



State of Utah

GARY R. HERBERT  
Governor

GREGORY S. BELL  
Lieutenant Governor

Department of Administrative Services

KIMBERLY K. HOOD  
Executive Director

Division of Facilities Construction and Management

DAVID G. BUXTON  
Director

## ADDENDUM NO. 2

Date: August 23, 2010

To: Contractors

From: Michael Ambre

Reference: White Memorial Chapel Exterior Improvements  
Capitol Preservation Board – Salt Lake City, Utah  
Project No.08235050

Subject: **Addendum No. 2**

Pages	Addendum	1 page
	Architects Addendum	24 pages
	<u>Revised Bid Form</u>	<u>2 pages</u>
	Total	27 pages

**Note:** *This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to Disqualification.*

**2.1 SCHEDULE CHANGES** – There are no changes to the project schedule.

**2.2 GENERAL** – MJSA Architecture, clarifications to specifications. Please see attached.

**Utah!**  
Where ideas connect

<b>MJSA</b>	357 West Pierpont Ave. – Salt Lake City, Utah 84101 Telephone 801.364.5161 – Facsimile 801.364.5167		<b>ADDENDUM</b>
	ARCHITECTURE	INTERIOR DESIGN	

Transmitted to:

White Memorial Chapel Exterior Repairs

Michael Ambre, Project Manager  
DFCM  
4110 State Office Building  
Salt Lake City, UT 84114

DFCM Project No. 08235050

MJSA Project No. 10010

August 23, 2010

*Via email*

---

**ADDENDUM #2 – White Memorial Chapel Exterior Repairs (Bid Set dated July 22, 2010)**

---

This Addendum is for all persons preparing Bids for the above named project; and, as such, shall be made a part of the Contract Documents. Changes, corrections, and deletions enumerated herein shall be included in the Bidder's Proposal. Bidders shall acknowledge receipt of this Addendum in the space provided on the Proposal; failure to do so may subject Bidder to disqualifications. In case of any conflict between the drawings, specifications, any previous addenda and this addendum, this addendum shall govern.

**GENERAL COMMENTS:**

- 1.01 The DFCM project number was incorrectly noted on the cover sheet AG0-00, all titleblocks, cover of Project Manual and headers of all Specification sections. The corrected project number is now shown on all attached revised sheets, sections, etc. but is not 'clouded.' Other sheets, sections, covers, etc. are not provided here when this correction was the only revision.
- 1.02 Sheet AG0-01 revised to include list of Special Inspections and updated Code years/editions.

**ARCHITECTURE:**

- 1.03 A3/AD1-01 revised to include removal of existing historic building sign for reinstallation. Also, both existing accessible parking signs are now left in place.
- 1.04 A3/AS1-01 and A1/AS1-02 revised to clarify/simplify scope of preparation for future exterior light standards (i.e., conduit only); include detectable warning strip and curbs at west end of sidewalk; slightly modify north stair handrails; relocate existing historic building sign; and delete relocation of existing accessible parking signage.
- 1.05 Minor handrail extension revision shown in A2/AE1-01 and D1/AE3-01.
- 1.06 Details A1, B4, C2, D1 and D4/AE3-01 have several corrected/clarified Reference Note call-outs. Several Reference Notes also revised. Primary change is clarification of location for repair of foundation parging and diameter of balusters. Elevation of suspended EFIS ceiling also adjusted to clear reconstructed arch (now shown in C2/AE3-01). Patching of holes in existing masonry added in D1/AE3-01.

**STRUCTURAL CLARIFICATIONS:**

- 1.07 Referring to detail B2/SE5-01, the new suspended stair (landing) slab is not doweled into the existing building structure rather spans from the tops of the new/extended concrete stair walls.

- 1.08 Referring to detail B3/SE5-01, the new reinforced concrete wall does attach to an existing concrete stair foundation wall per detail B4/SE5-01.

**SPECIFICATIONS:**

- 1.09 Lists of manufacturers, suppliers, fabricators, etc. in various Specification sections are typically prefaced with "... may include, but are not limited to, the following...". In these situations (e.g., Cast Stone manufacturer) other manufacturers may be acceptable if they fully meet Quality Assurance, experience, testing, fabrication, etc. requirements as noted in the Specifications. Contractor to provide appropriate documentation and information to confirm compliance with listed requirements.
- 1.10 Specification Section 01100 Summary revised to clarify Scope of Work and also present project and scheduling coordination required for previously-scheduled building use approximately October 2-11, 2010.
- 1.11 Section 01210 Allowances revised deleting exterior light standards, wiring, etc. and shifting/including re-creation of art glass transom above main entry as an allowance.
- 1.12 Section 01500 Temporary Facilities and Controls revised deleting requirement for Field Offices.

**ATTACHMENTS:**

- Sheet AG0-01
- Sheet AD1-01
- Sheet AS1-01
- Sheet AS1-02
- Sheet AE1-01
- Sheet AE3-01
- Specification Section 01100
- Specification Section 01210
- Specification Section 01500

Issued by:



Charles M. Shepherd, RA  
MJSA Architects  
801.364.5161  
[cshepherd@mjsaa.com](mailto:cshepherd@mjsaa.com)

cc: Michael Ambre, Project Manager; DFCM (printed copy)

## SECTION 01100 - SUMMARY

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. Section includes:

- 1. Project information.
- 2. Work covered by Contract Documents.
- 3. Access to site.
- 4. Coordination with occupants.
- 5. Work restrictions.
- 6. Specification and drawing conventions.

- B. Related Section:

- 1. Division 1 Section "Temporary Facilities and Controls" for limitations and procedures governing temporary use of Owner's facilities.

#### 1.3 PROJECT INFORMATION

- A. Project Identification: White Memorial Chapel Exterior Repairs

- 1. Project Location: Approx. 160 East 300 North, Salt Lake City, Utah

- B. Owner: State of Utah, Division of Facilities Construction & Management, 4110 State Office Building, Salt Lake City, Utah 84114. Phone: 801.538.3018

- 1. Owner's Representative: Mike Ambre.
- 2. Owner's Project Number: 08235050.

- C. Architect: MJSA Architects, 357 West Pierpont Ave., Salt Lake City, Utah 84101.

- D. Other Owner Consultants: The Owner has retained the following design professionals who have prepared designated portions of the Contract Documents:

- 1. None.

#### 1.4 WORK COVERED BY CONTRACT DOCUMENTS

- A. The Work of the Project is defined by the Contract Documents and includes the following:

**Replace all buttress haunch and crenellation caps with custom cast stone units (simulated sandstone appearance) set into existing brick masonry. Repair/repoint adjacent brick masonry where deteriorated.**

**Rebuild deteriorated south egress stairs to correct code violations and create serviceable, compliant access to rear doors. Salvage brick to be reinstalled as veneer on new reinforced concrete walls. Replace all guard- and handrails. Correct existing grade problems at rear basement windows.**

**Replace existing front (north) entry sidewalks, stairs and ramps to meet code requirements. Include code-compliant bronze handrails. Install new conduit only for future exterior standards ('historic' pole lights) on new entry cheek walls; wiring and fixtures to be provided in separate parking lot lighting project. Repair irrigation system and landscaping to functioning, pre-project condition.**

**Replace existing transom above main entry with new art glass (leaded/stained glass) installation, replicating historic design but identifying the building as the "White Memorial Chapel."**

B. Type of Contract

1. Project will be constructed under a single prime contract.

1.5 ACCESS TO SITE

- A. General: Contractor shall have limited use of Project site for construction operations as indicated on Drawings by the Contract limits and as indicated by requirements of this Section.
- B. Use of Site: Limit use of Project site to areas within the Contract limits indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.
1. Driveways, Walkways and Entrances: Keep driveways, loading areas, and entrances serving premises clear and available to Owner, Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or storage of materials.
    - a. Schedule deliveries to minimize use of driveways and entrances by construction operations.
    - b. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.
  2. Contractor and Sub-Contractors shall limit their use of the site to that area where they are authorized to work.
- C. Staging and Parking: Minimize staging and parking requirements. Coordinate with Owner and limit use of parking as allowed by Owner.
- D. Condition of Existing Building: Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations.
- E. Condition of Existing Site: Protect portions of site, landscape and related features affected by construction operations. Maintain entire project site in an orderly and neat condition. Clean site

at the end of every work day removing all loose or unsightly material, packaging or trash. Do not allow any material or refuse to blow out of project site or wash into drains or landscaping.

#### 1.6 OWNER'S OCCUPANCY REQUIREMENTS

- A. Owner Occupancy of Completed Areas of Construction: Owner reserves the right to occupy and/or use completed areas of building, before Substantial Completion, provided such occupancy or use does not interfere with completion of the Work. Such use shall not constitute acceptance of the total Work.
  - 1. Architect will prepare a Certificate of Substantial Completion for each specific portion of the Work to be occupied before Owner occupancy.
  - 2. Obtain a Certificate of Occupancy from authorities having jurisdiction before Owner occupancy.
  - 3. On occupancy, Owner will assume responsibility for maintenance and custodial service for occupied portions of building that remain in full control of the Owner.
  - 4. Maintain access to existing walkways, corridors, and other adjacent occupied or in-use facilities. Do not close or obstruct driveways, walkways, corridors, or other occupied or used facilities without written permission from Owner and authorities having jurisdiction.
- B. Provide not less than 72 hours' notice to Owner of activities that will affect Owner's operations.
- C. **Coordinate execution of Scope of Work with Owner to allow for previously scheduled use of building (approximately October 2, 2010 through October 11, 2010). At this interim and temporary period of Owner Occupancy all sidewalks and ramps; hand- and guardrails; entry transom, etc. must be in fully serviceable condition as well as complying with building code requirements if new or temporary work. Coordinate schedule and any temporary work with Owner and the authority having jurisdiction. All temporary work must be fully presentable (e.g., finished, painted surfaces; clean, safe joints; etc.) for scheduled weddings or other events.**

#### 1.7 PEDESTRIAN PROTECTION

- A. Pedestrian and Visitor Protection: Contractor is responsible to provide all necessary control and protection as required by IBC 2006 Chapter 33. Coordinate location, installation and sequencing with Owner and driveway and other access requirements.
- B. Appearance: All pedestrian protection and related elements to be maintained in good repair and good appearance (e.g., fully painted wood, screened fencing, etc.).

#### 1.8 WORK RESTRICTIONS

- A. Work Restrictions, General: Comply with restrictions on construction operations.
  - 1. Comply with limitations on use of public streets and other requirements of authorities having jurisdiction.
- B. On-Site Work Hours: Limit work on the existing building or site to normal business working hours of 7:30 a.m. to 6:30 p.m., Monday through Friday, except as otherwise indicated.
  - 1. Weekend Hours: Saturday, allowed; Sunday, not allowed.

