
VICINITY MAP
NOT TO SCALE

LEGEND

- | | | | |
|---|-------------------------------|---|---|
| ○ | SET ENSIGN REBAR AND CAP | — | EXIST MINOR CONTOURS 1' INCREMENT |
| □ | EXIST STORM DRAIN CLEAN OUT | — | EXIST MAJOR CONTOURS 5' INCREMENT |
| □ | EXIST STORM DRAIN CATCH BASIN | — | MINOR CONTOURS 1' INCREMENT |
| □ | EXIST STORM DRAIN COMBO BOX | — | MAJOR CONTOURS 5' INCREMENT |
| □ | EXIST STORM DRAIN CULVERT | ■ | EXIST BUILDING |
| ○ | EXIST UTILITY MANHOLE | — | EXISTING 30" CURB AND GUTTER |
| ○ | EXIST UTILITY POLE | — | PROPOSED 30" CURB AND GUTTER |
| ○ | EXIST GAS VALVE | — | PROPOSED 30" REVERSE FLOW CURB AND GUTTER |
| ○ | EXIST TREE | — | EXIST FLOW LINE |
| ○ | EXIST SHRUB | — | PRO FLOW LINE |
| ○ | EXIST SPOT ELEVATION | — | GRADE BRAKES |
| ○ | PRO SPOT ELEVATION | — | EXIST FENCE |
| ○ | TBC TOP BACK OF CURB & GUTTER | — | PRO FENCE |
| ○ | TOC TOP OF CONCRETE | — | EXIST EDGE OF ASPHALT |
| ○ | EDA EDGE OF ASPHALT | — | PRO EDGE OF ASPHALT |
| ○ | FF FINISHED FLOOR | — | sd EXIST STORM DRAIN LINE |
| ○ | TOW TOP OF WALK | — | SD PRO STORM DRAIN LINE |
| ○ | | — | SAW CUT LINE |

NOTE

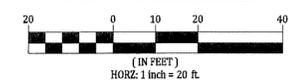
1. ALL GRADES TO TBC UNLESS NOTED OTHERWISE.
2. ALL WORK SHALL COMPLY WITH DFCM DEVELOPMENT GUIDELINES AND STANDARD PLANS, AND CURRENT APWA PLANS AND SPECIFICATIONS.
3. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR PIPE.



