



State of Utah

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Department of Administrative Services

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Division of Facilities Construction and Management

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Director

ADDENDUM #5

Date: February 18, 2009

To: Contractors

From: Vic Middleton, Project Manager, DFCM

Reference: Bingham Entrepreneurship & Engineering Center
Utah State University - Vernal - Utah
DFCM Project No. 08273770

Subject: **Addendum No. 5**

Pages	<u>Addendum</u>	8 pages
	Total	8 pages

Note: *This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to Disqualification.*

While we contend that SB220 should only be potentially applicable to a contract issued after the effective date of said bill, this is to clarify that for purposes of this contract, regardless of the execution or effective dates of this contract, the status of Utah Law and remedies available to the State of Utah and DFCM, as it relates to any matter referred to or affected by said SB220, shall be the Utah law in effect at the time of the issuance of this Addendum.

5.1 **SCHEDULE CHANGES** – There are no changes to the project schedule.

5.2 **GENERAL** – See attached questions and answers along with drawings.

Utah!
Where ideas connect

BEERC

Addenda #5

1: Project going to be tax exempt?

A: We want this project to be tax exempt. USU will provide contractor with tax exempt #. We would also like to track the savings to the project budget by doing this.

2: 4'0 doors vs 36" doors into lab teaching areas.

A: A 36" door may not be wide enough in move larger pieces of lab equipment. A 36" inch door with a side door or possible glass side light with a removable post would be preferred.

3: Power encasement in duct bank.

A: No

4: Additional curb cut on the south end of building. Possible fire code issue.

A: Yes

5: Old Pond will not be backfilled or graded.

A: To be in the contract to finish this site for landscaping or structure.

6: There are at least 7 Austrian Pine 30 ft tall that have been donated to the project. Please incorporate into your landscape plan.

7: SS-ADV. There is a need of two Dean Services Advisor's offices. Only one currently in the program. The Deans office does not require a conference room.

8: Generator.

A: Based on each design team's unique design, the following generator supplied loads will be sized by the design teams:

- Egress lighting/exit signs per code

- Fire alarm system

- Access Control System

- Mechanical cooling loads for telecom and server rooms

In addition to these loads, design teams should provide capacity for the following generator supplied loads:

- 50 watts per square for equipments loads in telecom and server rooms

Also provide capacity for the cold room that will have owner provided individual freezers and fridges.

9: Lightning protection is it necessary.

A: No

10: Lab cabinets wood or metal.

A: They will be wood.

11: Distilled Water.

A: A small RO/DI water polishing system will be part of the contract and become part of the program. To be located in the best location according to design.

12: The possibility mud room space just inside Garage/Equipment area.

A: The need of a dirty clean up area inside the garage or equipment room with a hose bib and a trench drain to accommodate the cleaning of equipment and personal items.

13: The voting committee member Darrell Hart will be replaced with Ben Berrett with USU.

14: The need of a building Maint personnel space.

A: To be shown on floor plan so controls can be brought to this room.

15: Does each lab really need its own electrical panel.

A: No, follow DFCM Electrical Design Standards

16: Define the use of the garage area. Parking for vehicles?

A: No.

17: Flag Pole. In the Program it mentions a flag pole.

A: Will not be required.

18: Additional space and changes in space to the Program. It is called the Research and Development Space. and will be approximately 1200 sq ft. It will be a high bay space (2 floors). The tiered lecture hall will now become the multi use space. It will be approximately 1200 sq ft for the use of group meetings, presentations and demonstrations. This space is to be finished in a higher décor than normal lecture space. See attached drawing.

19: What fire alarm system will be allowed in the building?

A: Simplex to stay consistent with the new UBTC/USU building

20: Elevator:

A: It will be up to the Team to decide whether one or two elevators fit their design best.

21: Perchloric acid fume hood

A: will not be required.

22: Do we want both analog and digital phone svc in the building.

A: Yes

23: Light sensors vs building HVAC controls.

A: Light sensors on an individual system not tied into the HVAC controls system.

24: Need to attach latest storm drainage plan with inverts.

A: Sent out.

25: Access Control.

A: Provide in the contract a minimum of 4 door's equipped with card readers.

