



State of Utah

JON M. HUNTSMAN, JR.
Governor

GARY R. HERBERT
Lieutenant Governor

Department of Administrative Services

KIMBERLY K. HOOD
Executive Director

Division of Facilities Construction and Management

DAVID G. BUXTON
Director

ADDENDUM #2

Date: April 13, 2009

To: Contractors

From: Tim Parkinson, Project Manager, DFCM

Reference: Social Science Building 3rd Floor Remodel
Weber State University – Ogden, Utah
DFCM Project No. 08319810

Subject: **Addendum No. 2**

Pages	Addendum	1 page
	<u>Architects Addendum</u>	<u>2 page</u>
	Total	3 pages

Note: *This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to Disqualification.*

While we contend that SB220 should only be potentially applicable to a contract issued after the effective date of said bill, this is to clarify that for purposes of this contract, regardless of the execution or effective dates of this contract, the status of Utah Law and remedies available to the State of Utah and DFCM, as it relates to any matter referred to or affected by said SB220, shall be the Utah law in effect at the time of the issuance of this Addendum.

2.1 **SCHEDULE CHANGES** – There are no changes to the project schedule.

2.2 **GENERAL** – CRSA Architects – Specifications and Drawings.

Utah!
Where ideas connect

ADDENDUM #002

DATE: April 10, 2009 (CRSA PROJECT NUMBER 08-033)

TO: Tim Parkinson, Project Manager
DFCM, State of Utah

RE: **DFCM PROJECT NUMBER 08319810**
Social Science Building – 3rd Floor Remodel
Weber State University, 3750 Harrison Boulevard, Ogden, Utah 84408

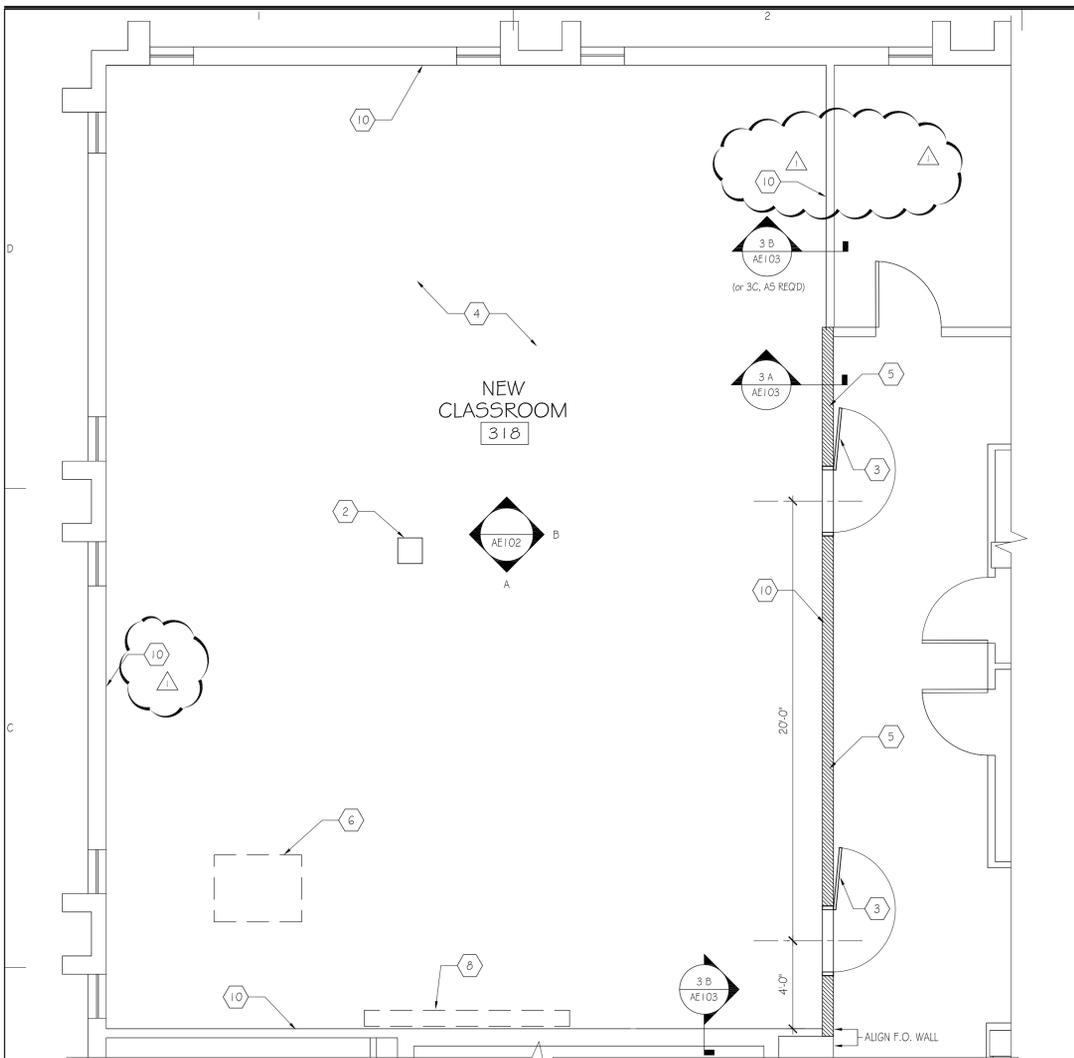
This Addendum forms a part of the Contract Documents and modifies the original Bid Documents published by DFCM. Acknowledge receipt of this Addendum in the space provided on the Bid Form as directed by DFCM bidding procedures. This Addendum consists of one (1) letter sized (8-1/2" x 11") page only. Any additional questions or requests for information should be directed through DFCM.