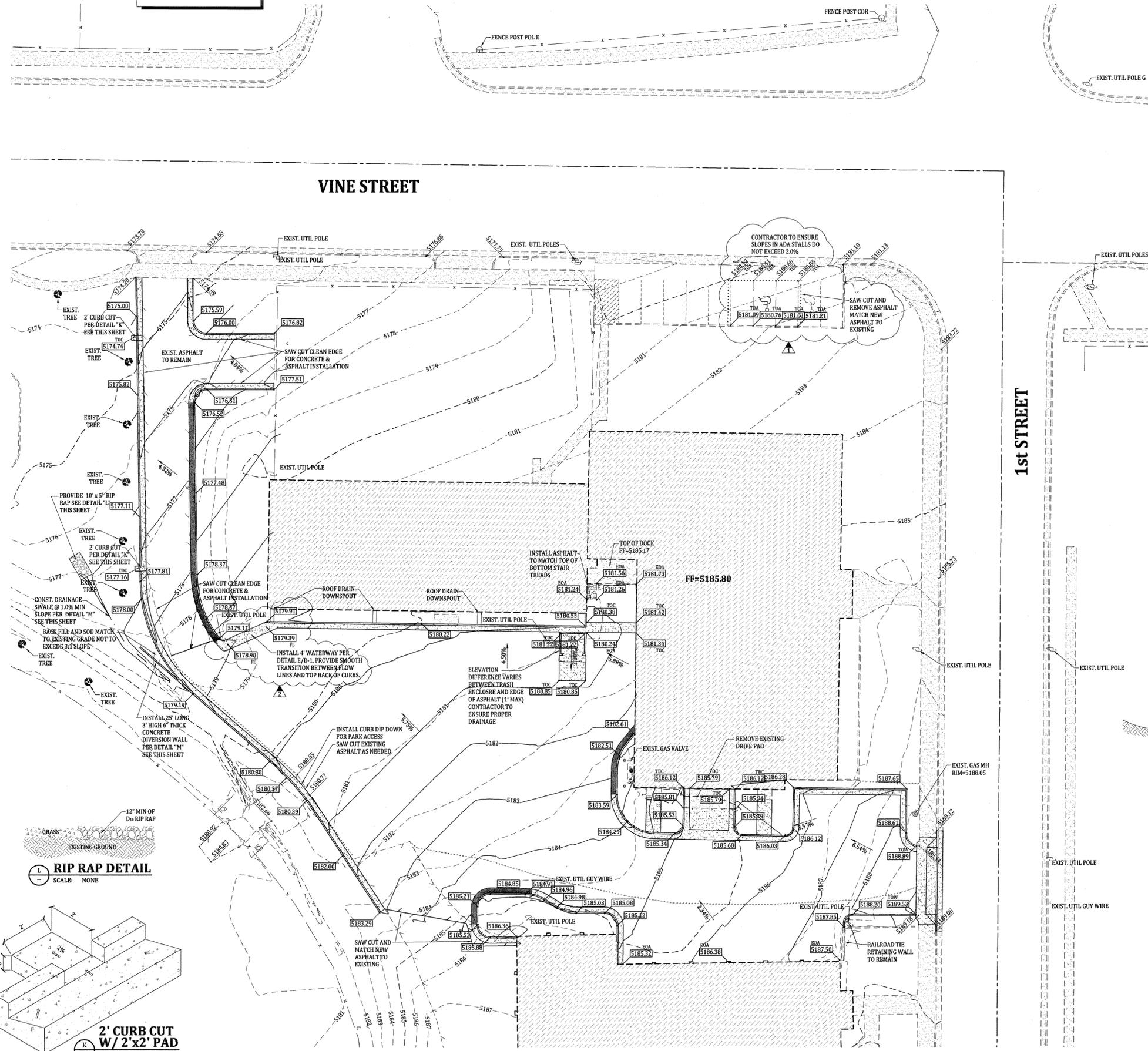
CONCRETE DIVERSION WALL

SCALE: NONE

HORIZONTAL GRAPHIC SCALE

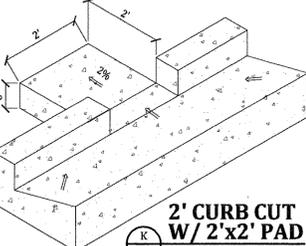


LOCATED IN THE SOUTHWEST 1/4 OF
THE NORTHWEST 1/4
OF SECTION 27,
TOWNSHIP 3 SOUTH, RANGE 4 WEST,
SALT LAKE BASE AND MERIDIAN
TOOELE CITY, TOOELE COUNTY, UTAH



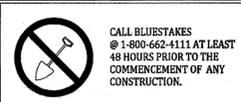
RIP RAP DETAIL

SCALE: NONE



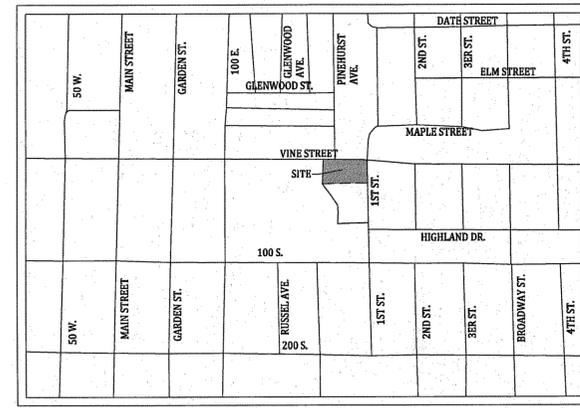
**2' CURB CUT
W/ 2'x2' PAD**
SCALE: NONE

P:\11277 Armo\A\DESIGN\Production Drawings\C-2 Grading Plan.dwg, ENSIGN, 6/8/2009 10:18:06 AM, rish



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BENCHMARK
WEST QUARTER CORNER
SECTION 27,
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SLB&M
ELEVATION = 5180.40