26: Sound Reinforcement.

A: We are assuming that we are talking about sound control. This will depend on the situation and the amount/kind of noise being controlled. Depends on each separate space and can be discussed at next users meeting.

27: Lab Temperature and Humidity Control

A: It does not appear that that any unusual requests are being made for temperatures vs humidity. The team lab consultants should be able to give us input on this if something out of the norm is necessary.

28: Water treatment in Vernal.

A: Vernal water district did not see any problems with our list of chemicals. They will provide USU with a written statement of the treatment process for our review. The treatment of the mechanical system is by independent contractor. This firm is unknown at this time.

29: Electronic copy of ALTA Survey?

A: Sent out.

30: Electric Strike Info.

A: Include in the base proposal the cost to install electric strike controls at a later date at all interior doors.

31: What are the floor vibration criteria for floor structure?

A: High level microscopy is not intended to be used at the facility at this time. We need to come to a level of degree that is necessary to perform the research that is called out in the program and cost.

32: Per the program the commissioning is by the Owner and the Design Build team will not include any cost for commissioning in our proposal. Specifically cost for interfacing, paperwork, meetings, field assistance, etc. These costs will be determined after the programming scope is clearly defined.

A: Building commissioning is being provided by the owner (Senergy is the commissioning agent). The cost to provide interfacing, paperwork, meetings, field assistance, ect. Should be included in base proposal.

33: Please provide a survey identifying the site plan of 500' x 500'.

A: Contractors responsibility to provide the survey and geotechnical report.

34: Gas Line – Is it currently located on north end of site?

A: Yes, a 4 inch line is terminated at the north end of the UBATC site at the north side of the old retention pond.

35: Program indicates there is fire flow test. Please provide.

A: This to be provided by contractor.

36: Addendum #4 indicates Utah / Yamas controls is the only controls contractor. Is this correct?

A: Yes, we want to stay with the same controls as we have in the UBATC/USU building dependant on Sour Source Review Board. They are to be web based.

37: Addendum #2 requires the roof drain system to be designed for a rainfall rate of 3". Plumbing code only requires the system to be designed to accommodate 1.4". Please clarify?

A: Follow plumbing code.

38: Addendum #2 requires manual dampers be installed on the upstream side of all VAV boxes. These will only function as intended when the box is operating at design airflow. Majority of the time the damper will provide no benefit. Dampers are also not an industry standard in VAV system designs. These dampers are very costly. Can these dampers be eliminated?

A: Yes, unless the team mechanical engineer feels that this is a good idea.

39: Room EC_RFE which is 15'bx30' will also house the McKeachie Law Library. All bookcases and the library exhibits will be moved and installed by the owner. There is a total of 72 linear feet of library shelving at 14" deep and approximately 78" high.

40: Graduate Student rooms: Graduate students will be in open system modular furniture provided by the owner. Contractor will have to coordinate with owner for power, data voice locations.