2. Early Morning Hours (before 7 am): Minimize noisy work, including mechanical demolition, solid compaction, waste removal operations, vehicle or equipment operation, etc. to the greatest extent possible. Follow all state and local regulations.
  3. Hours for Utility Shutdowns: Coordinate with Owner, adjacent affected property owners, Salt Lake City Corporation, and other Authorities Having Jurisdiction.
- C. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after providing temporary utility services according to requirements indicated:
1. Notify Owner not less than five days in advance of proposed utility interruptions.
  2. Do not proceed with utility interruptions without Owner's written permission and the written permission of any impacted property owners and any Authority Having Jurisdiction.
- D. Noise, Vibration, and Odors: Coordinate operations that may result in high levels of noise and vibration, odors, or other disruption to Owner occupancy with Owner.
1. Notify Owner not less than two days in advance of proposed disruptive operations.
  2. Obtain Owner's written permission before proceeding with disruptive operations.
- E. Nonsmoking Building: Smoking is not permitted within the building or within 25 feet (8 m) of any entrances, operable windows, or outdoor air intakes.
- F. Controlled Substances: Use of tobacco products and other controlled substances within the existing building or on the Project site is not permitted.
- G. Employee Identification: Provide identification tags for Contractor personnel working on the Project site. Require personnel to utilize identification tags at all times.
- H. Employee Screening: Comply with Owner's requirements regarding drug and background screening of Contractor personnel working on the Project site.
1. Maintain list of approved screened personnel with Owner's Representative.

#### 1.9 SPECIFICATION AND DRAWING CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
1. Imperative mood and streamlined language are generally used in the Specifications. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.
  2. Specification requirements are to be performed by Contractor unless specifically stated otherwise.
- B. Division 1 General Requirements: Requirements of Sections in Division 1 apply to the Work of all Sections in the Specifications.
- C. Drawing Coordination: Requirements for materials and products identified on the Drawings are described in detail in the Specifications. One or more of the following are used on the Drawings to identify materials and products:

1. Terminology: Materials and products are identified by the typical generic terms used in the individual Specifications Sections.
2. Abbreviations: Materials and products are identified by abbreviations published as part of the U.S. National CAD Standard and scheduled on Drawings.
3. Keynoting: Materials and products are identified by reference keynotes referencing Specification Section numbers found in this Project Manual.

1.10 MISCELLANEOUS PROVISIONS

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 01100

## SECTION 01210 - ALLOWANCES

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
  - 1. Certain items are specified in the Contract Documents by allowances. Allowances have been established in lieu of additional requirements and to defer selection of actual materials and equipment to a later date when direction will be provided to the Contractor. If necessary, additional requirements will be issued by Change Order.
- B. Types of allowances include the following:
  - 1. Lump-sum allowances.
  - 2. Unit-cost allowances.
  - 3. Quantity allowances.
  - 4. Contingency allowances.
  - 5. Testing and inspecting allowances.
- C. Related Sections:
  - 1. Division 1 Section "Unit Prices" for procedures for using unit prices.
  - 2. Division 1 Section "Quality Requirements" for procedures governing the use of allowances for testing and inspecting.
  - 3. Divisions 2 through 16 Sections for items of Work covered by allowances.

#### 1.3 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise Architect of the date when final selection and purchase of each product or system described by an allowance must be completed to avoid delaying the Work.
- B. At Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

#### 1.4 SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances, in the form specified for Change Orders.

- B. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- C. Submit time sheets and other documentation to show labor time and cost for installation of allowance items that include installation as part of the allowance.
- D. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

#### 1.5 COORDINATION

- A. Coordinate allowance items with other portions of the Work. Furnish templates as required to coordinate installation.

#### 1.6 LUMP-SUM ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include taxes, freight, and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner or selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.
- C. Unused Materials: Return unused materials purchased under an allowance to manufacturer or supplier for credit to Owner, after installation has been completed and accepted.
  - 1. If requested by Architect, retain and prepare unused material for storage by Owner. Deliver unused material to Owner's storage space as directed.

#### 1.7 CONTINGENCY ALLOWANCES

- A. Use the contingency allowance only as directed by Architect for Owner's purposes and only by Change Orders that indicate amounts to be charged to the allowance.
- B. Contractor's overhead, profit, and related costs for products and equipment ordered by Owner under the contingency allowance are included in the allowance and are not part of the Contract Sum. These costs include delivery, installation, taxes, insurance, equipment rental, and similar costs.
- C. Change Orders authorizing use of funds from the contingency allowance will include Contractor's related costs and reasonable overhead and profit margins.
- D. At Project closeout, credit unused amounts remaining in the contingency allowance to Owner by Change Order.

#### 1.8 TESTING AND INSPECTING ALLOWANCES

- A. Testing and inspecting allowances include the cost of engaging testing agencies, actual tests and inspections, and reporting results.

- B. The allowance does not include incidental labor required to assist the testing agency or costs for retesting if previous tests and inspections result in failure. The cost for incidental labor to assist the testing agency shall be included in the Contract Sum.
- C. Costs of services not required by the Contract Documents are not included in the allowance.
- D. At Project closeout, credit unused amounts remaining in the testing and inspecting allowance to Owner by Change Order.

#### 1.9 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, prepare a Change Order proposal based on the difference between purchase amount and the allowance, multiplied by final measurement of work-in-place where applicable. If applicable, include reasonable allowances for cutting losses, tolerances, mixing wastes, normal product imperfections, and similar margins.
  - 1. Include installation costs in purchase amount only where indicated as part of the allowance.
  - 2. If requested, prepare explanation and documentation to substantiate distribution of overhead costs and other margins claimed.
  - 3. Submit substantiation of a change in scope of work, if any, claimed in Change Orders related to unit-cost allowances.
  - 4. Owner reserves the right to establish the quantity of work-in-place by independent quantity survey, measure, or count.
- B. Submit claims for increased costs because of a change in scope or nature of the allowance described in the Contract Documents, whether for the purchase order amount or Contractor's handling, labor, installation, overhead, and profit.
  - 1. Do not include Contractor's or subcontractor's indirect expense in the Change Order cost amount unless it is clearly shown that the nature or extent of work has changed from what could have been foreseen from information in the Contract Documents.
  - 2. No change to Contractor's indirect expense is permitted for selection of higher- or lower-priced materials or systems of the same scope and nature as originally indicated.

#### PART 2 - PRODUCTS (Not Used)

#### PART 3 - EXECUTION

##### 3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

##### 3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

3.3 SCHEDULE OF ALLOWANCES

- A. Allowance No. 1: Lump-Sum Allowance: Include the sum of \$5,000 for design, fabrication and installation of the art glass transom over the main entry.**
- 1. Art glass craftsman must have appropriate commercial or ecclesiastical experience similar to proposed installation.**
  - 2. This allowance shall include all necessary design assistance, investigation, detailing, fabrication, back-up bracing, all related material costs, shipping, installation, and Contractor overhead and profit. Scope of Work includes both re-created / re-interpreted historic art glass as well as the transom frame and its repair or refabrication, installation, appropriate detailed wood stops (both interior and exterior), repainting of frame and all other work necessary for a complete execution and installation.**

END OF SECTION 01210

## SECTION 01500 - TEMPORARY FACILITIES AND CONTROLS

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. This Section includes requirements for temporary utilities, support facilities, and security and protection facilities.
- B. Related Sections include the following:
  - 1. Division 1 Section "Summary" for limitations on utility interruptions and other work restrictions.
  - 2. Division 1 Section "Submittal Procedures" for procedures for submitting copies of implementation and termination schedule and utility reports.
  - 3. Division 1 Section "Execution Requirements" for progress cleaning requirements.
  - 4. Divisions 2 through 16 Sections for temporary heat, ventilation, and humidity requirements for products in those Sections.

#### 1.3 DEFINITIONS

- A. Permanent Enclosure: As determined by Architect, permanent or temporary roofing is complete, insulated, and weathertight; exterior walls are insulated and weathertight; and all openings are closed with permanent construction or substantial temporary closures.

#### 1.4 USE CHARGES

- A. General: Cost or use charges for temporary facilities shall be included in the Contract Sum. Allow other entities to use temporary services and facilities without cost, including, but not limited to, Architect, testing agencies, and authorities having jurisdiction.
- B. Electric Power Service: Pay electric power service use charges for electricity used by all entities for construction operations, if required and metered by Owner. Provide connections and extensions of services as required for construction operations.
- C. Water Service: Water from Owner's existing water system is available for use without metering and without payment of use charges. Contractor shall provide connections and extensions of services as required for construction operations.

#### 1.5 SUBMITTALS

- A. Site Plan: Show temporary facilities, utility hookups, staging areas, and parking areas for construction personnel.

1.6 QUALITY ASSURANCE

- A. Electric Service: Comply with NECA, NEMA, and UL standards and regulations for temporary electric service. Install service to comply with NFPA 70.
- B. Tests and Inspections: Arrange for authorities having jurisdiction to test and inspect each temporary utility before use. Obtain required certifications and permits.

1.7 PROJECT CONDITIONS

- A. Temporary Use of Permanent Facilities: Installer of each permanent service shall assume responsibility for operation, maintenance, and protection of each permanent service during its use as a construction facility before Owner's acceptance, regardless of previously assigned responsibilities.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Pavement: Comply with Division 2 pavement Sections.
- B. Portable Chain-Link Fencing: Minimum 2-inch (50-mm), 9-gage, galvanized steel, chain-link fabric fencing; minimum 6 feet (1.8 m) high with galvanized steel pipe posts; minimum 2-3/8-inch- (60-mm-) OD line posts and 2-7/8-inch- (73-mm-) OD corner and pull posts, with 1-5/8-inch- (42-mm-) OD top and bottom rails. Provide galvanized steel bases for supporting posts.
- C. Lumber and Plywood: Comply with requirements in Division 6 Section "Rough Carpentry."
- D. Gypsum Board: Minimum 1/2 inch (12.7 mm) thick by 48 inches (1219 mm) wide by maximum available lengths; regular-type panels with tapered edges. Comply with ASTM C 36/C 36M.
- E. Insulation: Unfaced mineral-fiber blanket, manufactured from glass, slag wool, or rock wool; with maximum flame-spread and smoke-developed indexes of 25 and 50, respectively.
- F. Paint: Comply with requirements in Division 9 painting Sections.

