



# SALT LAKE COMMUNITY COLLEGE SCIENCE AND INDUSTRY BUILDING ROOFING IMPROVEMENTS



TAYLORSVILLE, UTAH

DFCM PROJECT NO. 09016660

State of Utah

Department of Administrative Services

Division of Facilities  
Construction & Management  
4110 State Office Building  
Salt Lake City, Utah 84114  
Phone: (801) 538 - 3018  
Fax: (801) 538 - 3267  
Internet: http://www.dfc.state.ut.us

Salt Lake Community College

CREATED BY: P+A architects

P+A architects  
821 East Kensington Ave.  
Salt Lake City, Utah 84105  
P: 801.484.1161  
F: 801.485.4640  
e-mail: parchitects@comcast.net



architecture | planning | design

PROJECT TITLE:

SALT LAKE COMMUNITY COLLEGE  
SCIENCE AND INDUSTRY BUILDING

ROOFING IMPROVEMENTS

SALT LAKE COMMUNITY COLLEGE  
4600 SOUTH REDWOOD ROAD  
TAYLORSVILLE, UTAH

MARK | DATE | DESCRIPTION  
ISSUE TYPE: CONSTRUCTION DOCUMENTS

ISSUE DATE: 1st July, 2009

CAD PROJECT NO: 09016660

CAD DWG FILE:

DRAWN BY: BRIAN AND SCOTT

CHK'D BY: SCOTT

COPYRIGHT: P+A architects

KEY PLAN

SHEET TITLE

COVER SHEET

SHEET NUMBER

G-1001

ABBREVIATIONS	DESIGN TEAM	GRAPHIC KEY	DFCM DESIGN AND CODE CRITERIA																																																																																																																																																																																																																																																																																																																																								
<p>Reference to materials or methods have been made on the drawings in accordance with the following abbreviations:</p> <table border="0"> <tr><td>#</td><td>NUMBER</td><td>QWB.</td><td>GYPSUM WALL BOARD</td></tr> <tr><td>.</td><td>FEET</td><td>GYP. BD.</td><td>GYPSUM WALL BOARD</td></tr> <tr><td>"</td><td>INCHES</td><td>HC.</td><td>HANDICAPPED</td></tr> <tr><td>&amp;</td><td>AND</td><td>HDW.</td><td>HARDWARE</td></tr> <tr><td>Ø</td><td>DIAMETER</td><td>H.M.</td><td>HOLLOW METAL</td></tr> <tr><td>∅</td><td>ADJUSTABLE</td><td>HRZ.</td><td>HORIZONTAL</td></tr> <tr><td>ADJ</td><td>ADJUSTABLE</td><td>HR.</td><td>HOUR</td></tr> <tr><td>AFF</td><td>ABOVE FINISH FLOOR</td><td>HT.</td><td>HEIGHT</td></tr> <tr><td>ALUM</td><td>ALUMINUM</td><td>HVAC</td><td>HEATING/VENTILATION/</td></tr> <tr><td>ASTM</td><td>AMERICAN SOCIETY FOR</td><td></td><td>AIR CONDITIONING</td></tr> <tr><td></td><td>TESTING MATERIALS</td><td>HYDR.</td><td>HYDRANT</td></tr> <tr><td>ATS</td><td>AUTOMATIC TRANSFER</td><td>I.D.</td><td>INSIDE DIAMETER</td></tr> <tr><td></td><td>SWITCH</td><td>INFO</td><td>INFORMATION</td></tr> <tr><td>BD</td><td>BOARD</td><td>INSUL.</td><td>INSULATION</td></tr> <tr><td>BTUM.</td><td>BITUMINOUS</td><td>LAV.</td><td>LAVATORY</td></tr> <tr><td>BLDG</td><td>BUILDING</td><td>LT.</td><td>LIGHT</td></tr> <tr><td>B.M.</td><td>BENCHMARK</td><td>MATL.</td><td>MATERIAL</td></tr> <tr><td>B.O.</td><td>BOTTOM OF</td><td>MAX.</td><td>MAXIMUM</td></tr> <tr><td>BRC.</td><td>BEARING</td><td>MECH.</td><td>MECHANICAL</td></tr> <tr><td>BTWN.</td><td>BETWEEN</td><td>MFR.</td><td>MANUFACTURER</td></tr> <tr><td>CER.</td><td>CERAMIC</td><td>MIN.</td><td>MINIMUM</td></tr> <tr><td>CJ</td><td>CONSTRUCTION JOINT</td><td>MISC.</td><td>MISCELLANEOUS</td></tr> <tr><td>CLG.</td><td>CEILING</td><td>M.O.</td><td>MASONRY OPENING</td></tr> <tr><td>CLR.</td><td>CLEAR</td><td>MTL.</td><td>METAL</td></tr> <tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>NIC</td><td>NOT IN CONTRACT</td></tr> <tr><td>COL.</td><td>COLUMN</td><td>NO.</td><td>NUMBER</td></tr> <tr><td>CONC.</td><td>CONCRETE</td><td>N.T.S.</td><td>NOT TO SCALE</td></tr> <tr><td>CONT.</td><td>CONTINUOUS</td><td>O.C.</td><td>ON CENTER</td></tr> <tr><td>CONST.</td><td>CONSTRUCTION</td><td>O.D.</td><td>OUTSIDE DIAMETER</td></tr> <tr><td>COORD.</td><td>COORDINATE</td><td>O.H.</td><td>OVERHEAD</td></tr> <tr><td>CTJ</td><td>CONSTRUCTION JOINT</td><td>OPP.</td><td>OPPOSITE</td></tr> <tr><td>DSL.</td><td>DOUBLE</td><td>PART.</td><td>PARTITION</td></tr> <tr><td>DWP</td><td>DIRECTOR OF PUBLIC WORKS</td><td>PERP.</td><td>PERPENDICULAR</td></tr> <tr><td>DIA.</td><td>DIAMETER</td><td>PL.</td><td>PLATE</td></tr> <tr><td>DPG</td><td>DUGWAY PROWING GROUND</td><td>PNTD.</td><td>PAINTED</td></tr> <tr><td>DTL.</td><td>DETAIL</td><td>PSI</td><td>POUNDS PER SQUARE INCH</td></tr> <tr><td>DWGS.</td><td>DRAWINGS</td><td>R.D.</td><td>ROOF DRAIN</td></tr> <tr><td>EA.</td><td>EACH</td><td>RAD.</td><td>RADIUS</td></tr> <tr><td>EJ</td><td>EXPANSION JOINT</td><td>REINF.</td><td>REINFORCED</td></tr> <tr><td>ELEV.</td><td>ELEVATION</td><td>REQD.</td><td>REQUIRED</td></tr> <tr><td>EQ.</td><td>EQUAL</td><td>RET.</td><td>RETURN</td></tr> <tr><td>E.S.</td><td>EACH SIDE</td><td>REV.</td><td>REVERSED</td></tr> <tr><td>EXIST.</td><td>EXISTING</td><td>RM.</td><td>ROOM</td></tr> <tr><td>EXPAN.</td><td>EXPANSION</td><td>R.O.</td><td>ROUGH OPENING</td></tr> <tr><td>EXT.</td><td>EXTERIOR</td><td>SCH.</td><td>SCHEDULE</td></tr> <tr><td>E.W.C.</td><td>ELECTRIC WATER COOLER</td><td>SHR.</td><td>SHOWER</td></tr> <tr><td>F.D.</td><td>FLOOR DRAIN</td><td>SHT.</td><td>SHEET</td></tr> <tr><td>FDN.</td><td>FOUNDATION</td><td>SM.</td><td>SIMILAR</td></tr> <tr><td>F.E.</td><td>FIRE EXTINGUISHER</td><td>SPEC.</td><td>SPECIFICATION</td></tr> <tr><td>F.E.C.</td><td>FIRE EXTINGUISHER CABINET</td><td>STD.</td><td>STANDARD</td></tr> <tr><td>F.F.</td><td>FINISH FLOOR</td><td>STR.</td><td>STRUCTURAL</td></tr> <tr><td>FIN.</td><td>FINISH</td><td>SUSP.</td><td>SUSPENDED</td></tr> <tr><td>FLR.</td><td>FLOOR</td><td>THRU</td><td>THROUGH</td></tr> <tr><td>F.L.</td><td>FLOW LINE</td><td>T.O.</td><td>TOP OF</td></tr> <tr><td>FTG.</td><td>FOOTING</td><td>T.O.A.</td><td>TOP OF ASPHALT</td></tr> <tr><td>GA.</td><td>GAGE</td><td>T.O.C.</td><td>TOP OF CURB</td></tr> <tr><td>GALV.</td><td>GALVANIZED</td><td>T.O.F.</td><td>TOP OF FOOTING</td></tr> <tr><td>GF-GI</td><td>GOVERNMENT FURNISHED CONTRACTOR INSTALLED</td><td>T.O.S.</td><td>TOP OF SLAB OR SIDEWALK</td></tr> <tr><td></td><td>GOVERNMENT FURNISHED</td><td>T.O.W.</td><td>TOP OF WALL</td></tr> <tr><td>GF-GI</td><td>GOVERNMENT FURNISHED</td><td>TYP.</td><td>TYPICAL</td></tr> <tr><td></td><td>GOVERNMENT INSTALLED</td><td>VERT.</td><td>VERTICAL</td></tr> <tr><td>G.I.</td><td>GALVANIZED STEEL</td><td>VEST.</td><td>VESTIBULE</td></tr> <tr><td>GND.</td><td>GROUND</td><td>W.</td><td>WITH</td></tr> <tr><td>GOVT.</td><td>GOVERNMENT</td><td>WD</td><td>WOOD</td></tr> </table>	#	NUMBER	QWB.	GYPSUM WALL BOARD	.	FEET	GYP. BD.	GYPSUM WALL BOARD	"	INCHES	HC.	HANDICAPPED	&	AND	HDW.	HARDWARE	Ø	DIAMETER	H.M.	HOLLOW METAL	∅	ADJUSTABLE	HRZ.	HORIZONTAL	ADJ	ADJUSTABLE	HR.	HOUR	AFF	ABOVE FINISH FLOOR	HT.	HEIGHT	ALUM	ALUMINUM	HVAC	HEATING/VENTILATION/	ASTM	AMERICAN SOCIETY FOR		AIR CONDITIONING		TESTING MATERIALS	HYDR.	HYDRANT	ATS	AUTOMATIC TRANSFER	I.D.	INSIDE DIAMETER		SWITCH	INFO	INFORMATION	BD	BOARD	INSUL.	INSULATION	BTUM.	BITUMINOUS	LAV.	LAVATORY	BLDG	BUILDING	LT.	LIGHT	B.M.	BENCHMARK	MATL.	MATERIAL	B.O.	BOTTOM OF	MAX.	MAXIMUM	BRC.	BEARING	MECH.	MECHANICAL	BTWN.	BETWEEN	MFR.	MANUFACTURER	CER.	CERAMIC	MIN.	MINIMUM	CJ	CONSTRUCTION JOINT	MISC.	MISCELLANEOUS	CLG.	CEILING	M.O.	MASONRY OPENING	CLR.	CLEAR	MTL.	METAL	CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT	COL.	COLUMN	NO.	NUMBER	CONC.	CONCRETE	N.T.S.	NOT TO SCALE	CONT.	CONTINUOUS	O.C.	ON CENTER	CONST.	CONSTRUCTION	O.D.	OUTSIDE DIAMETER	COORD.	COORDINATE	O.H.	OVERHEAD	CTJ	CONSTRUCTION JOINT	OPP.	OPPOSITE	DSL.	DOUBLE	PART.	PARTITION	DWP	DIRECTOR OF PUBLIC WORKS	PERP.	PERPENDICULAR	DIA.	DIAMETER	PL.	PLATE	DPG	DUGWAY PROWING GROUND	PNTD.	PAINTED	DTL.	DETAIL	PSI	POUNDS PER SQUARE INCH	DWGS.	DRAWINGS	R.D.	ROOF DRAIN	EA.	EACH	RAD.	RADIUS	EJ	EXPANSION JOINT	REINF.	REINFORCED	ELEV.	ELEVATION	REQD.	REQUIRED	EQ.	EQUAL	RET.	RETURN	E.S.	EACH SIDE	REV.	REVERSED	EXIST.	EXISTING	RM.	ROOM	EXPAN.	EXPANSION	R.O.	ROUGH OPENING	EXT.	EXTERIOR	SCH.	SCHEDULE	E.W.C.	ELECTRIC WATER COOLER	SHR.	SHOWER	F.D.	FLOOR DRAIN	SHT.	SHEET	FDN.	FOUNDATION	SM.	SIMILAR	F.E.	FIRE EXTINGUISHER	SPEC.	SPECIFICATION	F.E.C.	FIRE EXTINGUISHER CABINET	STD.	STANDARD	F.F.	FINISH FLOOR	STR.	STRUCTURAL	FIN.	FINISH	SUSP.	SUSPENDED	FLR.	FLOOR	THRU	THROUGH	F.L.	FLOW LINE	T.O.	TOP OF	FTG.	FOOTING	T.O.A.	TOP OF ASPHALT	GA.	GAGE	T.O.C.	TOP OF CURB	GALV.	GALVANIZED	T.O.F.	TOP OF FOOTING	GF-GI	GOVERNMENT FURNISHED CONTRACTOR INSTALLED	T.O.S.	TOP OF SLAB OR SIDEWALK		GOVERNMENT FURNISHED	T.O.W.	TOP OF WALL	GF-GI	GOVERNMENT FURNISHED	TYP.	TYPICAL		GOVERNMENT INSTALLED	VERT.	VERTICAL	G.I.	GALVANIZED STEEL	VEST.	VESTIBULE	GND.	GROUND	W.	WITH	GOVT.	GOVERNMENT	WD	WOOD	<p><b>Architect</b> P+A architects 821 East Kensington Ave. Salt Lake City, Utah 84105 P: 801.484.1161 F: 801.485.4640 e-mail: parchitects@comcast.net Contact: Scott Prior</p> <p><b>Structural</b> Vector Engineering 9138 South State Street, Suite 101 Sandy, Utah 84070 P: 801.990.1775 F: 801.990.1776 Contact: Jacob Proctor</p> <p><b>Division of Facilities Construction &amp; Management</b> 4110 State Office Building Salt Lake City, Utah 84114 P: 801.541.0945 F: 801.538.3267 Contact: Matt Boyer</p>	<p><b>GRAPHIC KEY</b></p>	<p><b>DFCM DESIGN AND CODE CRITERIA</b></p> <p><b>APPLICABLE CODES</b></p> <table border="1"> <thead> <tr> <th>Code</th> <th>Year</th> <th>Code</th> <th>Year</th> </tr> </thead> <tbody> <tr> <td>International Building Code</td> <td>2006</td> <td>National Electrical Code</td> <td>2008</td> </tr> <tr> <td>International Mechanical Code</td> <td>2006</td> <td>Uniform Code for Building Conservation</td> <td>N/A</td> </tr> <tr> <td>International Plumbing Code</td> <td>2006</td> <td>ADA Accessibility Guidelines</td> <td>ICC/ANSI A117.1</td> </tr> <tr> <td>International Fire Code</td> <td>2006</td> <td></td> <td></td> </tr> <tr> <td>International Energy Conservation Code</td> <td>N/A</td> <td></td> <td></td> </tr> </tbody> </table> <p>A. Occupancy and Group: B Change in Use: Yes ___ No ___ Mixed Occupancy: Yes ___ No ___ X ___ Special Use and Occupancy (e.g. High Rise, Covered Mall): NO B. Seismic Design Category: C Design Wind Speed: 90 mph C. Type of Construction (circle one): I II III IV V VI VII VIII IX X XI XII D. Fire Resistance Rating - Requirements for the Exterior Walls based on the fire separation distance (in hours): North: N/A South: N/A East: N/A West: N/A E. Mixed Occupancies: NO Nonseparated Uses: NO F. Sprinklers: Required: YES Provided: YES Type of Sprinkler System: WET PIPE G. Number of Stories: 3 Building Height: 44'-0" H. Actual Area per Floor (square feet): 33,688 SQ. FT. I. Tabular Area: N/A J. Area Modifications: <math>A_n = A_1 + \frac{A_1 I_1}{100} + \frac{A_1 I_2}{100}</math> <math>I_1 = 100 \left[ \frac{F}{P} - 0.25 \right] \frac{W}{30}</math> b) Sum of the Ratio Calculations for Mixed Occupancies: Actual Area ≤ 1 Allowable Area