CLARIFICATIONS TO BIDDERS:

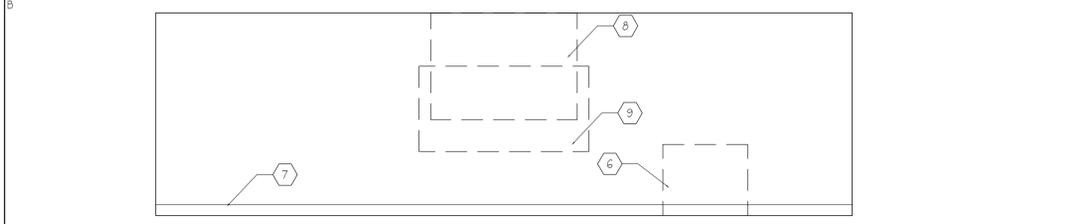
These items clarify and/or document discussions held at the Mandatory Pre-Bid Meeting held April 2, 2009:

- Item 1: **Attached** are revisions to **AE102**, which clarify keyed note errors mentioned at the meeting.
- Item 2: Specification section 095113—Acoustical Panel Ceilings, Section 2.2(B): add item 5. to read as follows: "Natural fissure."
- Item 3: See note 8 on sheet E-101 to clarify the discussion about *two 1" conduits*.
- Item 4: Door Hardware 87100 section E, please revise: "Thru-bolts shall be supplied for exit devices and door closers and the appropriate blocking or reinforcing should be present for this type of installation." WSU requires closers to be mounted with thru-bolts.
- Item 5: WSU will provide and install door cores. General Contractor to coordinate with WSU.
- Item 6: WSU Campus Standards are available at <http://departments.weber.edu/facilities/> in a document called "Construction Standards for Architects, Engineers and Contractors." Where the project specifications conflict with the campus standard, the campus standard takes precedence.
- Item 7: Shaft wall is an acceptable alternate as the 1-hour rated wall assembly above the ceiling.
- Item 8: Other items:
- a) Up to 10 parking permits will be provided by WSU to the selected General Contractor. Persons using permits should adhere to Campus parking signage.
 - b) Work hours are 7:00 am to 10:00 pm.
 - c) General Contractor and subcontractors will be permitted to use the 3rd floor restrooms near the construction area only.
 - d) No construction trailer is required.
 - e) Radios are not permitted.
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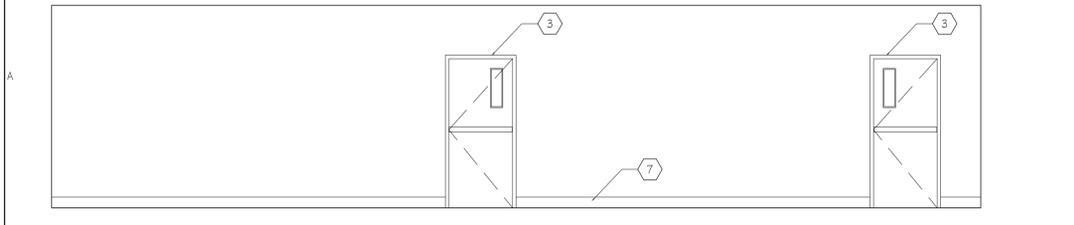
END OF ADDENDUM