~~2.2 TEMPORARY FACILITIES~~

- ~~A. Field Offices, General: Prefabricated or mobile units with serviceable finishes, temperature controls, and foundations adequate for normal loading. Existing building may be used as Field Office from Notice to Proceed to Substantial Completion.~~
- ~~B. Common Use Field Office: Of sufficient size to accommodate needs of construction personnel. Keep office clean and orderly. Furnish and equip offices as follows:
  - ~~1. Furniture required for Project site documents including file cabinets, plan tables, plan racks, and bookcases.~~
  - ~~2. Conference room of sufficient size to accommodate meetings of 10 individuals. Provide electrical power service and 120-V ac duplex receptacles. Furnish room with conference table and chairs.~~~~

- ~~3. Heating and cooling equipment necessary to maintain a uniform indoor temperature of 68 to 72 deg F (20 to 22 deg C).~~
- ~~4. Lighting fixtures capable of maintaining average illumination of 20 fc (215 lx) at desk height.~~

## 2.3 EQUIPMENT

- A. Fire Extinguishers: Portable, UL rated; with class and extinguishing agent as required by locations and classes of fire exposures.
- B. HVAC Equipment: Unless Owner authorizes use of permanent HVAC system, provide vented, self-contained, liquid-propane-gas with individual space thermostatic control.
  1. Use of gasoline-burning space heaters, open-flame heaters, or salamander-type heating units is prohibited.
  2. Heating Units: Listed and labeled for type of fuel being consumed, by a testing agency acceptable to authorities having jurisdiction, and marked for intended use.
  3. Permanent HVAC System: If Owner authorizes use of permanent HVAC system for temporary use during construction, provide filter at each return air grille in system and remove at end of construction.

## PART 3 - EXECUTION

### 3.1 INSTALLATION, GENERAL

- A. Locate facilities where they will serve Project adequately and result in minimum interference with performance of the Work. Relocate and modify facilities as required by progress of the Work.
- B. Provide each facility ready for use when needed to avoid delay. Do not remove until facilities are no longer needed or are replaced by authorized use of completed permanent facilities.

### 3.2 TEMPORARY UTILITY INSTALLATION

- A. General: Install temporary service or connect to existing service.
  1. Arrange with utility companies, Owner, and existing and adjacent users for time when service can be interrupted, if necessary, to make connections for temporary services.
- B. Water Service: Use of Owner's existing water service facilities will be permitted, as long as facilities are cleaned and maintained in a condition acceptable to Owner. At Substantial Completion, restore these facilities to condition existing before initial use.
  1. Where installations below an outlet might be damaged by spillage or leakage, provide a drip pan of suitable size to minimize water damage. Drain accumulated water promptly from pans.
- C. Sanitary Facilities: Provide temporary toilets, wash facilities, and drinking water for use of construction personnel. Comply with authorities having jurisdiction for type, number, location, operation, and maintenance of fixtures and facilities.

- D. Heating and Cooling: Provide temporary heating and cooling required by construction activities for curing or drying of completed installations or for protecting installed construction from adverse effects of low temperatures or high humidity. Select equipment that will not have a harmful effect on completed installations or elements being installed.
- E. Ventilation and Humidity Control: Provide temporary ventilation required by construction activities for curing or drying of completed installations or for protecting installed construction from adverse effects of high humidity. Select equipment that will not have a harmful effect on completed installations or elements being installed. Coordinate ventilation requirements to produce ambient condition required and minimize energy consumption.
- F. Electric Power Service: Use of Owner's existing electric power service will be permitted, as long as equipment for connection to service is maintained in a condition acceptable to Owner.
- G. Lighting: Provide temporary lighting with local switching that provides adequate illumination for construction operations, observations, inspections, and traffic conditions.
  - 1. Install and operate temporary lighting that fulfills security and protection requirements without operating entire system.
  - 2. Install and operate temporary lighting system to minimize impact on occupants of adjacent buildings.
- H. Telephone Service: Provide temporary telephone service in common-use facilities.
  - 1. At each telephone, post a list of important telephone numbers.
    - a. Police and fire departments.
    - b. Ambulance service.
    - c. Contractor's home office.
    - d. Architect's office.
    - e. Engineers' offices.
    - f. Owner's office.
    - g. Principal subcontractors' field and home offices.
- I. Electronic Communication Service: Provide temporary electronic communication service, including electronic mail, in common-use facilities.

### 3.3 SUPPORT FACILITIES INSTALLATION

- A. General: Comply with the following:
  - 1. Provide incombustible construction for offices, shops, and sheds located within construction area or within 30 feet (9 m) of building lines. Comply with NFPA 241.
  - 2. Maintain support facilities until near Substantial Completion. Remove before Substantial Completion. Personnel remaining after Substantial Completion will be permitted to use permanent facilities, under conditions acceptable to Owner.
- B. Traffic Controls: Comply with requirements of authorities having jurisdiction, including Salt Lake City Corporation.
  - 1. Protect existing site improvements to remain including curbs, pavement, and utilities. Do not allow construction operations to interfere with adjacent driveway access or improvements.
  - 2. Maintain access for fire-fighting equipment and access to fire hydrants.

- C. Parking: Designate temporary parking areas for construction personnel only after authorization by Owner. Do not use parking or access drives on adjacent properties for parking or construction operations.
- D. Dewatering Facilities and Drains: Comply with requirements of authorities having jurisdiction. Maintain Project site, excavations, and construction free of water.
  - 1. Dispose of rainwater in a lawful manner that will not result in flooding Project or adjoining properties nor endanger permanent Work or temporary facilities.
  - 2. Remove snow and ice as required to minimize accumulations.
- E. Project Identification and Temporary Signs: Provide Project identification and other signs. Install signs where indicated to inform public and individuals seeking entrance to Project. Unauthorized commercial or other signs are not permitted.
  - 1. Provide temporary, directional signs for construction personnel and visitors.
  - 2. Maintain and touchup signs so they are legible at all times.
- F. Waste Disposal Facilities: Provide waste-collection containers in sizes adequate to handle waste from construction operations. Comply with requirements of authorities having jurisdiction. Comply with Division 1 Section "Execution Requirements" for progress cleaning requirements.
- G. Lifts and Hoists: Provide facilities necessary for hoisting materials and personnel.
  - 1. Truck cranes and similar devices used for hoisting materials are considered "tools and equipment" and not temporary facilities.
- H. Temporary Stairs: Until permanent stairs are available, provide temporary stairs where ladders are not adequate.
- I. Temporary Use of Permanent Stairs: Cover permanent stairs with protective covering of plywood or similar material so existing materials and finishes will not be damaged.

### 3.4 SECURITY AND PROTECTION FACILITIES INSTALLATION

- A. Environmental Protection: Provide protection, operate temporary facilities, and conduct construction in ways and by methods that comply with environmental regulations and that minimize possible air, waterway, and subsoil contamination or pollution or other undesirable effects.
  - 1. Comply with work restrictions specified in Division 1 Section "Summary."
  - 2. During stone restoration work, provide an enclosure around area of work, including scaffolding, to minimize and to control dust contamination during the work.
- B. Temporary Erosion and Sedimentation Control: Provide measures to prevent soil erosion and discharge of soil-bearing water runoff and airborne dust to adjacent properties and walkways, according to requirements of authorities having jurisdiction.
  - 1. Inspect, repair, and maintain erosion- and sedimentation-control measures during construction until permanent vegetation has been established.

- C. Stormwater Control: Comply with authorities having jurisdiction. Provide barriers in and around excavations and subgrade construction to prevent flooding by runoff of stormwater from heavy rains.
- D. Tree and Plant Protection: Install temporary fencing located as indicated or outside the drip line of trees to protect vegetation from damage from construction operations. Protect tree root systems from damage, flooding, and erosion.
- E. Site Enclosure Fence: Before construction operations begin, furnish and install site enclosure fence in a manner that will prevent people and animals from easily entering site except by entrance gates.
  - 1. Extent of Fence: As required to enclose entire Project site or portion determined sufficient to accommodate construction operations.
  - 2. Maintain security by limiting number of keys and restricting distribution to authorized personnel. Provide Owner with one set of keys.
- F. Security Enclosure and Lockup: Install substantial temporary enclosure around partially completed areas of construction. Provide lockable entrances to prevent unauthorized entrance, vandalism, theft, and similar violations of security.
- G. Barricades, Warning Signs, and Lights: Comply with requirements of authorities having jurisdiction for erecting structurally adequate barricades, including warning signs and lighting.
- H. Temporary Enclosures: Provide temporary enclosures for protection of construction, in progress and completed, from exposure, foul weather, other construction operations, and similar activities. Provide temporary weathertight enclosure for building exterior.
  - 1. Where heating or cooling is needed and permanent enclosure is not complete, insulate temporary enclosures.
- I. Temporary Fire Protection: Install and maintain temporary fire-protection facilities of types needed to protect against reasonably predictable and controllable fire losses. Comply with NFPA 241.
  - 1. Prohibit smoking in construction areas.
  - 2. Supervise welding operations, combustion-type temporary heating units, and similar sources of fire ignition according to requirements of authorities having jurisdiction.
  - 3. Develop and supervise an overall fire-prevention and -protection program for personnel at Project site. Review needs with local fire department and establish procedures to be followed. Instruct personnel in methods and procedures. Post warnings and information.

### 3.5 OPERATION, TERMINATION, AND REMOVAL

- A. Supervision: Enforce strict discipline in use of temporary facilities. To minimize waste and abuse, limit availability of temporary facilities to essential and intended uses.
- B. Maintenance: Maintain facilities in good operating condition until removal.
  - 1. Maintain operation of temporary enclosures, heating, cooling, humidity control, ventilation, and similar facilities on a 24-hour basis where required to achieve indicated results and to avoid possibility of damage.

- C. Temporary Facility Changeover: Do not change over from using temporary security and protection facilities to permanent facilities until Substantial Completion.
- D. Termination and Removal: Remove each temporary facility when need for its service has ended, when it has been replaced by authorized use of a permanent facility, or no later than Substantial Completion. Complete or, if necessary, restore permanent construction that may have been delayed because of interference with temporary facility. Repair damaged Work, clean exposed surfaces, and replace construction that cannot be satisfactorily repaired.
  - 1. Materials and facilities that constitute temporary facilities are property of Contractor. Owner reserves right to take possession of Project identification signs.
  - 2. Remove temporary paving not intended for or acceptable for integration into permanent paving. Where area is intended for landscape development, remove soil and aggregate fill that do not comply with requirements for fill or subsoil. Remove materials contaminated with road oil, asphalt and other petrochemical compounds, and other substances that might impair growth of plant materials or lawns. Repair or replace street paving, curbs, and sidewalks at temporary entrances, as required by authorities having jurisdiction.

END OF SECTION 01500

# CODE ANALYSIS

## PROJECT SUMMARY

**EXISTING BUILDING**  
RE-CREATED HISTORIC BUILDING.

**PROPOSED WORK**  
- REPLACEMENT OF NORTH SIDE WALKS, RAMPS, STAIRS AND HANDRAILS.  
- REBUILDING OF DETERIORATED SOUTH STAIRS AND RAILINGS  
- RETAINING/REUSING EXISTING CONCRETE STAIR WELL AND FOUNDATION WALLS.  
- REPLACEMENT OF "WEATHERING" ELEMENTS ON BUTTRESSES AND CRENELATIONS.  
- ENTRY TRANSOM WINDOW TO BE REINTERPRETED FOLLOWING HISTORIC MODEL.  
- NO INTERIOR WORK.