c) Total Allowable Area for: 1) One Story: ___ 2) Two Story: <math>A_n(2) =</math> ___ 3) Three Story: <math>A_n(3) =</math> ___ d) Unlimited Area Building: Yes ___ No ___ X ___ Code Section: N/A K. Fire Resistance Rating Requirements for Building Elements (hours):</p> <table border="1"> <thead> <tr> <th>Element</th> <th>Hours</th> <th>Assembly Listing</th> <th>Element</th> <th>Hours</th> <th>Assembly Listing</th> </tr> </thead> <tbody> <tr> <td>Exterior Bearing Walls</td> <td>0</td> <td>—</td> <td>Floors - Ceiling Floors</td> <td>0</td> <td>—</td> </tr> <tr> <td>Interior Bearing Walls</td> <td>0</td> <td>—</td> <td>Roofs - Ceiling Roofs</td> <td>0</td> <td>—</td> </tr> <tr> <td>Exterior Non-Bearing Walls</td> <td>0</td> <td>—</td> <td>Exterior Doors and Windows</td> <td>0</td> <td>—</td> </tr> <tr> <td>Structural Frame</td> <td>0</td> <td>—</td> <td>Shaft Enclosures</td> <td>0</td> <td>—</td> </tr> <tr> <td>Partitions - Permanent</td> <td>0</td> <td>—</td> <td>Fire Walls</td> <td>0</td> <td>—</td> </tr> <tr> <td>Fire Barriers</td> <td>0</td> <td>—</td> <td>Fire Partitions</td> <td>0</td> <td>—</td> </tr> <tr> <td></td> <td></td> <td></td> <td>Smoke Partitions</td> <td>0</td> <td>—</td> </tr> </tbody> </table> <p>L. Design Occupant Load: N/A Exit Width Provided: N/A M. Minimum Number of Required Plumbing Facilities: a) Water Closets - Required (m) N/A (f) N/A Provided (m) N/A (f) N/A b) Lavatories - Required (m) N/A (f) N/A Provided (m) N/A (f) N/A c) Bath Tubs or Showers: NOT PROVIDED d) Drinking Fountains: NOT PROVIDED Service Sinks: ___</p> <p><b>FOOTNOTES:</b> 1) In case of conflict with the U.S. Department of Justice Federal Registers Parts 1 through 11 - ADA Guidelines and specific reference to the International Building Code Accessibility Chapters, the more restrictive requirement shall govern. 2) Additional Code Information shall be provided at the discretion of the Building Official for Complex Buildings, including, but not limited to: a) High Rise Requirements. b) Airlifts. c) Performance Based Criteria. d) Means or Egress Analysis. e) Fire Assembly Locator Sheet. f) Exterior and Interior Accessibility Route. g) Fire Stopping, Including Tested Design Number. 3) Deferred Submittals As Listed Below To Be Submitted To The Building Official a. Every Structure, And Portion Thereof, Including Non Structural Components That Are Permanently Attached To The Structure And Their Supports And Attachments, Shall Be Designed And Constructed To Resist The Effects Of Earthquake Motion In Accordance With ASCE 7-05, Reference IBC Section 1613.1. b. A Licensed Inspector shall be hired by the State of Utah to provide inspections and reports. All written reports shall be provided to the architect, DFCM Project Manager and Enro Calla head of state plans inspectors. c. There will be no deferred submittals for this project. All submittals will be reviewed by the architect and structural engineers.</p>	Code	Year	Code	Year	International Building Code	2006	National Electrical Code	2008	International Mechanical Code	2006	Uniform Code for Building Conservation	N/A	International Plumbing Code	2006	ADA Accessibility Guidelines	ICC/ANSI A117.1	International Fire Code	2006			International Energy Conservation Code	N/A			Element	Hours	Assembly Listing	Element	Hours	Assembly Listing	Exterior Bearing Walls	0	—	Floors - Ceiling Floors	0	—	Interior Bearing Walls	0	—	Roofs - Ceiling Roofs	0	—	Exterior Non-Bearing Walls	0	—	Exterior Doors and Windows	0	—	Structural Frame	0	—	Shaft Enclosures	0	—	Partitions - Permanent	0	—	Fire Walls	0	—	Fire Barriers	0	—	Fire Partitions	0	—				Smoke Partitions	0	—
#	NUMBER	QWB.	GYPSUM WALL BOARD																																																																																																																																																																																																																																																																																																																																								
.	FEET	GYP. BD.	GYPSUM WALL BOARD																																																																																																																																																																																																																																																																																																																																								
"	INCHES	HC.	HANDICAPPED																																																																																																																																																																																																																																																																																																																																								
&	AND	HDW.	HARDWARE																																																																																																																																																																																																																																																																																																																																								
Ø	DIAMETER	H.M.	HOLLOW METAL																																																																																																																																																																																																																																																																																																																																								
∅	ADJUSTABLE	HRZ.	HORIZONTAL																																																																																																																																																																																																																																																																																																																																								
ADJ	ADJUSTABLE	HR.	HOUR																																																																																																																																																																																																																																																																																																																																								
AFF	ABOVE FINISH FLOOR	HT.	HEIGHT																																																																																																																																																																																																																																																																																																																																								
ALUM	ALUMINUM	HVAC	HEATING/VENTILATION/																																																																																																																																																																																																																																																																																																																																								
ASTM	AMERICAN SOCIETY FOR		AIR CONDITIONING																																																																																																																																																																																																																																																																																																																																								
	TESTING MATERIALS	HYDR.	HYDRANT																																																																																																																																																																																																																																																																																																																																								
ATS	AUTOMATIC TRANSFER	I.D.	INSIDE DIAMETER																																																																																																																																																																																																																																																																																																																																								
	SWITCH	INFO	INFORMATION																																																																																																																																																																																																																																																																																																																																								
BD	BOARD	INSUL.	INSULATION																																																																																																																																																																																																																																																																																																																																								
BTUM.	BITUMINOUS	LAV.	LAVATORY																																																																																																																																																																																																																																																																																																																																								
BLDG	BUILDING	LT.	LIGHT																																																																																																																																																																																																																																																																																																																																								
B.M.	BENCHMARK	MATL.	MATERIAL																																																																																																																																																																																																																																																																																																																																								