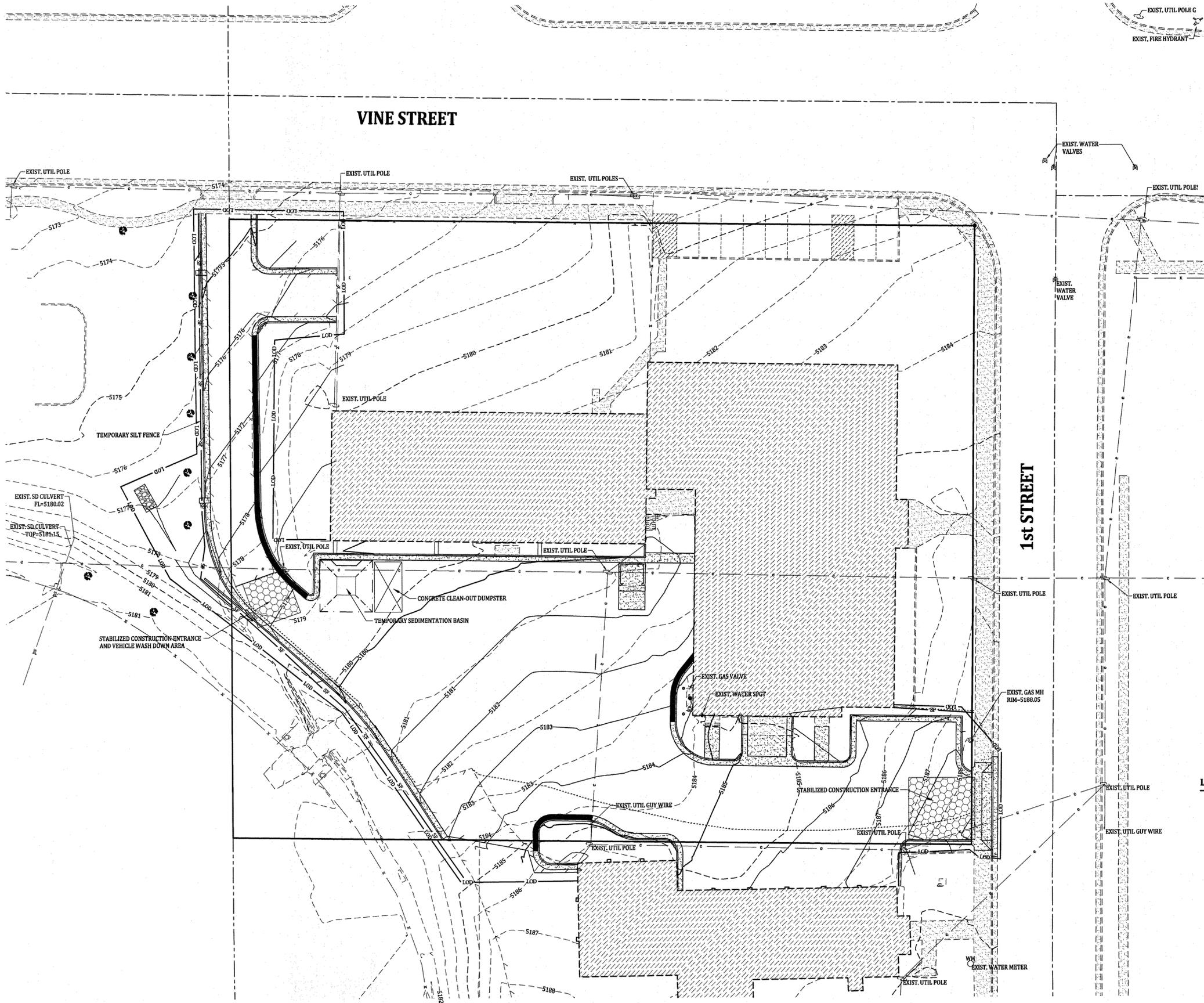


VICINITY MAP
NOT TO SCALE

NOTES

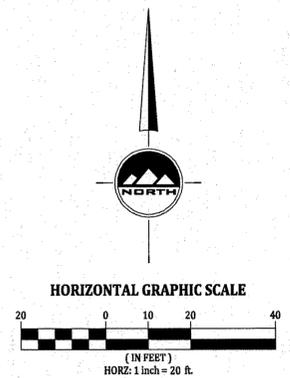
- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ON-SITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ON-SITE.
- ALL WORK SHALL COMPLY WITH CURRENT APWA PLANS AND SPECIFICATIONS, AND WITH CITY STANDARD PLANS AND SPECIFICATIONS.
- DISTURBED LAND SHALL BE KEPT TO A MINIMUM - NO SITE CLEARING MORE THAN 14 CALENDAR DAYS AHEAD OF CONSTRUCTION IN ANY GIVEN AREA SHALL BE ALLOWED.
- RESSEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
- DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION - NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES.
- STABILIZED CONSTRUCTION ENTRANCE, VEHICLE WASH-DOWN AREA, AND SEDIMENTATION AND CLEANOUT BASIN HAVE BEEN SHOWN AT SUGGESTED LOCATION. CONTRACTOR MAY MOVE TO OTHER LOCATION IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
- NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT POLLUTION OF STORM WATER PER PROJECT SWPPP.
- PLAN LOCATIONS SHOWN FOR BMP'S ARE APPROXIMATE. ACTUAL LOCATIONS AND CONFIGURATIONS SHALL BE FIELD-DETERMINED BY THE OWNER/OPERATOR.
- NOT ALL BMP'S SHOWN CAN OR SHOULD BE IMPLEMENTED SIMULTANEOUSLY AND/OR FOR THE DURATION OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
- EXISTING TOPSOIL IS TO BE HARVESTED WHEN GROUND IS CLEARED. TOPSOIL SHALL THEN BE STOCKPILED ON-SITE FOR USE IN AREAS NOT OTHERWISE TO BE LANDSCAPED, TO ACCELERATE REVEGETATION AND STABILIZATION. AS AN ALTERNATE TO STOCKPILING TOPSOIL ON-SITE, OWNER/OPERATOR MAY IMPORT TOPSOIL TO AREAS TO BE STABILIZED FROM OFFSITE.

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			



LEGEND

- SF TEMPORARY SILT FENCE PER DETAIL "B"
- PROPOSED CONCRETE
- EXISTING CONCRETE
- LOD LIMITS OF DISTURBANCE
- GRADE BREAK
- EXIST MINOR CONTOURS 1' INCREMENT
- EXIST MAJOR CONTOURS 5' INCREMENT
- MINOR CONTOURS 1' INCREMENT
- MAJOR CONTOURS 5' INCREMENT



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4110 STATE OFFICE BUILDING
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CONTACT:
LUCAS DAVIS
PHONE: 801-538-3791
FAX: 801-538-3276

**NATIONAL GUARD ARMY
PARKING LOT DESIGN
1st STREET & VINE STREET
TOOELE, UTAH**



NO.	DATE	REVISION	BY
1			
2			
3			
4			
5			
6			
7			
8			

EROSION CONTROL PLAN

PROJECT NUMBER: T1377 DATE: 10/1/08
DRAWN BY: MA CHECKED BY:
PROJECT MANAGER: DK

1. PURPOSE/ SCOPE

THIS STORM WATER POLLUTION PLAN HAS BEEN PREPARED FOR THE NATIONAL GUARD ARMORY PARKING LOT IN TOOELE, UTAH. THE PURPOSE OF THE PLAN IS TO PROVIDE THE CONTRACTOR AND OWNER WITH DIRECTION HOW TO PREVENT THE POLLUTION OF THE RECEIVING WATERS DOWNSTREAM FROM THE SITE.

THE STORM WATER POLLUTION PREVENTION PLAN HAS BEEN DEVELOPED TO COMPLY WITH STATE AND LOCAL BEST MANAGEMENT PRACTICES AND REGULATORY REQUIREMENTS. THE PLAN, IF PROPERLY IMPLEMENTED, SHOULD RESULT IN DISCHARGE OF WATER TO THE ENVIRONMENT WITHOUT THE VIOLATION OF WATER QUALITY STANDARDS.