## APPLICABLE CODES

	Year		Year
International Building Code	2009	National Electrical Code	2008
International Mechanical Code	2009	International Existing Building Code	2009
International Plumbing Code	2009	ADA Accessibility Guidelines	2004; revised 8/2005
International Fire Code	2009		
International Energy Conservation Code	2009		

A. Occupancy and Group: B

Change in Use: Yes  No  Mixed Occupancy: Yes  No   
Special Use and Occupancy (e.g. High Rise, Covered Mall): \_\_\_\_\_

B. Seismic Design Category: D Design Wind Speed: N/A mph

C. Type of Construction (circle one):  

<u>I</u>	<u>I</u>	<u>II</u>	<u>II</u>	<u>III</u>	<u>IV</u>	<u>V</u>	<u>V</u>
A	B	A	B	A	HT	A	B

D. Fire Resistance Rating Requirements for the Exterior Walls based on the fire separation distance (in hours):  
 North: 0 South: 0 East: 0 West: 0

E. Mixed Occupancies: \_\_\_\_\_ Nonseparated Uses: \_\_\_\_\_

F. Sprinklers:  
 Required: N/A Provided: N/A Type of Sprinkler System: N/A

G. Number of Stories: 2 Building Height: 29'-2"

H. Actual Area per Floor (square feet): UNCHANGED

I. Tabular Area: UNCHANGED

J. Area Modifications: NO CHANGE FROM EXISTING

$$A_a = A_1 + \left[ \frac{A_2 - A_1}{100} \right] + \left[ \frac{A_3 - A_1}{100} \right] \quad I_1 = 100 \left[ \frac{F}{P} - 0.25 \right] \frac{W}{30}$$

b) Sum of the Ratio Calculations for Mixed Occupancies:  

$$\frac{\text{Actual Area}}{\text{Allowable Area}} \leq 1$$
 EXTERIOR REPAIRS; EXISTING AREA UNCHANGED

c) Total Allowable Area for:  
 1) One Story: N/A  
 2) Two Story: A<sub>2</sub>(2) N/A  
 3) Three Story: A<sub>3</sub>(3) N/A

d) Unlimited Area Building: Yes  No  Code Section: \_\_\_\_\_

K. Fire Resistance Rating Requirements for Building Elements (hours).

Element	Hours	Assembly Listing	Element	Hours	Assembly Listing
Exterior Bearing Walls			Floors - Ceiling Floors		
Interior Bearing Walls			Roofs - Ceiling Roofs		
Exterior Non-Bearing Walls			Exterior Doors and Windows		
Structural Frame			Shaft Enclosures		
Partitions - Permanent			Fire Walls		
Fire Barriers			Fire Partitions		
			Smoke Partitions		

L. Design Occupant Load: N/A  
 Exit Width Required: EXISTING Exit Width Provided: EXISTING/UNCHANGED

M. Exits Req'd: N/A Exits Provided: N/A (NO CHANGE FROM EXISTING; DIRECTION OF SWING CORRECTED & DOOR WIDTH INCREASED)

N. Minimum Number of Required Plumbing Facilities:  
 a) Water Closets - Required (m) N/A (f) N/A Provided (m) N/A (f) N/A  
 b) Lavatories - Required (m) N/A (f) N/A Provided (m) N/A (f) N/A  
 c) Bath Tubs or Showers: N/A  
 d) Drinking Fountains: N/A Service Sinks: N/A

FOOTNOTES:  
 1) In case of conflict with the U.S. Department of Justice Federal Registers Parts 1 through 119, ADA Guidelines and specific reference to the International Building Code Accessibility Chapters, the more restrictive requirement shall govern.  
 2) Additional Code Information shall be provided at the discretion of the Building Official for Complex Buildings. Including, but not limited to:  
 a) High Rise Requirements.  
 b) Atriums.  
 c) Performance Based Criteria.  
 d) Means or Egress Analysis.  
 e) Fire Assembly Locator Sheet.  
 f) Exterior and Interior Accessibility Route.  
 g) Fire Stopping, Including Tested Design Number.

# ABBREVIATIONS

ADA	AMERICANS WITH DISABILITIES ACT	LTG	LIGHTING
A.F.F.	ABOVE FINISH FLOOR	MANUF.	MANUFACTURER
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MECH.	MECHANICAL
B.O.	BOTTOM OF	MEZZ.	MEZZANINE
C.L.	CENTER LINE	MFR.	MANUFACTURER
CLNG.	CEILING	MIN.	MINIMUM
CONC.	CONCRETE	MTL.	METAL
CONST.	CONSTRUCTION	(N)	NEW
CONT.	CONTINUOUS	N.I.C.	NOT IN CONTRACT
COORD.	COORDINATE	O.C.	ON CENTER
CORRUG.	CORRUGATED	OPP.	OPPOSITE
DEMO.	DEMOLISH	PWR.	POWER
DN.	DOWN	RCF.	REFLECTED CEILING PLAN
DTL.	DETAIL	REINF.	REINFORCED
EA.	EACH	REQD.	REQUIRED
ELEC.	ELECTRICAL	SCHED.	SCHEDULE
ELECT.	ELECTRICAL	SIM.	SIMILAR
ELEV.	ELEVATION	SST.	STAINLESS STEEL
(E)	EXISTING	STL.	STEEL
EXIST.	EXISTING	STOR.	STORAGE
F.F.	FINISH FLOOR	STRUCT.	STRUCTURE
FIN.	FINISH	T.S.	TOP OF
FP.	FLOOR PLAN	TYP.	TYPICAL
F.R.P.	FIBER REINFORCED PLASTIC	U.N.O.	UNLESS NOTED OTHERWISE
FT.	FEET	UL	UNDERWRITERS LABORATORIES
GYP. BD.	GYPSUM BOARD	UTIL.	UTILITY / UTILITIES
IBC	INTERNATIONAL BUILDING CODE	V.I.F.	VERIFY IN FIELD
ICC	INTERNATIONAL CODE COUNCIL		
INCL.	INCLUDED		

# DESIGN STANDARDS

THIS LIMITED SCOPE BUILDING REPAIR FOLLOWS CURRENT APPLICABLE DFCM STANDARDS (REFER TO: [http://dfcm.utah.gov/downloads/design\\_manual/design\\_requirements.pdf](http://dfcm.utah.gov/downloads/design_manual/design_requirements.pdf) DESIGN REQUIREMENTS - JUNE 11, 2009). ACCESSIBILITY ENHANCEMENTS NOT APPLICABLE DUE TO SCOPE OF CURRENT PROJECT (EXTERIOR REPAIRS).

# SPECIAL INSPECTION

## SPECIAL INSPECTION AND TESTING UNDER THE PROVISIONS OF IBC 1704 AND FOR MISCELLANEOUS AREAS

CONCRETE CONSTRUCTION (IBC 1704.4)

Item	Continuous	Periodic	Detailed Instructions and Frequencies
Materials (1704.4.1)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Refer to Sheet SE0-01 - note IV B1
Steel placement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Refer to Sheet SE0-01 - note IV B1
Steel welding	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Refer to Sheet SE0-01 - note IV B1
Bolts prior & during placement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Use of required design mix	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Concrete sampling for strength test, slump, air content, and temperature of concrete	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Refer to Sheet SE0-01 - note IV C1
Concrete & shotcrete placement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Refer to Sheet SE0-01 - note IV B1d
Curing temperature and techniques	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Refer to Sheet SE0-01 - note IV B1d
Form work	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

SOILS CONSTRUCTION (IBC 1704.7)

Item	Continuous	Periodic	Detailed Instructions and Frequencies
Site preparation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	For site grading and construction.
Structural fill material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	For fill under building, building footings, utility trench backfill in paved areas.
Structural fill lift thickness	<input checked="" type="checkbox"/>	<input type="checkbox"/>	For fill under building, building footings, utility trench backfill in paved areas.
Structural fill soil densities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	For fill under building, building footings, utility trench backfill in paved areas.
Backfill soils materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	For site grading and construction.
Backfill soil densities	<input type="checkbox"/>	<input checked="" type="checkbox"/>	For site grading and construction.

MISCELLANEOUS AREAS  
 These inspections are recommended by the Architect/Engineer and approved by DFCM.

Item	Continuous	Periodic	Detailed Instructions and Frequencies
Concrete testing for slab on grade sidewalks and drive approaches (specify locations and frequency)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Post installed anchors and epoxy dowels	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Refer to Sheet SE0-01 - note IV B2 and by the following: The special inspector must be on the jobsite during anchor installation to verify anchor type, anchor dimensions, concrete type, cleaning procedures, anchor spacing, edge distance, concrete thickness, anchor embedment, and tightening torque. The special inspector must verify the initial installations of each type and size of adhesive anchor by construction personnel on site. Subsequent installations of the same anchor type and size by the same construction personnel must be permitted to be performed in the absence of the special inspector. Any change in the anchor product being installed or the personnel performing the installation must require an initial inspection. For ongoing installations over an extended period, the special inspector must make regular inspections to confirm correct handling and installation of the product.

Special Inspectors Shall:  
 • Be approved by the Building Official prior to performing any duties;  
 • Provide proof of licensure as a special inspector by the State of Utah for each type of inspection;  
 • Inspection reports are to meet the requirements of IBC 1704.1.2 and DFCM standards;  
 • Inspection reports are to be submitted to the code consultant, architect, DFCM project manager, and the State of Utah Building Official within 48 hrs. of inspections;  
 • A final inspection report shall be submitted following completion of the project documenting the types of special inspections performed and a statement indicating that the structure is in compliance with the drawings, specifications and applicable codes. IBC 1704.1.2