B.O.	BOTTOM OF	MAX.	MAXIMUM																																																																																																																																																																																																																																																																																																																																								
BRC.	BEARING	MECH.	MECHANICAL																																																																																																																																																																																																																																																																																																																																								
BTWN.	BETWEEN	MFR.	MANUFACTURER																																																																																																																																																																																																																																																																																																																																								
CER.	CERAMIC	MIN.	MINIMUM																																																																																																																																																																																																																																																																																																																																								
CJ	CONSTRUCTION JOINT	MISC.	MISCELLANEOUS																																																																																																																																																																																																																																																																																																																																								
CLG.	CEILING	M.O.	MASONRY OPENING																																																																																																																																																																																																																																																																																																																																								
CLR.	CLEAR	MTL.	METAL																																																																																																																																																																																																																																																																																																																																								
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT																																																																																																																																																																																																																																																																																																																																								
COL.	COLUMN	NO.	NUMBER																																																																																																																																																																																																																																																																																																																																								
CONC.	CONCRETE	N.T.S.	NOT TO SCALE																																																																																																																																																																																																																																																																																																																																								
CONT.	CONTINUOUS	O.C.	ON CENTER																																																																																																																																																																																																																																																																																																																																								
CONST.	CONSTRUCTION	O.D.	OUTSIDE DIAMETER																																																																																																																																																																																																																																																																																																																																								
COORD.	COORDINATE	O.H.	OVERHEAD																																																																																																																																																																																																																																																																																																																																								
CTJ	CONSTRUCTION JOINT	OPP.	OPPOSITE																																																																																																																																																																																																																																																																																																																																								
DSL.	DOUBLE	PART.	PARTITION																																																																																																																																																																																																																																																																																																																																								
DWP	DIRECTOR OF PUBLIC WORKS	PERP.	PERPENDICULAR																																																																																																																																																																																																																																																																																																																																								
DIA.	DIAMETER	PL.	PLATE																																																																																																																																																																																																																																																																																																																																								
DPG	DUGWAY PROWING GROUND	PNTD.	PAINTED																																																																																																																																																																																																																																																																																																																																								
DTL.	DETAIL	PSI	POUNDS PER SQUARE INCH																																																																																																																																																																																																																																																																																																																																								
DWGS.	DRAWINGS	R.D.	ROOF DRAIN																																																																																																																																																																																																																																																																																																																																								
EA.	EACH	RAD.	RADIUS																																																																																																																																																																																																																																																																																																																																								
EJ	EXPANSION JOINT	REINF.	REINFORCED																																																																																																																																																																																																																																																																																																																																								
ELEV.	ELEVATION	REQD.	REQUIRED																																																																																																																																																																																																																																																																																																																																								
EQ.	EQUAL	RET.	RETURN																																																																																																																																																																																																																																																																																																																																								
E.S.	EACH SIDE	REV.	REVERSED																																																																																																																																																																																																																																																																																																																																								
EXIST.	EXISTING	RM.	ROOM																																																																																																																																																																																																																																																																																																																																								
EXPAN.	EXPANSION	R.O.	ROUGH OPENING																																																																																																																																																																																																																																																																																																																																								