THE CONTRACTOR'S AND OWNER'S PERSONNEL WHOSE ACTIVITIES COULD AFFECT THE STORM RUNOFF FROM THE SITE SHALL BE EDUCATED AND TRAINED WITH THE NECESSARY INFORMATION TO ENABLE THEM TO CONDUCT THEIR WORK IN SUCH A MANNER AS TO COMPLY WITH THIS PLAN, AND WITH LOCAL, COUNTY, STATE, AND FEDERAL REGULATIONS REGARDING STORM WATER POLLUTION PREVENTION.

A SIGNED COPY OF THIS PLAN SHALL BE KEPT ON SITE DURING ALL PHASES OF CONSTRUCTION, OR AT A DESIGNATED PLACE OFF SITE WHEN PERSONNEL ARE NOT ON SITE.

2. OWNER'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND REFERENCES WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEFS, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

Table with 2 columns: Name/Title and Date. Includes Lucas Davis, Division of Facilities Construction and Management.

3. SITE CONTACT INFORMATION:

OWNER'S REPRESENTATIVE: LUCAS DAVIS, DIVISION OF FACILITIES CONSTRUCTION AND MANAGEMENT, 4110 STATE OFFICE BUILDING, SALT LAKE CITY, UTAH 84114. ENVIRONMENTAL PROTECTION AGENCY, DENVER, COLORADO (800)757-4372.

STATE OF UTAH, DEPARTMENT OF ENVIRONMENTAL QUALITY, DIVISION OF WATER QUALITY, 288 NORTH 1450 WEST, P.O. BOX 144670, SALT LAKE CITY, UTAH 84114. NATIONAL RESPONSE CENTER HOTLINE (800) 424-8802.

4. REFERENCES

- SWPPP DOCUMENTS: THE FOLLOWING SHEETS ARE PART OF THE SWPPP AND MUST BE KEPT WITH THIS SHEET ON-SITE AS PART OF THE PLAN: COVER SHEET, VICINITY MAP, SHEET C-2 GRADING AND DRAINAGE PLAN, DRAINAGE PATTERNS, DISCHARGE POINT, PERMANENT EROSION CONTROLS, SHEET C-3 EROSION CONTROL PLAN, LIMITS OF DISTURBANCE, TEMPORARY EROSION CONTROLS, BMP SITE PLAN AND DETAILS UPDES PERMIT (COPY TO BE KEPT WITH SWPPP ON-SITE).

5. REVISIONS AND AMENDMENTS:

- 5.1 FIRST APPRAISAL: THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF POTENTIAL VIOLATIONS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY.
5.2 WHEN TO AMEND: THIS PLAN SHALL BE AMENDED WHENVER: A) THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE THAT HAS A SUBSTANTIAL EFFECT ON THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE.
5.3 TRACKING AMENDMENTS: AMENDMENTS AND REVISIONS TO THIS PLAN SHALL BE NOTED IN THE REVISION BLOCK ON THE TITLE BLOCK (ON THE RIGHT SIDE OF EACH SHEET), INCLUDING TYPE OF CHANGES AND DATE OF CHANGES.

6. PROJECT MANAGEMENT

- 6.1 SIGNED SWPPP AVAILABLE: A SIGNED COPY OF THIS SWPPP SHALL BE MAINTAINED ON-SITE AT ALL TIMES, OR SHALL BE AVAILABLE OFF-SITE AT A LOCATION POSTED ON-SITE, WHEN PERSONNEL ARE NOT PRESENT ON-SITE.
6.2 PHASING OF CONSTRUCTION: THE PROJECT WILL BE PHASING AS FOLLOWS: A) OBTAIN NECESSARY LOCAL APPROVALS & PERMITS, FILE STATE NOTICE OF INTENT (N.O.I.)
6.3 TRAINING: CONTRACTOR WILL PROVIDE ON-SITE TRAINING TO KEY PERSONNEL RESPONSIBLE FOR COMPLIANCE WITH THE SWPPP.

7. CONTRACTOR'S CERTIFICATION

THE GENERAL CONTRACTOR AND ANY SUBCONTRACTORS WHOSE WORK MAY AFFECT THE STORM WATER DISCHARGE AND/OR BMP'S IN THIS PLAN ARE REQUIRED TO CERTIFY THE FOLLOWING:

WE, THE UNDERSIGNED, HEREBY CERTIFY UNDER PENALTY OF LAW THAT WE UNDERSTAND AND WILL COMPLY WITH THE STORM WATER POLLUTION PREVENTION PLAN AND WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS FOR THE PROTECTION OF STORM WATER DISCHARGE. WE UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE AS PART OF THIS CERTIFICATION.

Table with 4 columns: Signature, Date, Company, Responsible For. Includes Lucas Davis, Division of Facilities Construction and Management.