# PROJECT GENERAL NOTES FOR ALL DRAWINGS

- ANY CONTRACTOR, SUBCONTRACTOR, VENDOR OR ANY OTHER PERSON PARTICIPATING IN OR BIDDING ON ANY PORTION OF THIS PROJECT SHALL BE RESPONSIBLE FOR THE INFORMATION CONTAINED IN ANY AND ALL DRAWINGS AND SPECIFICATIONS, INCLUDING, BUT NOT LIMITED TO ANY SUBSEQUENT ADDENDA OR CLARIFICATIONS THAT MAY BE ISSUED.
- THESE CONSTRUCTION DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPTS, DIMENSIONS OF THE BUILDING, MAJOR ARCHITECTURAL ELEMENTS, AND TYPE OF STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
- DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED CONSTRUCTION UNLESS NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION.
- THE INTENT OF ANY REFERENCED SPECIFICATION SECTION ON THE DRAWINGS OR REFERENCE NOTES IS TO FACILITATE THE CROSS REFERENCING OF THE DRAWINGS AND DESCRIPTIVE INFORMATION PROVIDED IN THE SPECIFICATIONS. THIS IS FOR THE SOLE CONVENIENCE OF THE CONTRACTOR. NO OTHER INTERPRETATIONS ARE INTENDED OR IMPLIED NOR SHALL THE CONTRACTOR ASSIGN ANY OTHER INTERPRETATIONS TO THESE NOTES OR DRAWINGS THAN THAT STATED HEREIN.
- ANY CONFLICT AMONG VARIOUS ELEMENTS OF THE NOTES, DRAWINGS, SPECIFICATIONS, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- LARGER SCALE DRAWINGS GOVERN IN CASE OF CONFLICT WITH SMALLER SCALE DRAWINGS.
- DO NOT SCALE THE DRAWINGS. USE WRITTEN DIMENSIONS. WHERE NO DIMENSION IS PROVIDED, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS. CEILING HEIGHT DIMENSIONS ARE FROM FINISH FLOOR TO FINISH FACE OF CEILING.
- DETAILS AND NOTES APPEARING ON ONE DRAWING SHALL APPLY TO ALL OTHER DRAWINGS WHEN SIMILAR CONDITIONS EXIST, WHETHER OR NOT NOTED OR DETAILED.
- ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE PROJECT SITE BY THE CONTRACTOR AND EACH TRADE BEFORE WORK BEGINS. DISCREPANCIES WITH THE CONDITIONS SHOWN IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE CONSTRUCTION BEGINS.
- ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO, BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, ENERGY, FIRE, SAFETY, DISABLED ACCESS, AND HEALTH CODES.
- THE CONTRACTOR SHALL COORDINATE LAYOUT DIMENSIONS INDICATED ON ANY CIVIL, LANDSCAPE, STRUCTURAL, ELECTRICAL, PLUMBING OR MECHANICAL DRAWINGS WITH THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- PROTECTION OF EXISTING AREAS TO REMAIN SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL VERIFY ON SITE THE LOCATION AND DEPTH (ELEVATION) OF ALL EXISTING UTILITIES AND SERVICES BEFORE PERFORMING ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REGARDING PROPER INSTALLATION OF MATERIALS AND EQUIPMENT, AND FOR PROTECTION OF ADJACENT CONSTRUCTION. CUTTING OR WEAKENING OF EXISTING STRUCTURAL WALL, FLOOR, OR ROOF MEMBERS IS PROHIBITED UNLESS FULLY DETAILED ON THE PLAN.
- THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, PEDESTRIAN PROTECTION, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE ARCHITECT OR STRUCTURAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR STABILITY AND SAFETY OF THE STRUCTURE DURING CONSTRUCTION.
- ALL ITEMS ARE NEW UNLESS SPECIFICALLY INDICATED OR NOTED AS EXISTING OR REINSTALLED.
- ALL WALL, FLOOR AND CEILING PENETRATIONS ARE TO BE SEALED WHETHER OR NOT SPECIFICALLY SHOWN OR DETAILED.

# MATERIAL LEGEND

	PLYWOOD
	FINISHED WOOD
	ROUGH WOOD (BLOCKING)
	ROUGH WOOD (CONTINUOUS)
	BATT INSULATION
	RIGID INSULATION
	COMPACTED FILL
	CONCRETE
	AGGREGATE BASE
	LIMESTONE
	SANDSTONE
	STEEL
	ALUMINUM

# SYMBOL LEGEND

	NORTH ARROW
	GRID LINE
	SECTION
	DETAIL NUMBER
	EXTERIOR ELEVATION
	INTERIOR ELEVATION(S)
	REVISION IDENTIFICATION
	DATUM POINT
	DETAIL REFERENCE
	MATCH LINE
	DEMOLITION

# WALL LEGEND

	EXISTING TO REMAIN
	REMOVE WALL
	METAL STUDS
	STRUCTURAL METAL STUDS
	WOOD STUDS
	MASONRY
	CONCRETE

# REFERENCE NOTES

ADDENDUM #2 - 8/23/17

PERMIT SET

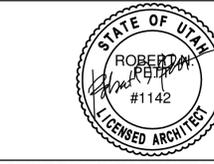
WHITE MEMORIAL CHAPEL EXTERIOR REPAIRS  
 DFCM PROJECT NO. 08235050  
 APPROX. 160 EAST 300 NORTH, SALT LAKE CITY, UT

357 West Poplar Avenue  
 Salt Lake City, Utah 84101  
 Telephone 801-364-5161 Fax 801-364-5167  
 ARCHITECTURE INTERIOR DESIGN

MJSA

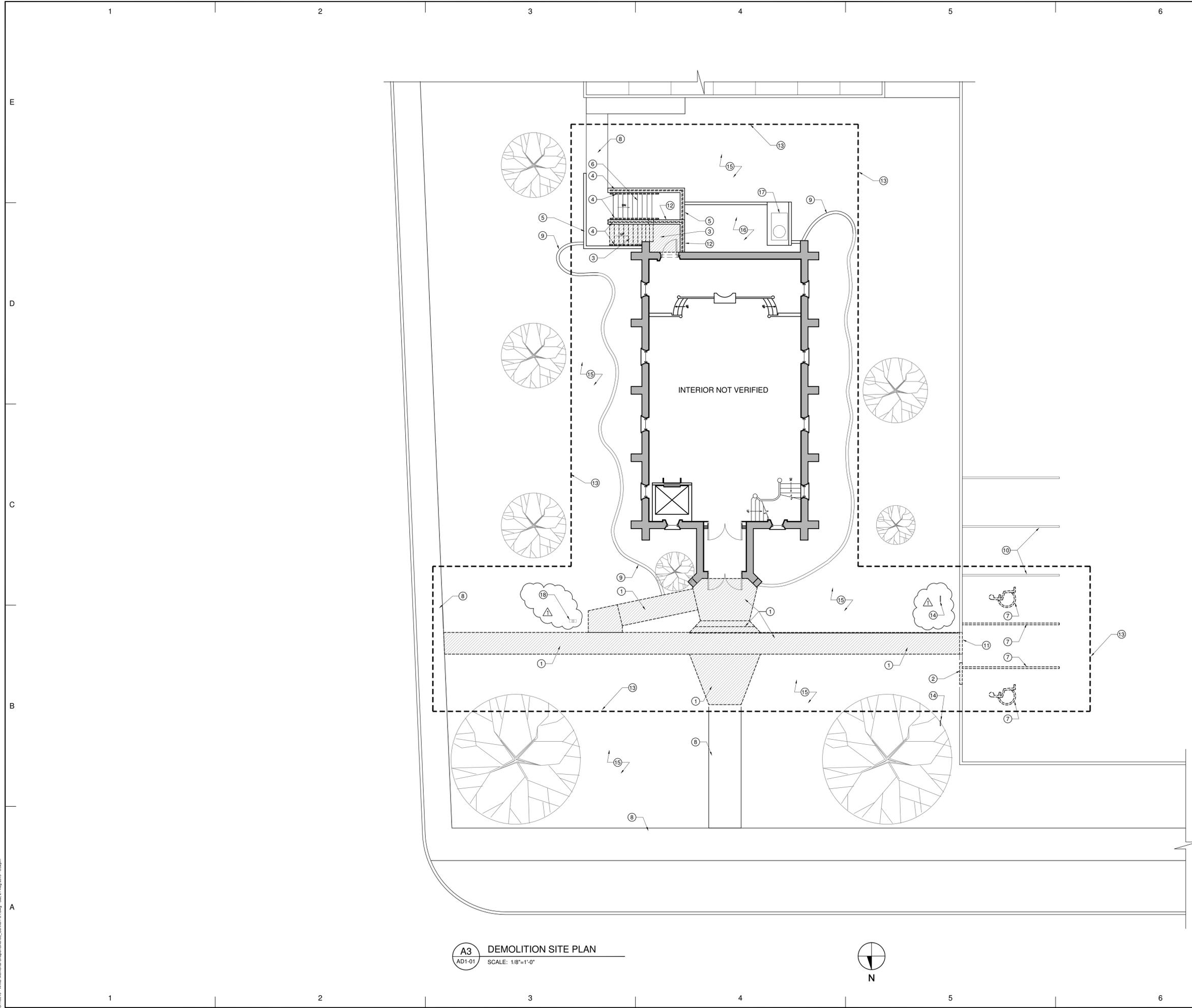
THESE DRAWINGS AND INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. USE OR REUSE OF THE DOCUMENTS SHALL BE PERMITTED UNLESS AUTHORIZED IN WRITING BY M.J.S.A. ARCHITECTS WITH APPROPRIATE COMPENSATION.

# STAMP



GENERAL INFORMATION & DESIGN DATA  
 SCALE: AS SHOWN

PROJECT NO.: 10010  
 DATE: 7/22/10  
 SHEET: AG0-01



- REFERENCE NOTES**
1. REMOVE EXISTING SIDEWALKS, RAMPS, STEPS AND/OR RAILINGS.
  2. REMOVE EXISTING CONC. CURB FOR NEW PARKING LOT ACCESS.
  3. REMOVE EXISTING CONC. STAIRS AND LANDING UP TO MAIN LEVEL.
  4. REMOVE EXISTING RAILING AND HANDRAILS.
  5. EXISTING CONCRETE RETAINING WALL TO REMAIN.
  6. EXISTING CONCRETE STAIRS TO LOWER LEVEL TO REMAIN - MODIFY AS SHOWN ON D4/AE3-01.
  7. REMOVE EXISTING PARKING STRIPES AND SYMBOLS.
  8. EXISTING SIDEWALK TO REMAIN.
  9. EXISTING LANDSCAPE CURB TO REMAIN.
  10. EXISTING PARKING STRIPE TO REMAIN.
  11. REMOVE EXISTING ASPHALT, CURB/FILL.
  12. REMOVE EXISTING BRICK WALL - SALVAGE AND CLEAN BRICK FOR REINSTALLATION.
  13. PROJECT LIMIT LINE
  14. HANDICAP PARKING SIGNAGE TO REMAIN.
  15. EXISTING LANDSCAPING TO REMAIN. MINIMIZE IMPACT. COORDINATE WITH IRRIGATION SYSTEM.
  16. REMOVE TURF AND IRRIGATION.
  17. EXISTING MECHANICAL TO REMAIN.
  18. REMOVE EXISTING BUILDING HISTORIC MARKER FOR REINSTALLATION.