EXT.	EXTERIOR	SCH.	SCHEDULE																																																																																																																																																																																																																																																																																																																																								
E.W.C.	ELECTRIC WATER COOLER	SHR.	SHOWER																																																																																																																																																																																																																																																																																																																																								
F.D.	FLOOR DRAIN	SHT.	SHEET																																																																																																																																																																																																																																																																																																																																								
FDN.	FOUNDATION	SM.	SIMILAR																																																																																																																																																																																																																																																																																																																																								
F.E.	FIRE EXTINGUISHER	SPEC.	SPECIFICATION																																																																																																																																																																																																																																																																																																																																								
F.E.C.	FIRE EXTINGUISHER CABINET	STD.	STANDARD																																																																																																																																																																																																																																																																																																																																								
F.F.	FINISH FLOOR	STR.	STRUCTURAL																																																																																																																																																																																																																																																																																																																																								
FIN.	FINISH	SUSP.	SUSPENDED																																																																																																																																																																																																																																																																																																																																								
FLR.	FLOOR	THRU	THROUGH																																																																																																																																																																																																																																																																																																																																								
F.L.	FLOW LINE	T.O.	TOP OF																																																																																																																																																																																																																																																																																																																																								
FTG.	FOOTING	T.O.A.	TOP OF ASPHALT																																																																																																																																																																																																																																																																																																																																								
GA.	GAGE	T.O.C.	TOP OF CURB																																																																																																																																																																																																																																																																																																																																								
GALV.	GALVANIZED	T.O.F.	TOP OF FOOTING																																																																																																																																																																																																																																																																																																																																								
GF-GI	GOVERNMENT FURNISHED CONTRACTOR INSTALLED	T.O.S.	TOP OF SLAB OR SIDEWALK																																																																																																																																																																																																																																																																																																																																								
	GOVERNMENT FURNISHED	T.O.W.	TOP OF WALL																																																																																																																																																																																																																																																																																																																																								
GF-GI	GOVERNMENT FURNISHED	TYP.	TYPICAL																																																																																																																																																																																																																																																																																																																																								
	GOVERNMENT INSTALLED	VERT.	VERTICAL																																																																																																																																																																																																																																																																																																																																								
G.I.	GALVANIZED STEEL	VEST.	VESTIBULE																																																																																																																																																																																																																																																																																																																																								
GND.	GROUND	W.	WITH																																																																																																																																																																																																																																																																																																																																								
GOVT.	GOVERNMENT	WD	WOOD																																																																																																																																																																																																																																																																																																																																								
Code	Year	Code	Year																																																																																																																																																																																																																																																																																																																																								
International Building Code	2006	National Electrical Code	2008																																																																																																																																																																																																																																																																																																																																								
International Mechanical Code	2006	Uniform Code for Building Conservation	N/A																																																																																																																																																																																																																																																																																																																																								
International Plumbing Code	2006	ADA Accessibility Guidelines	ICC/ANSI A117.1																																																																																																																																																																																																																																																																																																																																								
International Fire Code	2006																																																																																																																																																																																																																																																																																																																																										
International Energy Conservation Code	N/A																																																																																																																																																																																																																																																																																																																																										
Element	Hours	Assembly Listing	Element	Hours	Assembly Listing																																																																																																																																																																																																																																																																																																																																						