8. CONSTRUCTION ENVIRONMENTAL SUMMARY

- 8.1 DESCRIPTION OF PROJECT: THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT AN ASPHALT PARKING LOT WITH CURB AND GUTTER.
8.2 NATURE OF WORK: CONSTRUCTION OF THE PARKING LOT WILL INCLUDE THE FOLLOWING EARTH-DISTURBING ACTIVITIES: OFFSITE PLACEMENT OF CONCRETE DIVERSION WALL TO PROTECT PARKING LOT FROM EROSION CURRENTLY UNDERMINING THE EXISTING ASPHALT, EXCAVATION AND PLACEMENT OF FILL TO GRADE, ASPHALT AND CONCRETE PAVING.
8.3 SITE INFORMATION: PROPOSED CONSTRUCTION: NEW ASPHALT PARKING LOT. TOTAL SITE AREA: 1.73 ACRES. TOTAL PROJECT AREA: 0.43 ACRES. TOTAL DISTURBED AREA: 0.43 ACRES.

12. SEDIMENT CONTROLS

- 12.1 DUST CONTROL: SOILS, GRAVELS, ETC. WHETHER STOCKPILED OR PLACED, SHALL BE KEPT COVERED AND/OR ADEQUATELY MOIST TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE.
12.2 RINOFF INTERCEPTION: BEFORE BEING DISCHARGED FROM THE CONSTRUCTION SITE, SEDIMENT-CONTAMINATED STORM WATER WILL BE PROCESSED IN THE STORM WATER TREATMENT SYSTEM INCLUDING SEDIMENT TRAPS AND/OR SEDIMENTATION BASINS.
12.3 SEQUENCING: SEDIMENT PONDS AND TRAPS, VEGETATED BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, AND OTHER BMP'S INTENDED TO TRAP SEDIMENT ON SITE WILL BE INSTALLED BEFORE OTHER LAND-DISTURBING ACTIVITIES TAKE PLACE.

13. SOIL STABILIZATION

- 13.1 TOPSOIL CONSERVATION: EXISTING TOPSOIL SHALL BE HARVESTED WHEN AN AREA IS TO BE DISTURBED, AND STOCKPILED ON-SITE. TOPSOIL SHALL BE SPREAD WHEN FINISH GRADE IS ACHIEVED IN ORDER TO ENCOURAGE REVEGETATION.
13.2 MULCHING AND EROSION CONTROL MATS: ONCE DISTURBED LAND HAS BEEN WORKED TO FINISH GRADE, OR IS TO BE LEFT UNWORKED FOR MORE THAN 14 CALENDAR DAYS, THE LAND SHALL BE STABILIZED BY ONE OF THE FOLLOWING METHODS, TO BE DETERMINED AT A MINIMUM BY THE GRADE CONSTRAINTS LISTED.
13.3 TEMPORARY NATIVE SEEDING: AREAS OF SITE NOT TO BE IMMEDIATELY BUILT OUT SHALL BE REVEGETATED AFTER CONSTRUCTION UNTIL PERMANENT CONSTRUCTION BEGINS.

14. SLOPE PROTECTION

- 14.1 GENERAL PRACTICES: CUT AND FILL SLOPES ON THIS PROJECT HAVE BEEN DESIGNED AND WILL BE CONSTRUCTED SO AS TO MINIMIZE EROSION. SOIL TYPES HAVE BEEN ANALYZED AND CONSIDERED FOR THEIR POTENTIAL TO ERODE.
14.2 SUGGESTED BMP'S: SURFACE ROUGHENING, GRADIENT TERRACES, INTERCEPTOR DIKE AND SWALE, GRASS-LINED CHANNELS, PIPE SLOPE DRAIN, SUBSURFACE DRAINS, LEVEL SPREADER, CHECK DAMS.
14.3 TEMPORARILY MODIFIED CATCHMENT STRUCTURES: BENCHING, CHANNEL STABILIZATION, CULVERTS.

15. DRAIN INLET PROTECTION

- 15.1 EXISTING STORM DRAINS: EXISTING STORM DRAIN INLETS WILL BE PROTECTED TO PREVENT STORM WATER FROM ENTERING WITHOUT FIRST BEING FILTERED OR TREATED TO REMOVE SEDIMENT.
15.2 NEWLY CONSTRUCTED STORM DRAINS:
15.3 TEMPORARILY MODIFIED CATCHMENT STRUCTURES:

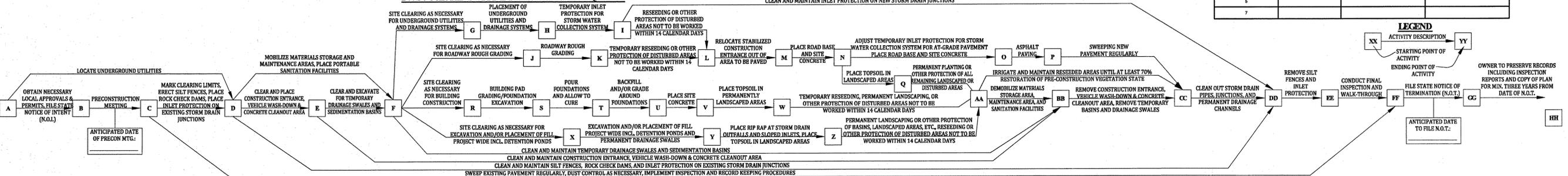
16. STORM WATER OUTLET PROTECTION

- 16.1 FILTER STRIP: TEMPORARY SEDIMENTATION POND OVERFLOWS SHALL DISCHARGE ACROSS EROSION CONTROL MAT OR RIP RAP, AND PERMANENT DETENTION BASINS SHALL DISCHARGE ACROSS RIP RAP, ALLOWING SEDIMENT AND OTHER CONTAMINANTS TO BE INTERCEPTED BEFORE REACHING RECEIVING WATERS, AND TO PROTECT DISCHARGE FROM EROSION.
16.2 OUTLET PROTECTION: ADEQUATE ENERGY DISSIPATION, EROSION CONTROL, AND SOIL STABILIZATION MEASURES (E.G. ROCK OR OTHER ENERGY DISSIPATION TECHNIQUES) WILL BE PROVIDED FOR ALL POINT SOURCE DISCHARGES OF STORM WATER, INCLUDING RUN-ON DISCHARGES AND OUTLETS FROM ON-SITE DISCHARGES.