**A3** DEMOLITION SITE PLAN  
 AD1-01 SCALE: 1/8" = 1'-0"



**STAMP**

PROJECT NO.: 10010  
 DATE: 7/22/10  
 SHEET: AD1-01  
 DEMOLITION SITE PLAN  
 SCALE: 1/8" = 1'-0"

REVISIONS:  
 ADDENDUM #2 - 8/23/10

**PERMIT SET**

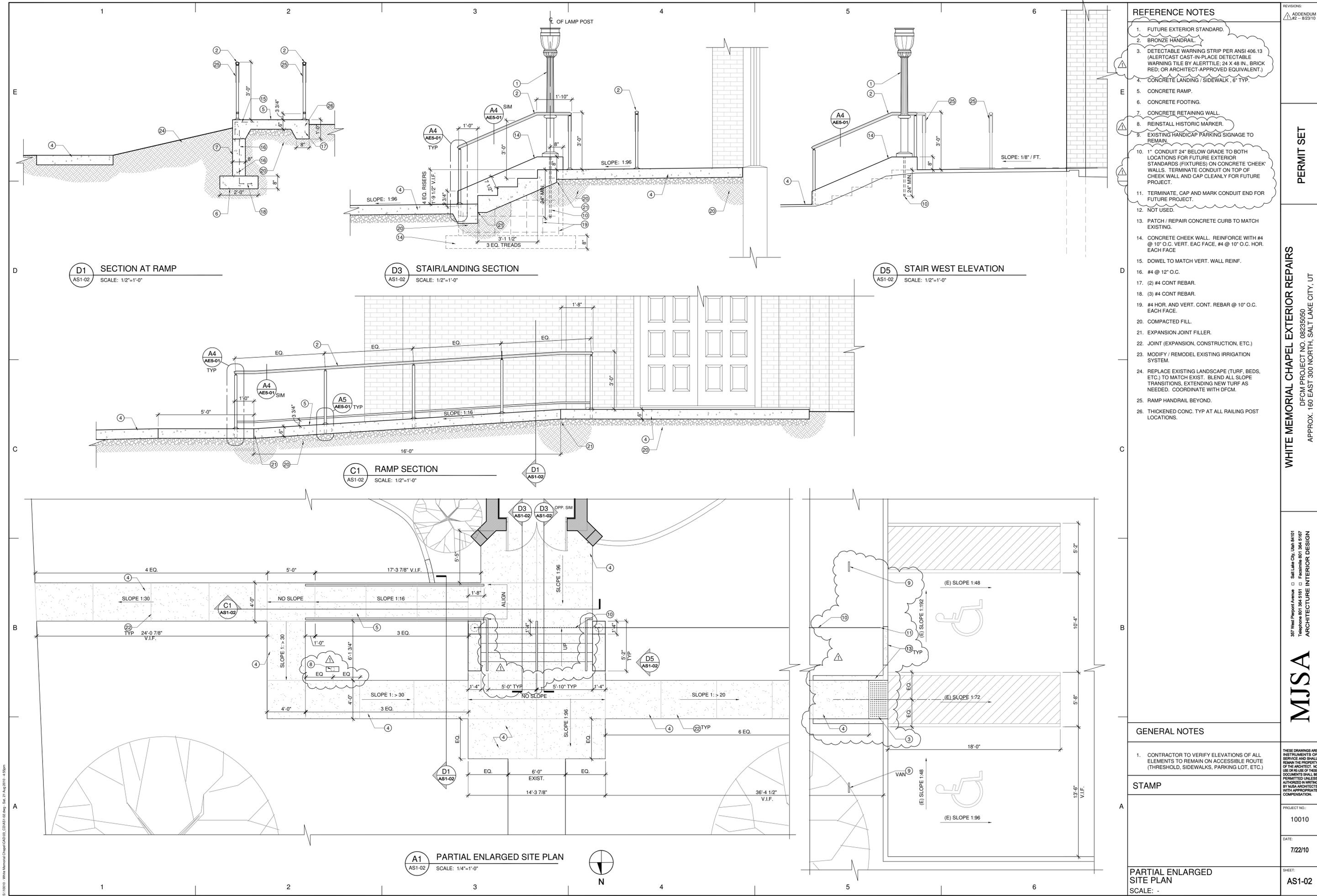
**WHITE MEMORIAL CHAPEL EXTERIOR REPAIRS**  
 DFCM PROJECT NO. 08235050  
 APPROX. 160 EAST 300 NORTH, SALT LAKE CITY, UT

**MJSA**  
 357 West Pigeon Avenue Salt Lake City, Utah 84101  
 Telephone 801 384 5161 Facsimile 801 384 5167  
 ARCHITECTURE INTERIOR DESIGN

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO USE OR RE-USE OF THESE DOCUMENTS SHALL BE PERMITTED UNLESS AUTHORIZED IN WRITING BY MJSA ARCHITECTS WITH APPROPRIATE COMPENSATION.

E:\10010 - White Memorial Chapel\CAD\03\_CAD\01-01.dwg - Sat, 27 Aug 2010 4:52pm





**REFERENCE NOTES**

1. FUTURE EXTERIOR STANDARD.
2. BRONZE HANDRAIL.
3. DETECTABLE WARNING STRIP PER ANSI 406.13 (ALERTCAST CAST-IN-PLACE DETECTABLE WARNING TILE BY ALERTTILE; 24 X 48 IN., BRICK RED, OR ARCHITECT-APPROVED EQUIVALENT.)
4. CONCRETE LANDING / SIDEWALK, 6" TYP.
5. CONCRETE RAMP.
6. CONCRETE FOOTING.
7. CONCRETE RETAINING WALL.
8. REINSTALL HISTORIC MARKER.
9. EXISTING HANDICAP PARKING SIGNAGE TO REMAIN.
10. 1" CONDUIT 24" BELOW GRADE TO BOTH LOCATIONS FOR FUTURE EXTERIOR STANDARDS (FIXTURES) ON CONCRETE 'CHEEK' WALLS. TERMINATE CONDUIT ON TOP OF CHEEK WALL AND CAP CLEANLY FOR FUTURE PROJECT.
11. TERMINATE, CAP AND MARK CONDUIT END FOR FUTURE PROJECT.
12. NOT USED.
13. PATCH / REPAIR CONCRETE CURB TO MATCH EXISTING.
14. CONCRETE CHEEK WALL. REINFORCE WITH #4 @ 10" O.C. VERT. EAC FACE, #4 @ 10" O.C. HOR. EACH FACE.
15. DOWEL TO MATCH VERT. WALL REINF.
16. #4 @ 12" O.C.
17. (2) #4 CONT REBAR.
18. (3) #4 CONT REBAR.
19. #4 HOR. AND VERT. CONT. REBAR @ 10" O.C. EACH FACE.
20. COMPACTED FILL.
21. EXPANSION JOINT FILLER.
22. JOINT (EXPANSION, CONSTRUCTION, ETC.)
23. MODIFY / REMODEL EXISTING IRRIGATION SYSTEM.
24. REPLACE EXISTING LANDSCAPE (TURF, BEDS, ETC.) TO MATCH EXIST. BLEND ALL SLOPE TRANSITIONS, EXTENDING NEW TURF AS NEEDED. COORDINATE WITH DFCM.
25. RAMP HANDRAIL BEYOND.
26. THICKENED CONC. TYP AT ALL RAILING POST LOCATIONS.

**GENERAL NOTES**

1. CONTRACTOR TO VERIFY ELEVATIONS OF ALL ELEMENTS TO REMAIN ON ACCESSIBLE ROUTE (THRESHOLD, SIDEWALKS, PARKING LOT, ETC.)

**STAMP**

PROJECT NO:	10010
DATE:	7/22/10
SHEET:	AS1-02

REVISIONS:  
 ADDENDUM #2 - 8/23/10

PERMIT SET

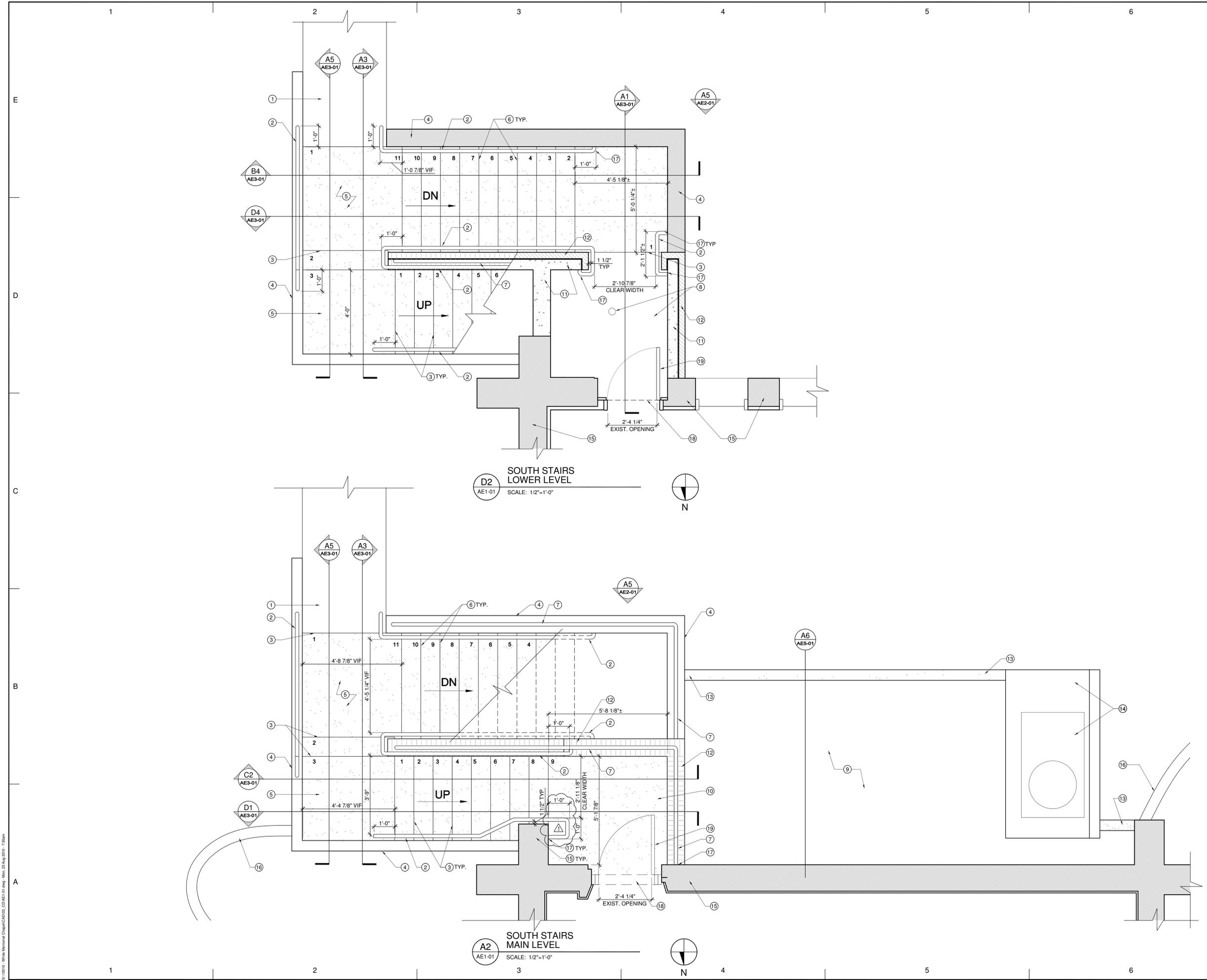
WHITE MEMORIAL CHAPEL EXTERIOR REPAIRS  
 DFCM PROJECT NO. 08235050  
 APPROX. 160 EAST 300 NORTH, SALT LAKE CITY, UT

357 West Pigeon Avenue Salt Lake City, Utah 84101  
 Telephone 801.964.5181 Fax 801.964.5187  
 ARCHITECTURE INTERIOR DESIGN

**MJSA**

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO USE OR REUSE OF THESE DOCUMENTS SHALL BE PERMITTED UNLESS AUTHORIZED IN WRITING BY MJSA ARCHITECTS WITH APPROPRIATE COMPENSATION.