Exterior Bearing Walls	0	—	Floors - Ceiling Floors	0	—																																																																																																																																																																																																																																																																																																																																						
Interior Bearing Walls	0	—	Roofs - Ceiling Roofs	0	—																																																																																																																																																																																																																																																																																																																																						
Exterior Non-Bearing Walls	0	—	Exterior Doors and Windows	0	—																																																																																																																																																																																																																																																																																																																																						
Structural Frame	0	—	Shaft Enclosures	0	—																																																																																																																																																																																																																																																																																																																																						
Partitions - Permanent	0	—	Fire Walls	0	—																																																																																																																																																																																																																																																																																																																																						
Fire Barriers	0	—	Fire Partitions	0	—																																																																																																																																																																																																																																																																																																																																						
			Smoke Partitions	0	—																																																																																																																																																																																																																																																																																																																																						
	<p><b>LIST OF DRAWINGS</b></p> <table border="1"> <thead> <tr> <th>GENERAL</th> <th></th> </tr> </thead> <tbody> <tr> <td>G-1000</td> <td>COVER SHEET</td> </tr> <tr> <td>G-1001</td> <td>GENERAL INFORMATION</td> </tr> <tr> <td colspan="2"><b>ARCHITECTURAL</b></td> </tr> <tr> <td>A-SP100</td> <td>SITE PLAN</td> </tr> <tr> <td>A-DP100</td> <td>DEMOLITION ROOF PLAN (NORTH)</td> </tr> <tr> <td>A-DP101</td> <td>DEMOLITION ROOF PLAN (SOUTH)</td> </tr> <tr> <td>A-RP100</td> <td>NEW ROOF PLAN (NORTH)</td> </tr> <tr> <td>A-RP101</td> <td>ROOF PLAN NORTH TAPERED INSULATION LOCATION PLAN</td> </tr> <tr> <td>A-RP102</td> <td>NEW ROOF PLAN (SOUTH)</td> </tr> <tr> <td>A-RP103</td> <td>ROOF PLAN SOUTH TAPERED INSULATION LOCATION PLAN</td> </tr> <tr> <td>A-DT500</td> <td>ROOF DETAILS</td> </tr> <tr> <td>A-DT501</td> <td>ROOF DETAILS</td> </tr> <tr> <td colspan="2"><b>STRUCTURAL</b></td> </tr> <tr> <td>S-100</td> <td>ROOF SOLAR PANEL STRUCTURAL FRAMING AND DETAILS.</td> </tr> </tbody> </table>	GENERAL		G-1000	COVER SHEET	G-1001	GENERAL INFORMATION	<b>ARCHITECTURAL</b>		A-SP100	SITE PLAN	A-DP100	DEMOLITION ROOF PLAN (NORTH)	A-DP101	DEMOLITION ROOF PLAN (SOUTH)	A-RP100	NEW ROOF PLAN (NORTH)	A-RP101	ROOF PLAN NORTH TAPERED INSULATION LOCATION PLAN	A-RP102	NEW ROOF PLAN (SOUTH)	A-RP103	ROOF PLAN SOUTH TAPERED INSULATION LOCATION PLAN	A-DT500	ROOF DETAILS	A-DT501	ROOF DETAILS	<b>STRUCTURAL</b>		S-100	ROOF SOLAR PANEL STRUCTURAL FRAMING AND DETAILS.	<p><b>VICINITY MAP</b></p>																																																																																																																																																																																																																																																																																																											
GENERAL																																																																																																																																																																																																																																																																																																																																											
G-1000	COVER SHEET																																																																																																																																																																																																																																																																																																																																										
G-1001	GENERAL INFORMATION																																																																																																																																																																																																																																																																																																																																										
<b>ARCHITECTURAL</b>																																																																																																																																																																																																																																																																																																																																											
A-SP100	SITE PLAN																																																																																																																																																																																																																																																																																																																																										
A-DP100	DEMOLITION ROOF PLAN (NORTH)																																																																																																																																																																																																																																																																																																																																										
A-DP101	DEMOLITION ROOF PLAN (SOUTH)																																																																																																																																																																																																																																																																																																																																										
A-RP100	NEW ROOF PLAN (NORTH)																																																																																																																																																																																																																																																																																																																																										
A-RP101	ROOF PLAN NORTH TAPERED INSULATION LOCATION PLAN																																																																																																																																																																																																																																																																																																																																										
A-RP102	NEW ROOF PLAN (SOUTH)																																																																																																																																																																																																																																																																																																																																										
A-RP103	ROOF PLAN SOUTH TAPERED INSULATION LOCATION PLAN																																																																																																																																																																																																																																																																																																																																										
A-DT500	ROOF DETAILS																																																																																																																																																																																																																																																																																																																																										
A-DT501	ROOF DETAILS																																																																																																																																																																																																																																																																																																																																										
<b>STRUCTURAL</b>																																																																																																																																																																																																																																																																																																																																											
S-100	ROOF SOLAR PANEL STRUCTURAL FRAMING AND DETAILS.																																																																																																																																																																																																																																																																																																																																										