17. SPILL PREVENTION AND RESPONSE

- 17.1 NON-SEDIMENT POLLUTANTS: NON-SEDIMENT POLLUTANTS THAT MAY BE PRESENT DURING CONSTRUCTION ACTIVITIES INCLUDE: PETROLEUM PRODUCTS INCLUDING FUEL, LUBRICANTS, HYDRAULIC FLUIDS, AND FORM OILS.
17.2 GENERAL MATERIALS HANDLING PRACTICES: HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ALL APPLICABLE LAWS. HAZARDOUS MATERIALS SHALL BE KEPT OFF-SITE, OR SHALL BE KEPT IN AN IMPERVIOUS CONTAINED AREA AND COVERED AS APPROPRIATE SO THAT SPILLS WILL NOT RUN OFF OR SEEP INTO THE GROUND.
17.3 VEHICLES AND EQUIPMENT: FIX LEAKS OF FUEL, OIL, ETC. IMMEDIATELY. PERFORM REPAIRING AND SERVICING OFF-SITE WHENEVER POSSIBLE.

20. SUGGESTED SWPPP IMPLEMENTATION SEQUENCE



- 17.4 PH-MODIFYING SOURCES: PH-MODIFYING SOURCES WILL BE MAINTAINED TO PREVENT CONTAMINATION OF RUNOFF AND STORM WATER COLLECTED ON-SITE.
17.5 SPILL KITS AND TRAINING: SPILL KITS CONTAINING MATERIALS AND EQUIPMENT FOR SPILL RESPONSE AND CLEANUP WILL BE MAINTAINED AT THE SITE.
17.6 HAZARDOUS MATERIAL SPILLS: IN THE EVENT OF A SPILL, WORK SHALL BE STOPPED AND BEST EFFORTS MADE TO CONTAIN THE SPILL.

- 17.7 SPILL NOTIFICATIONS: THE SITE SUPERINTENDENT, OR HIS DESIGNER, WILL BE RESPONSIBLE FOR COMPLETING THE SPILL REPORTING FORM AND FOR REPORTING THE SPILL TO THE APPROPRIATE STATE OR LOCAL AGENCY.
17.8 CONCRETE WASH-OUT: A BASIN OR DUMPSTER SHALL BE PLACED NEAR THE ENTRANCE TO THE PROJECT FOR THE PURPOSE OF WASHING OUT CONCRETE TRUCK CHUTES.
17.9 SANITARY WASTE: PORTABLE SANITARY FACILITIES SHALL BE MAINTAINED DURING CONSTRUCTION AND ALL WASTE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS.
17.10 CONSTRUCTION DEBRIS: TRASH AND GARBAGE, WASTE DISPOSAL CONTAINER(S) SHALL BE KEPT ON-SITE AS NEEDED TO KEEP THE SITE CLEAR OF OBSTRUCTION.

18. BMP MAINTENANCE & INSPECTION

- 18.1 MAINTENANCE: ALL TEMPORARY AND PERMANENT EROSION CONTROL BMP'S WILL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THE INTENDED FUNCTION.
18.2 OWNER'S INSPECTION SCHEDULE: IN ADDITION, THE OWNER SHALL PROVIDE INSPECTION OF THE SITE BY QUALIFIED PERSONNEL AS DESCRIBED BELOW TO VERIFY COMPLIANCE WITH THIS SWPPP.
18.3 INSPECTION CRITERIA: POINTS, AREAS, BMP'S AND ACTIVITIES TO BE INSPECTED: DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM.

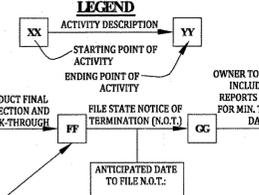
- 18.4 INSPECTION INDUCED PLAN REVISIONS: BASED ON THE RESULTS OF THE INSPECTION, THE SITE DESCRIPTION IDENTIFIED IN THE PLAN AND POLLUTION PREVENTION MEASURES IDENTIFIED IN THE PLAN SHALL BE REVISED AS APPROPRIATE.
18.5 INSPECTION REPORT: A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN.
18.6 RECORD KEEPING: THE OWNER SHALL RETAIN COPIES OF INSPECTION REPORTS, THE SWPPP, THE STATE NOTICE OF INTENT (N.O.I.) AND ANY OTHER APPLICABLE REPORTS FOR THREE YEARS FOLLOWING THE COMPLETION OF THE PARKING LOT CONSTRUCTION.