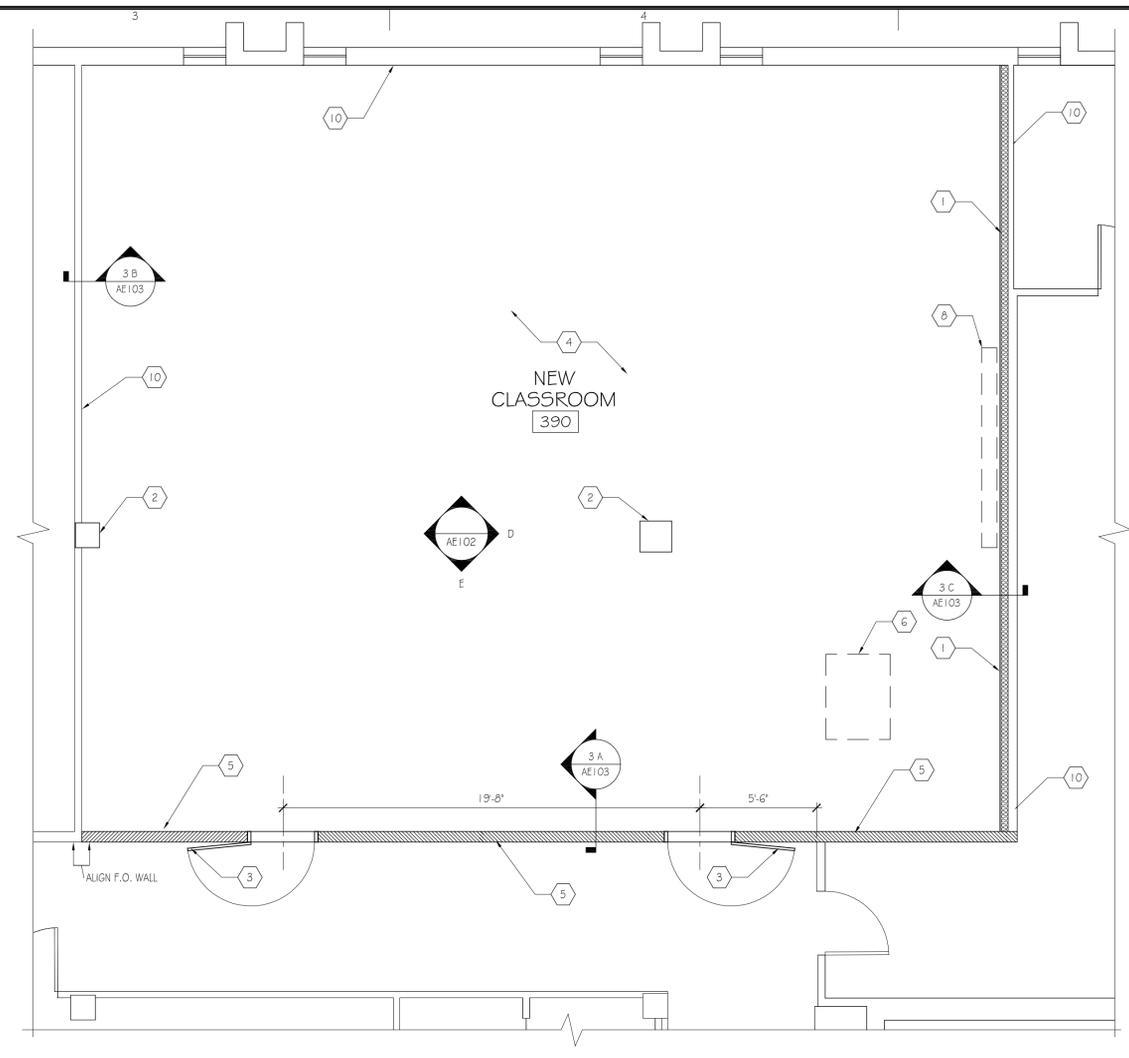
1 PARTIAL ENLARGED FLOOR PLAN - NEW ROOM #318
SCALE: 1/4" = 1'-0"
NORTH



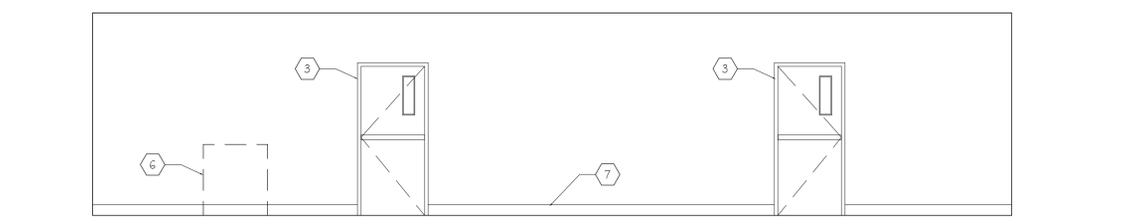
A WEST INTERIOR ELEVATION - NEW ROOM #318
SCALE: 1/4" = 1'-0"