LEGEND

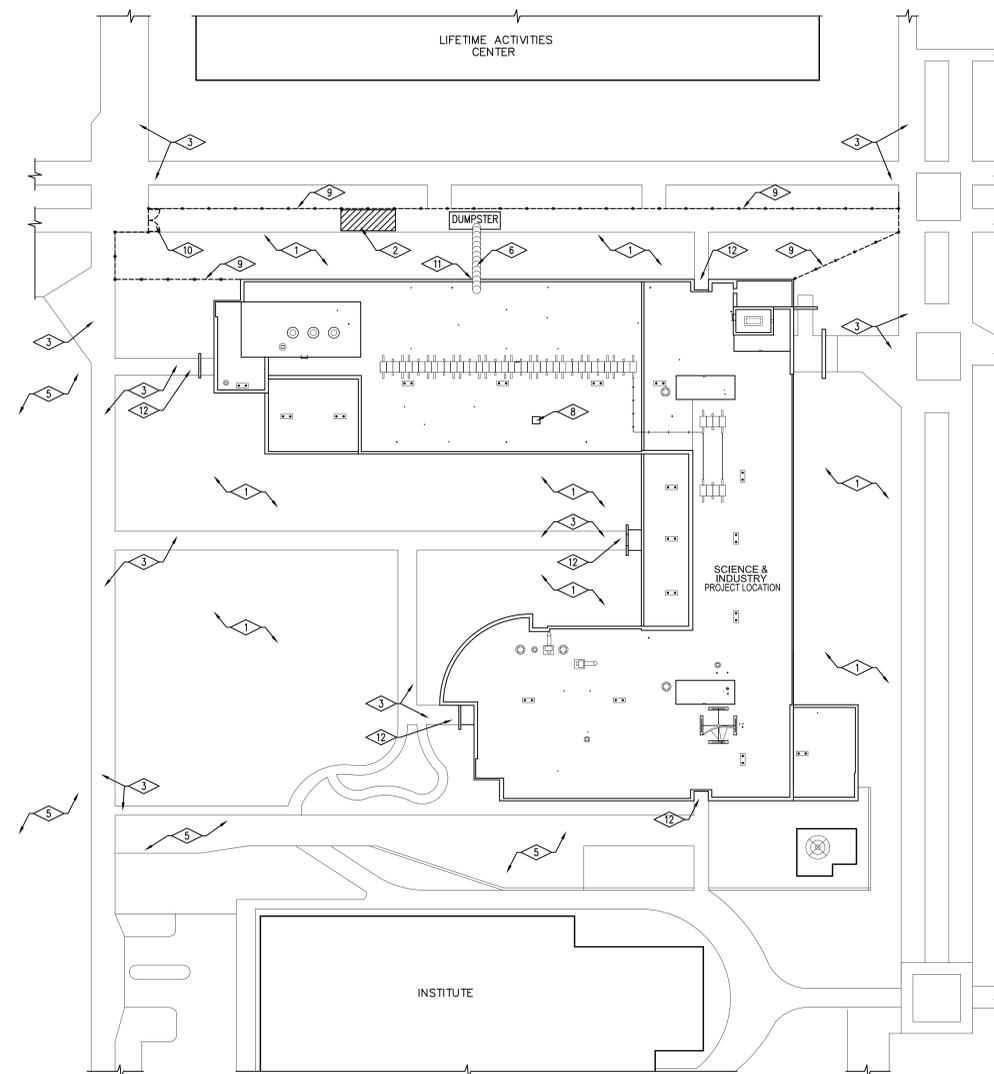
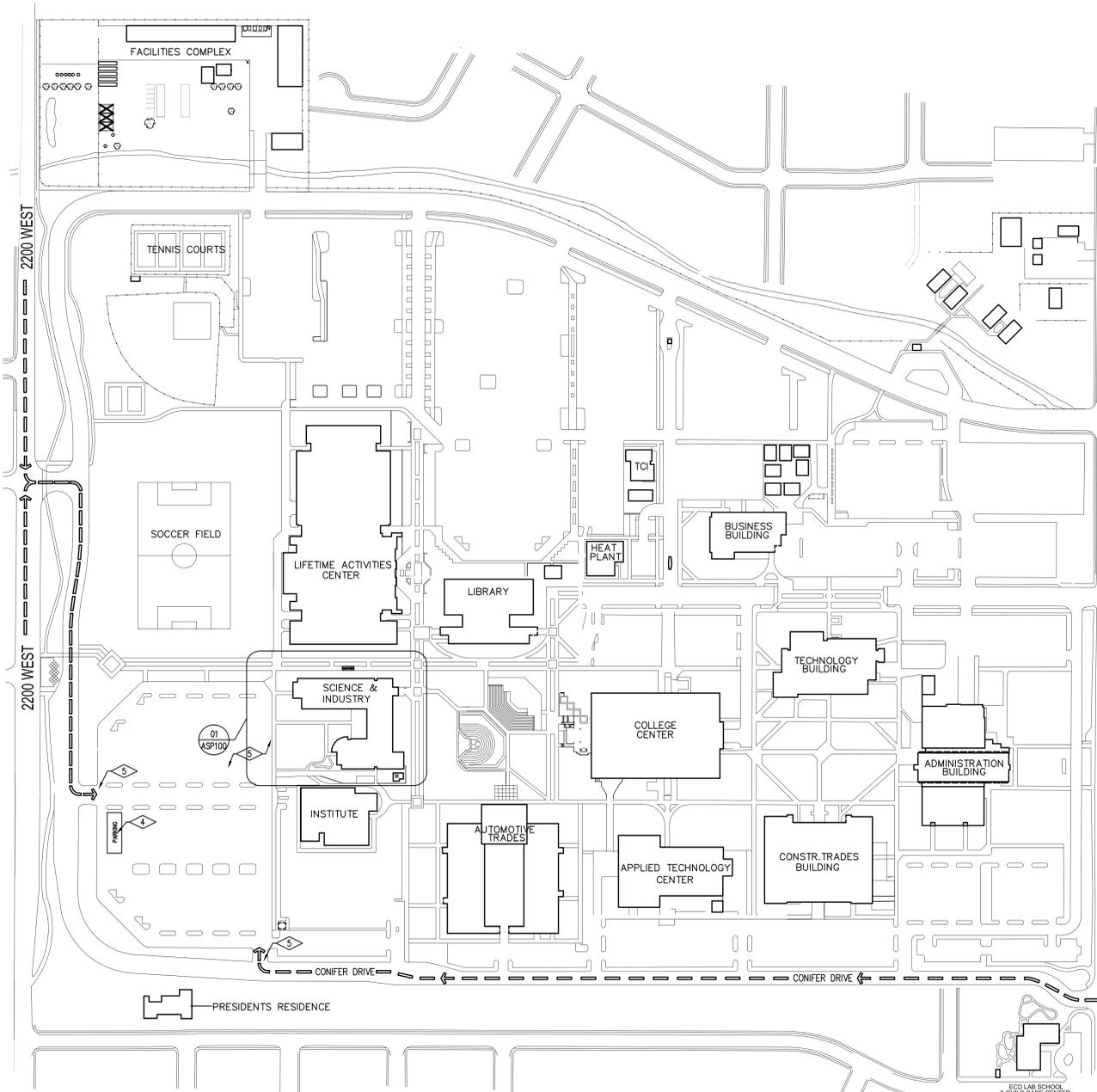
- CONTRACTOR PARKING AREA
- CONTRACTORS DUMPSTER LOCATION
- PROJECT LOCATION
- CONTRACTOR STAGING AREA IF REQUIRED
- CONTRACTOR VEHICLE ACCESS TO CONSTRUCTION SITE