OVERALL BASIN PLAN

1
CE105

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CONSULTANTS

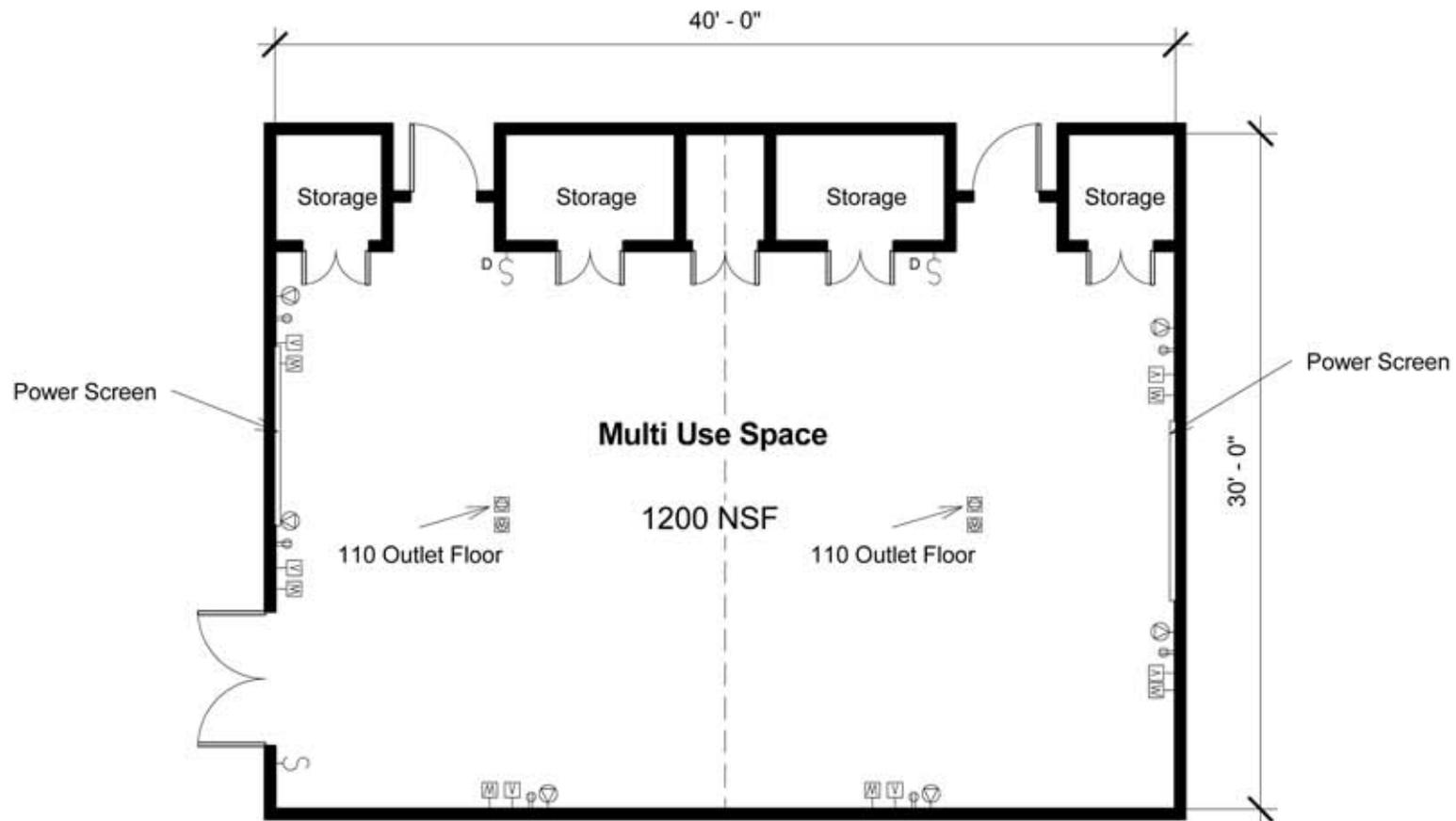


**UBATC-USU VERNAL FACILITY
NEW CLASSROOM AND
INDUSTRIAL TECHNOLOGY
FACILITY**
1919 WEST 500 SOUTH
VERNAL, UTAH

SHEET TITLE
UTILITY PLAN

REVISIONS	DATE	BY	DESCRIPTION	DRAWN BY	CHECKED BY
△					
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PROJECT NO. 05174250	DATE 12.12.08
CE105	
SHEET SHEET INDEX OF TOTAL SHEETS	



BC-TC2
Scale 1/8" = 1'-0"