S:\10010 - White Memorial Chapel\Drawings\AS1-02.dwg, Sat, 21 Aug 2010, 4:58pm



**REFERENCE NOTES**

1. EXISTING CONCRETE SIDEWALK.
2. HANDRAIL
3. CONCRETE STAIR RISERS.
4. EXISTING CONCRETE RETAINING WALL.
5. CONCRETE LANDING - RE: STRUCTURAL
6. CONC. STAIRS OVER EXISTING STAIRS - RE: STRUCTURAL.
7. GUARDRAIL.
8. EXISTING CONCRETE LANDING AND DRAIN.
9. LOWER GRADE (+ 6") TO PREVENT WATER DAMAGE AT WINDOWS. MODIFY/REMOVE IRRIGATION THIS AREA. NEW WEED BARRIER FABRIC AND GRAVEL - 4" DEEP, MIN.
10. SUSPENDED CONCRETE LANDING 2% MAX SLOPE FROM THRESHOLD. RE: STRUCTURAL.
11. REINFORCED CONCRETE WALL ON EXISTING FOUNDATION / RETAINING WALL. RE: STRUCTURAL.
12. REBUILT WALL WITH SALVAGED BRICK VENEER TO MATCH EXISTING.
13. CONCRETE CURB/MOW STRIP. MATCH T.O. EXISTING ADJACENT CONCRETE, SLOPE TO MATCH GRADE.
14. EXISTING MECHANICAL EQUIPMENT AND PAD; PROTECT IN PLACE.
15. EXISTING BUILDING WALL, BUTTRESS, ETC.
16. EXISTING CONCRETE MOW STRIP.
17. RETURN HANDRAIL ENDS TO WALL, TYP.
18. EXISTING THRESHOLD - REMOVE AND REINSTALL IF NEEDED FOR ADJACENT WORK.
19. EXISTING DOOR TO REMAIN.

**STAMP**

PROJECT NO:  
10010

DATE:  
7/22/10

SHEET:  
AE1-01

**SOUTH STAIRS PARTIAL PLANS AND ELEVATIONS**  
SCALE: 1/4"=1'-0"

REVISIONS:  
#2 - 8/23/10

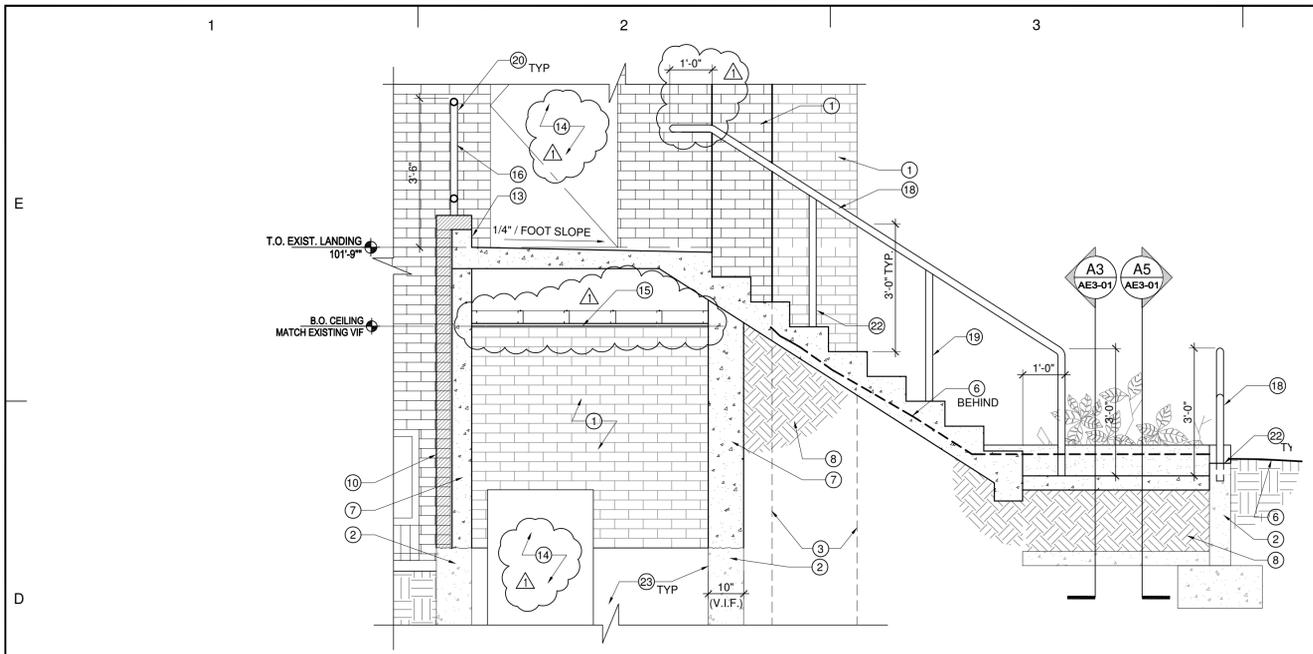
**PERMIT SET**

**WHITE MEMORIAL CHAPEL EXTERIOR REPAIRS**  
DFCM PROJECT NO. 08235050  
APPROX. 160 EAST 300 NORTH, SALT LAKE CITY, UT

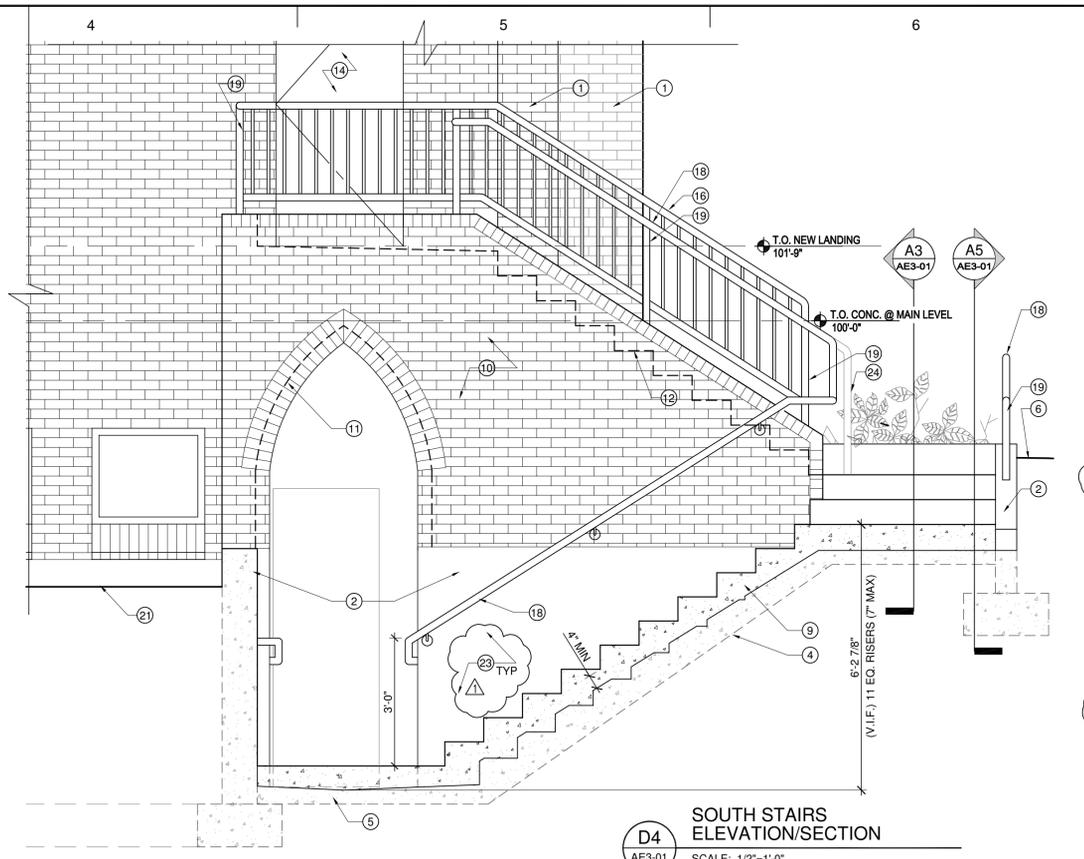
**MJSA**  
357 West Proport Avenue Salt Lake City, Utah 84101  
Telephone 801 384 5181 Facsimile 801 384 5187  
ARCHITECTURE INTERIOR DESIGN

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO USE OR RE-USE OF THESE DOCUMENTS SHALL BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE ARCHITECT WITH APPROPRIATE COMPENSATION.

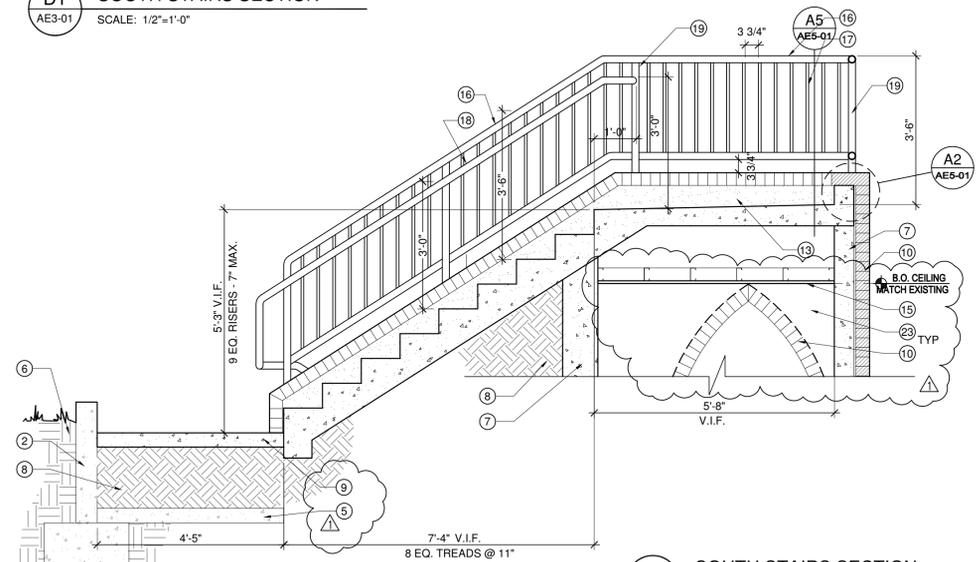
© 2010 White Memorial Chapel of Salt Lake City, UT. All rights reserved.