19. PROJECT CLOSE-OUT

- 19.1 REVEGETATION: ALL REMAINING DISTURBED LAND SHALL BE RESEEDED WITH NATIVE GRASS MIXTURE AND PROTECTED UNTIL GRASSES ARE ESTABLISHED.
19.2 REMOVAL OF TEMPORARY BMP'S: ALL TEMPORARY EROSION CONTROL BMP'S WILL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED.
19.3 CLEANUP: ALL INLETS AND JUNCTIONS SHALL BE CLEANED. ALL WASTE MATERIALS SHALL BE REMOVED AND PROPERLY DISPOSED OF.
19.4 NOTICE OF TERMINATION (N.O.T.): AFTER COMPLETION OF CONSTRUCTION AND CLEANUP, THE OWNER SHALL FILE A NOTICE OF TERMINATION (NOT) WITH THE STATE DEQ DIVISION OF WATER QUALITY TO CERTIFY THAT CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED AND THE SITE PROPERLY CLEANED UP AND COMMISSIONED.

19.5 SUBSEQUENT CONSTRUCTION PROJECTS: ADJACENT PROJECTS ARE NOT COVERED BY THIS SWPPP AND SHALL BE HANDLED SEPARATELY.

REVISION SCHEDULE table with columns: NUMBER, DATE, AUTHOR, COMPANY REPRESENTATIVE SIGNATURE. Rows 1-7.



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SALT LAKE CITY, UTAH 84114
CONTACT: LUCAS DAVIS
PHONE: 801-538-3791
FAX: 801-538-3276

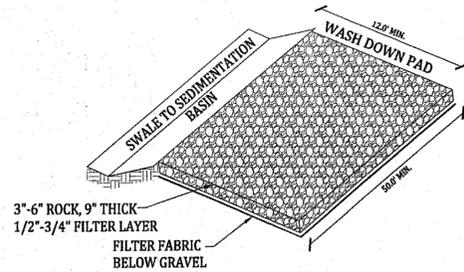
NATIONAL GUARD ARMORY
PARKING LOT DESIGN
1st STREET & VINE STREET
TOOELE, UTAH



STORM WATER POLLUTION PREVENTION PLAN

PROJECT NUMBER: T1377
DATE: 9/30/08
DRAWN BY: MA
CHECKED BY:
PROJECT MANAGER: DK

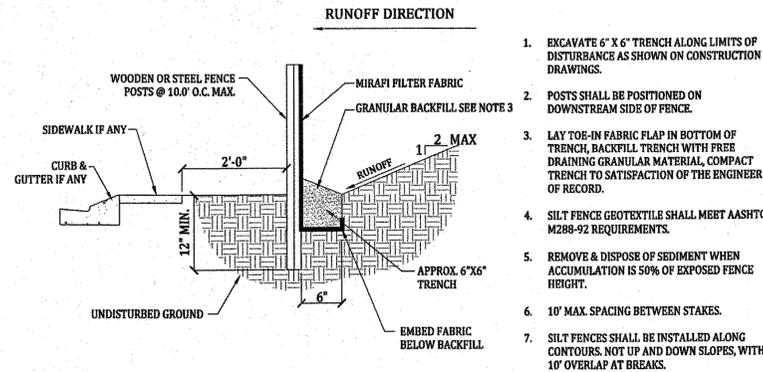
CALL BLUESTAKES
@ 1-800-662-4111 AT LEAST
48 HOURS PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.



NOTE: PLACE SIGN ADJACENT TO ENTRANCE * CONSTRUCTION TRAFFIC ONLY - ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATION *

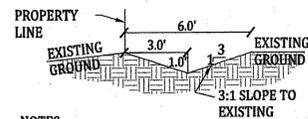
TEMPORARY VEHICLE WASHDOWN & STABILIZED CONSTRUCTION ENTRANCE

G
C-3 SCALE: NONE



TEMPORARY SILT FENCE

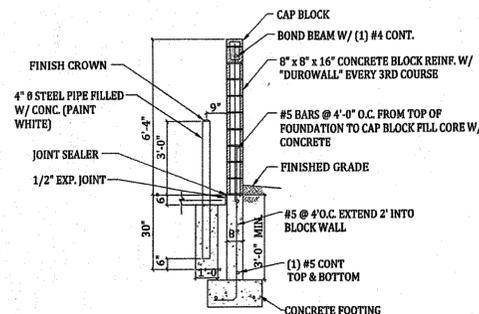
H
C-3 SCALE: NONE



- NOTES:
- PROTECT CHANNEL FROM EROSION AS NECESSARY WITH RIP RAP, EROSION CONTROL MATS AND /OR ROCK CHECK DAMS
 - SEDIMENT TRAPS REQUIRED AT 200' SPACING OR AS SHOWN ON PLANS, WHICHEVER IS MORE STRINGENT.
 - FOR SWALES STEEPER THAN 5%, STABILIZE SWALES WITH RIP RAP LINING IN SWALE AND ROCK CHECK DAMS SPACED AT EVERY THREE FEET OF DROP IN FLOWLINE.