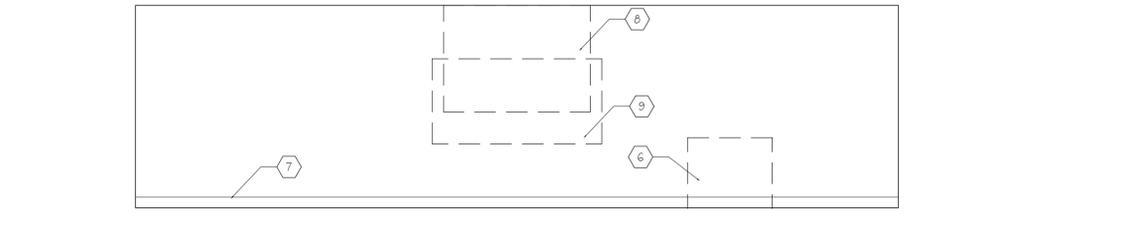
B SOUTH INTERIOR ELEVATION - NEW ROOM #318
SCALE: 1/4" = 1'-0"



2 PARTIAL ENLARGED FLOOR PLAN - NEW ROOM #390
SCALE: 1/4" = 1'-0"
NORTH



E WEST INTERIOR ELEVATION - NEW ROOM #390
SCALE: 1/4" = 1'-0"



D SOUTH INTERIOR ELEVATION - NEW ROOM #390
SCALE: 1/4" = 1'-0"

- KEYED NOTES:**
- 1 FURR OUT EXISTING WALL, SEE DETAILS ON SHEET AE103.
 - 2 FINISH, PATCH AND REPAIR COLUMN WRAP FINISHES AS REQUIRED.
 - 3 NEW 1-HOUR RATED, FLUSH WOOD DOOR WITH GLAZED LITE LESS THAN 100 SQ. INCHES, H.M. FRAME PAINTED.
 - 4 NEW CARPET N.I.C., PREPARE EXISTING FLOOR AS REQUIRED FOR NEW CARPET, COORD. W/ OWNER.
 - 5 NEW 1-HOUR METAL STUD WALL SEALED TO DECK ABOVE, PAINTED. SEE DETAILS ON AE103.
 - 6 AV PODIUM, N.I.C., BY OWNER COORDINATE FINAL LOCATION WITH OWNER.
 - 7 NEW RUBBER BASE, N.I.C., COORD. W/ OWNER AS NECESSARY.
 - 8 WALL-MOUNTED MOTORIZED PROJECTION SCREEN, N.I.C., BY OWNER, PROVIDE BLOCKING AS REQUIRED.
 - 9 WALL-MOUNTED WHITE BOARD, CAMPUS STANDARD, N.I.C., BY OWNER, PROVIDE BLOCKING AS REQUIRED.
 - 10 EXISTING WALL TO REMAIN, REPAIR DAMAGE AS REQUIRED, SEE SHEET AE103.

- AE102 GENERAL NOTES:**
1. REPAINT FINISHED WALL SURFACES AS REQUIRED.
 2. PATCH & REPAIR ALL SURFACES AS REQUIRED.
 3. G.C. TO FIELD VERIFY ALL EXISTING CONDITIONS.
 4. COORDINATE HANDLING OF REUSABLE/SALVAGED ITEMS WITH OWNER.

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3750 HARRISON BLVD.
OGDEN UT 84408

SOCIAL SCIENCE BUILDING
3RD FLOOR REMODEL

WSU: JIM HARRIS
CAMPUS DEVELOPMENT
2601 UNIVERSITY CIRCLE
OGDEN, UT 84408-2601

DFCM: TIM PARKINSON
DFCM PROJECT #08319810

REVISIONS WITHOUT BUBBLES: MARCH 02, 2009

03-10-2009 Addendum #2

DATE: MARCH 02, 2009
PROJECT NO: CRSA B08-033
CAD DWG FILE: p:\p08-033...drawresources... .dwg
DRAWN BY:
CHECKED BY: ceh/dns

PARTIAL ENLARGED FLOOR PLANS

AE102