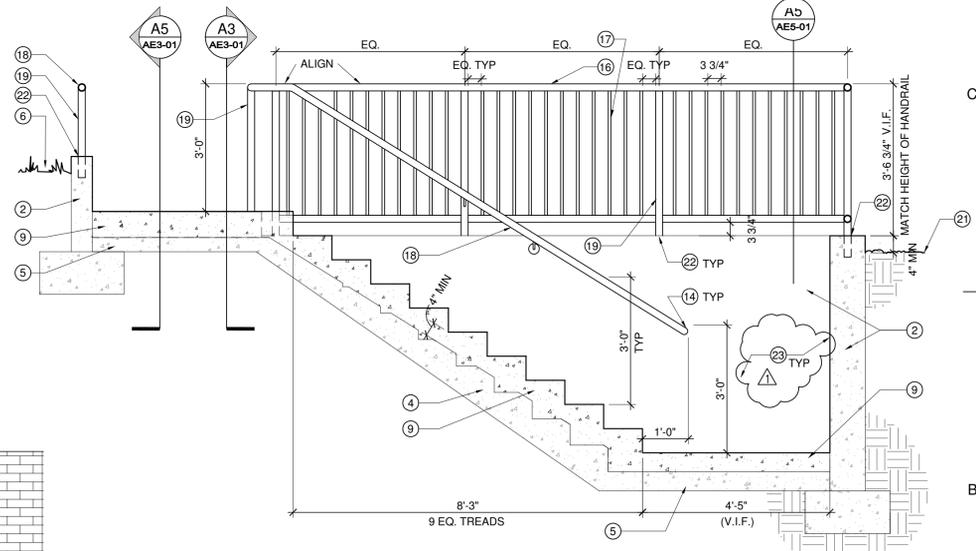
**D1 SOUTH STAIRS SECTION**  
 AE3-01 SCALE: 1/2"=1'-0"



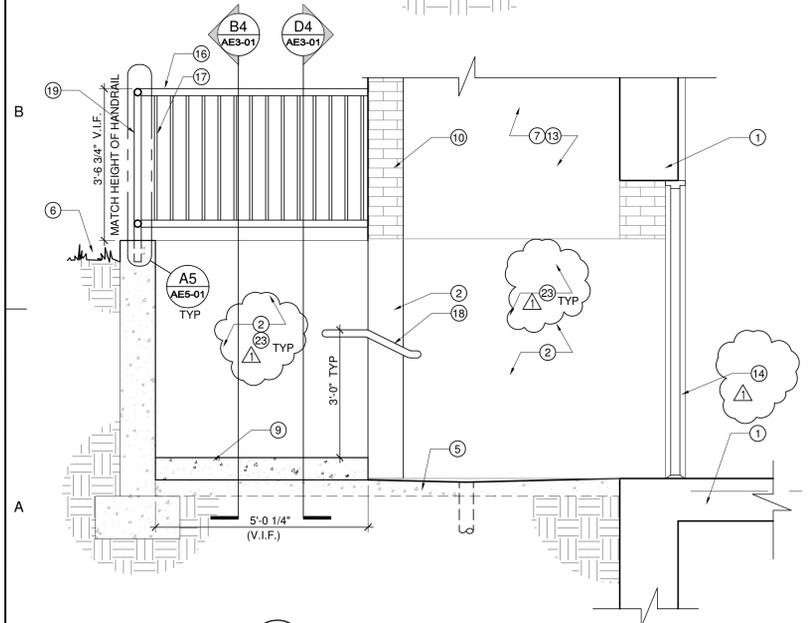
**D4 SOUTH STAIRS ELEVATION/SECTION**  
 AE3-01 SCALE: 1/2"=1'-0"



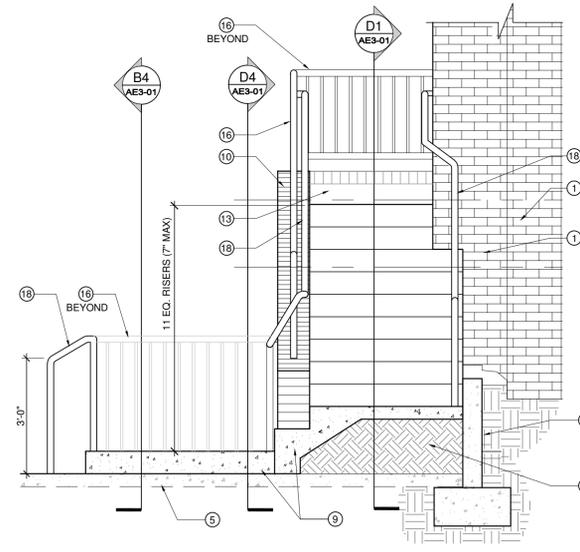
**C2 SOUTH STAIRS SECTION**  
 AE3-01 SCALE: 1/2"=1'-0"



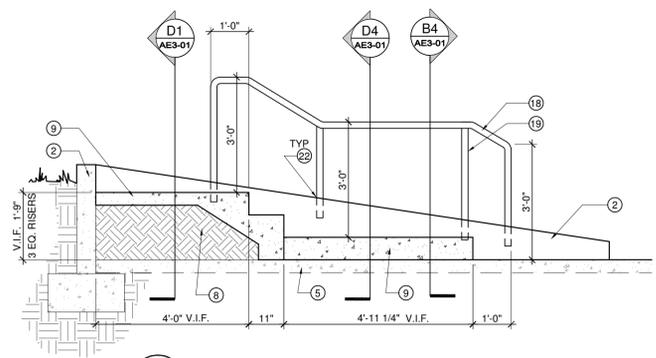
**B4 SOUTH STAIRS SECTION**  
 AE3-01 SCALE: 1/2"=1'-0"



**A1 SOUTH STAIRS SECTION**  
 AE3-01 SCALE: 1/2"=1'-0"



**A3 SOUTH STAIRS ELEVATION/SECTION**  
 AE3-01 SCALE: 1/2"=1'-0"



**A5 SOUTH STAIRS SECTION**  
 AE3-01 SCALE: 1/2"=1'-0"

- REFERENCE NOTES**
- EXISTING BUILDING WALL, BUTTRESS, ETC.
  - EXISTING RETAINING WALL.
  - EXISTING BUTTRESS FOUNDATION BEYOND.
  - EXISTING CONCRETE STAIRS OR LANDING: MODIFY AS SHOWN.
  - EXISTING SIDEWALK OR LANDING.
  - EXISTING GRADE.
  - REINFORCED CONCRETE WALL ON EXISTING FOUNDATION / RETAINING WALL RE: STRUCTURAL.
  - COMPACTED FILL.
  - CONCRETE STAIRS OR LANDING OVER EXISTING STAIRS RE: STRUCTURAL.
  - REINSTALLED SALVAGED BRICK VENEER OVER NEW CONCRETE WALL. MATCH EXISTING APPEARANCE.
  - EDGE OF NEW CONCRETE WALL BEHIND BRICK VENEER. MATCH EXISTING OPENING.
  - PROFILE OF STAIRS BEHIND WALL.
  - EXPOSED NEW CONCRETE WALL.
  - EXISTING DOOR - PROTECT IN PLACE.
  - FINISHED EIFS CEILING & STEEL FRAMING, EXT. GYP BOARD, ETC. - MATCH EXISTING CEILING HEIGHT OR LOWER SLIGHTLY - COORDINATE WITH ARCHITECT.
  - GUARDRAIL 1-1/2" Ø PIPE, WELDED (GRIND SMOOTH), GALV. AND PAINTED.
  - GUARDRAIL BALUSTERS 3/4" Ø PIPE, WELDED (GRIND SMOOTH), GALV. AND PAINTED.
  - HANDRAIL 1-1/2" Ø PIPE, SMOOTH RADIUS BENDS, GRIND ANY WELDS SMOOTH.
  - HANDRAIL POST, 1-1/2" Ø PIPE, FRIND ANY WELDS SMOOTH.
  - PATCH ANCHOR HOLES, ETC. IN MASONRY FROM REMOVED GUARDRAIL, ETC.
  - LOWERED GRADE (6 ± INCHES); WEED BLOCK FABRIC AND GRAVEL.
  - CORE DRILL AND GROUT (NON-SHRINK) INTO PLACE, EMBED 6" DEEP MIN.
  - REPAIR FOUNDATION PARPING TO MATCH - ALL LOCATIONS NOT SHOWN.

**STAMP**

PROJECT NO:  
10010

DATE:  
7/22/10

SOUTH STAIRS SECTIONS AND ELEVATIONS  
 SCALE: AS SHOWN



**Division of Facilities Construction and Management**

**REVISED BID FORM**

NAME OF BIDDER \_\_\_\_\_ DATE \_\_\_\_\_

The undersigned, responsive to the "Notice to Contractors" and in accordance with the "Instructions to Bidders", in compliance with your invitation for bids for the White Memorial Chapel Exterior Improvements – Capitol Preservation Board – Salt Lake City, Utah – DFCM Project No.08235050 and having examined the Contract Documents and the site of the proposed Work and being familiar with all of the conditions surrounding the construction of the proposed Project, including the availability of labor, hereby proposes to furnish all labor, materials and supplies as required for the Work in accordance with the Contract Documents as specified and within the time set forth and at the price stated below. This price is to cover all expenses incurred in performing the Work required under the Contract Documents of which this bid is a part:

I/We acknowledge receipt of the following Addenda: \_\_\_\_\_

For all work shown on the Drawings and described in the Specifications and Contract Documents, I/we agree to perform for the sum of:

**BASE BID:**

\_\_\_\_\_ DOLLARS (\$ \_\_\_\_\_)

(In case of discrepancy, written amount shall govern)

**A. Unit Price No. 1 – Masonry Re-pointing:**

**1. Description: Typical brick re-pointing as described on drawings and related specifications.**

**2. Unit of Measurement: Cost per linear foot (\$LF).**\_\_\_\_\_

I/We guarantee that the Work will be Substantially Complete by November 24, 2010, should I/we be the successful bidder, and agree to pay liquidated damages in the amount of \$250.00 per day for each day after expiration of the Contract Time as stated in Article 3 of the Contractor’s Agreement.

This bid shall be good for 45 days after bid opening.

Enclosed is a 5% bid bond, as required, in the sum of \_\_\_\_\_

The undersigned Contractor's License Number for Utah is \_\_\_\_\_.

Upon receipt of notice of award of this bid, the undersigned agrees to execute the contract within ten (10) days, unless a shorter time is specified in the Contract Documents, and deliver acceptable Performance and Payment bonds in the prescribed form in the amount of 100% of the Contract Sum for faithful performance of the contract.

The Bid Bond attached, in the amount not less than five percent (5%) of the above bid sum, shall become the property of the Division of Facilities Construction and Management as liquidated damages for delay and additional expense caused thereby in the event that the contract is not executed and/or acceptable 100% Performance and Payment bonds are not delivered within the time set forth.

Type of Organization:

\_\_\_\_\_

(Corporation, Partnership, Individual, etc.)

Any request and information related to Utah Preference Laws:

\_\_\_\_\_

Respectfully submitted,

\_\_\_\_\_  
Name of Bidder

ADDRESS:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Authorized Signature