Key

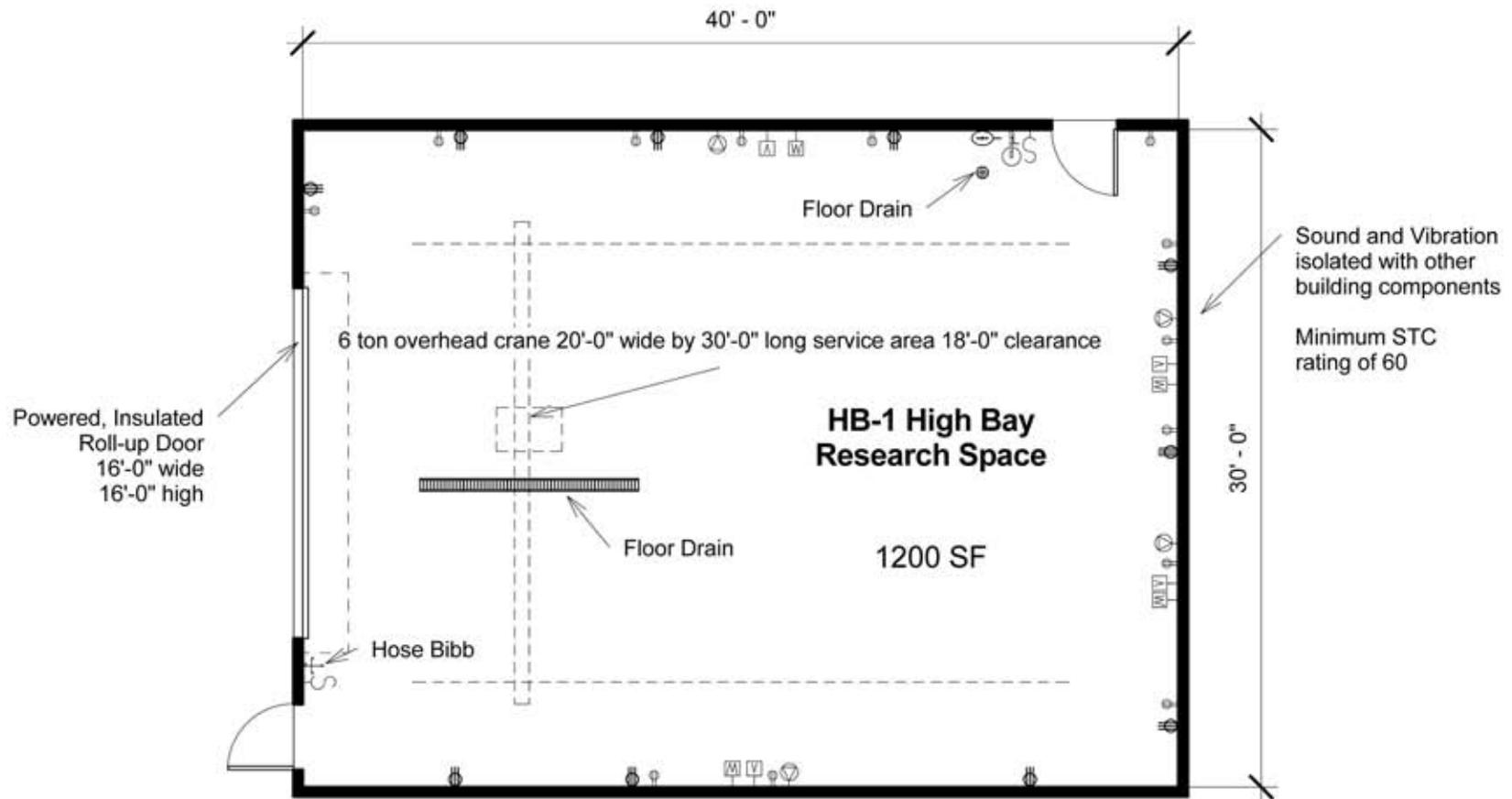


Note: This is a replacement space for the Tiered, Lecture Hall (n~100) that was programmed at 46'-0" by 36'-0" = 1,656 NSF (old BC-TC2). Affinities and location criteria are the same for this space as the old BC-TC2.

Multi Use space for group meetings, presentations and demonstrations. Movable wall partition with panel storage area.

Finishes: Floor-carpet, walls-rubber base, painted sheet rock, ceiling-lay in acoustical ceiling at 10'-0" to 12'0"

2.16.09



HB-1
Scale 1/8" = 1'-0"

Key



Note: This is a New Space. It will be located on the North side of the facility and could be located adjacent to the modified BC-TC2.

High Bay Industrial Research Space - 20'-0" clear to structure, column free space with 6 ton over head crane, durable walls (i.e. CMU) clerestory above 12'-0" high or sky lights for day lighting. Space will be used for welding, painting and assembly.

Finishes: Floor-sealed concrete, walls-painted, ceiling-open

2.16.09