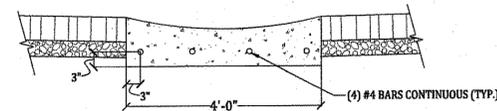
DRAINAGE SWALE

I
C-3 SCALE: NONE



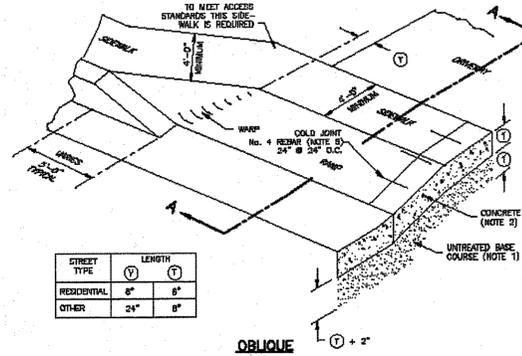
TYP. BOLLARD DETAIL

J
C-1 SCALE: NONE

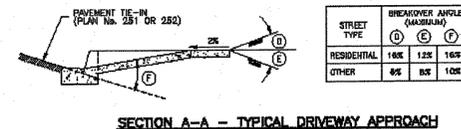


4' WATERWAY DETAIL

E
C-1 SCALE: NONE



SECTION A-A - APPROACH REQUIRING SERVICE TRUCK ACCESS



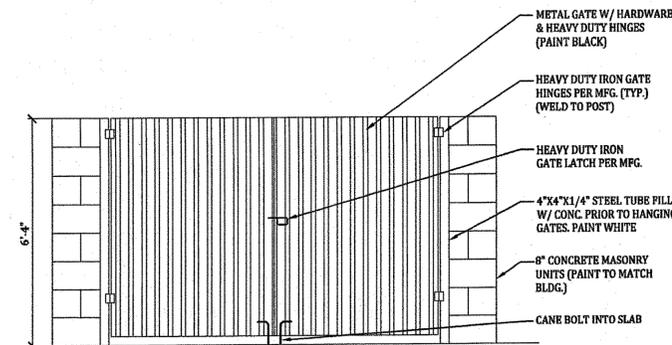
SECTION A-A - TYPICAL DRIVEWAY APPROACH

Flare driveway approach - type B

December 2005

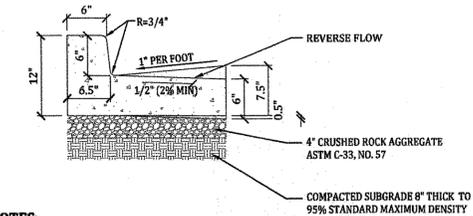
41

Rev No. 221
Drawing 2 of 2



TRASH ENCLOSURE ELEVATION

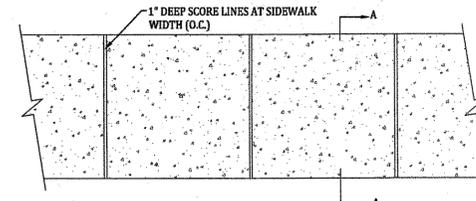
F
C-1 SCALE: NONE



NOTES:
1. PROVIDE EXPANSION JOINT AT 60' MAX. O.C.
2. PROVIDE 2\"/>

TYP. 2'-6\"/>

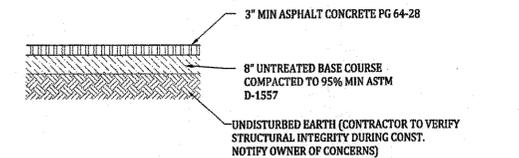
A
C-1 SCALE: NONE



- NOTES:
1. EDGE SIDEWALK WITH 1/2\"/>

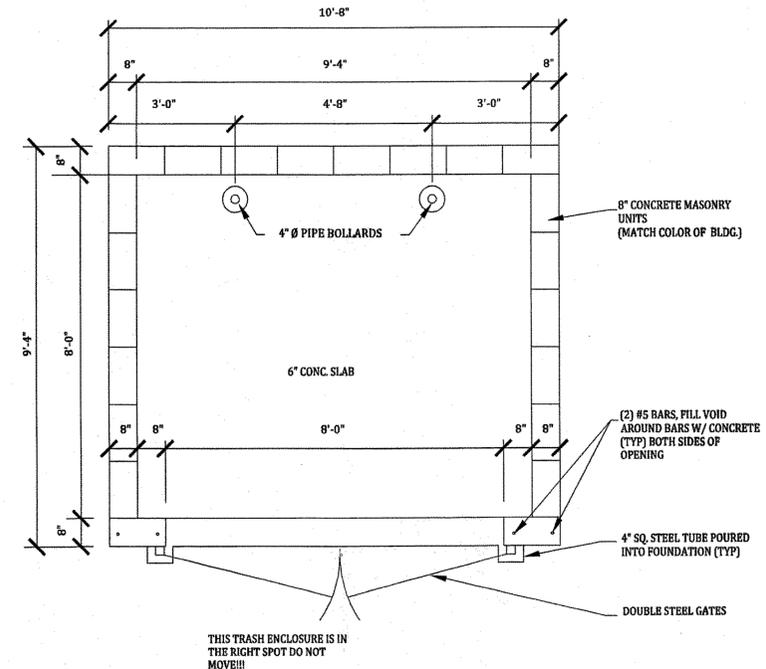
TYP. SIDEWALK DETAIL

B
C-1 SCALE: NONE



TYP. ASPHALT PAVING

C
C-1 SCALE: NONE



TYP. TRASH ENCLOSURE

D
C-1 SCALE: NONE



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FAX: 801.538.3276

**NATIONAL GUARD ARMORY
PARKING LOT DESIGN**
1st STREET & VINE STREET
TOOELE, UTAH



NO.	DATE	REVISION	BY
1			
2			
3			
4			
5			
6			
7			
8			

DETAILS SHEET

PROJECT NUMBER: T1377
DATE: 9/30/08
DRAWN BY: MA
CHECKED BY:
PROJECT MANAGER: DK

D-1