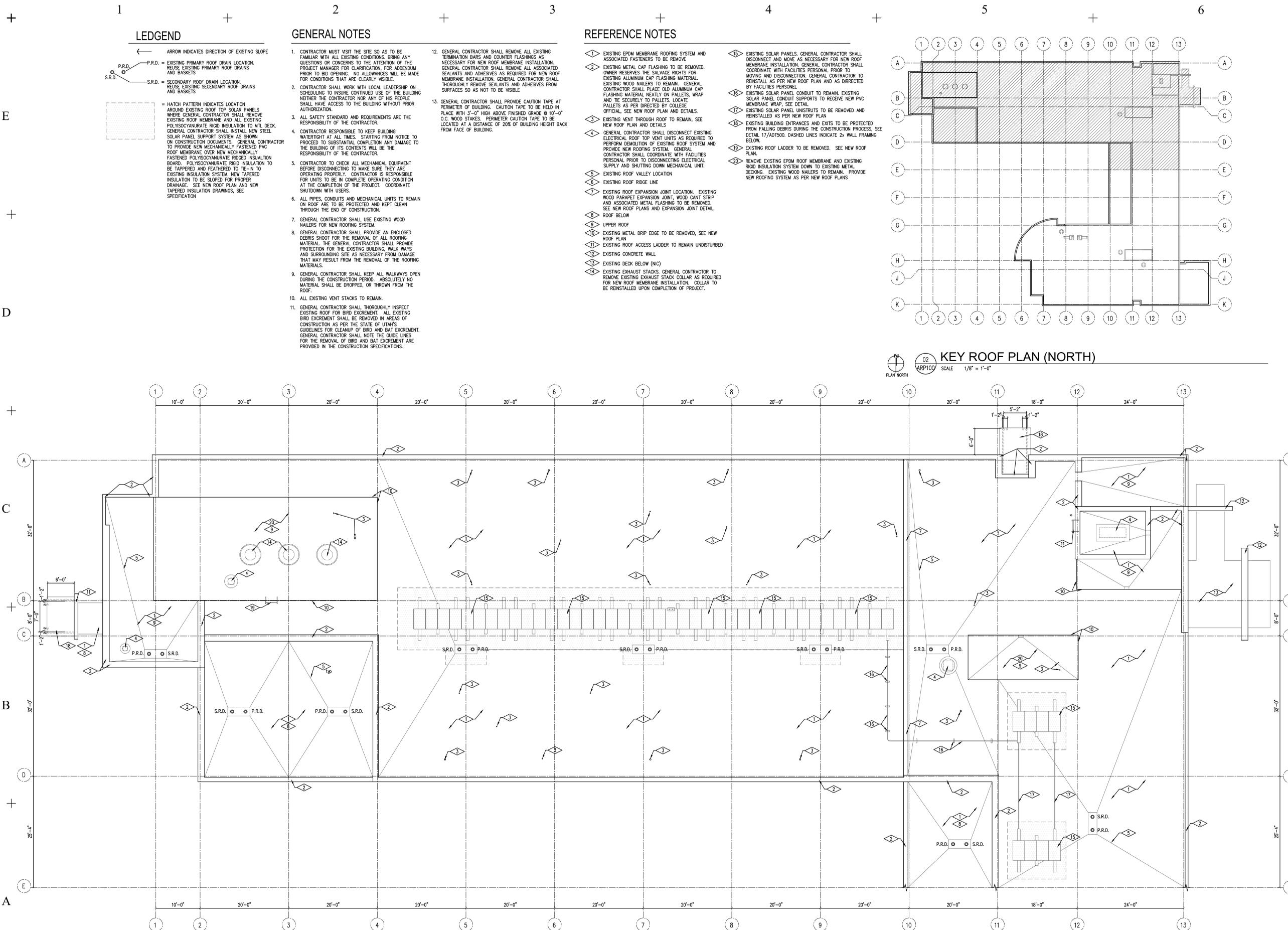
GENERAL NOTES

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY SIDEWALK, CURB & GUTTER, ASPHALT, LANDSCAPING ETC. DISTURBED OR DESTROYED DURING CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN EMERGENCY AND UTILITY VEHICLE ACCESS AT ALL TIMES TO ALL EXISTING BUILDINGS AND BUILDING ENTRANCES
3. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO BIDDING.
4. GENERAL CONTRACTOR SHALL PROTECT EXISTING BUILDING FROM DAMAGE DURING CONSTRUCTION.
5. EXISTING DRIVE APPROACHES TO REMAIN CLEAR AT ALL TIMES
6. ALL EXISTING SIDEWALKS TO REMAIN CLEAR AT ALL TIMES
7. ALL EXISTING CONCRETE AND ASPHALT PATHWAYS TO REMAIN OPEN TO PEDESTRIANS AND VEHICLES AT ALL TIMES DURING CONSTRUCTION
8. GENERAL CONTRACTOR SHALL PROVIDE SELF CONTAINED TOILET FACILITIES AS PER SPECIFICATION DURING CONSTRUCTION.
9. GENERAL CONTRACTOR SHALL PROVIDE CAUTION TAPE AT PERIMETER OF BUILDING. CAUTION TAPE TO BE HELD IN PLACE WITH 3'-0" HIGH ABOVE FINISHED GRADE @ 10'-0" O.C. WOOD STAKES. PERIMETER CAUTION TAPE TO BE LOCATED AT A DISTANCE OF 20% OF BUILDING HEIGHT BACK FROM FACE OF BUILDING.

REFERENCE NOTES

- 1- EXISTING AREAS OF LANDSCAPING NOT TO BE DISTURBED
- 2- GENERAL CONTRACTORS STAGING AREA
- 3- EXISTING CONCRETE AND ASPHALT PATHWAYS AND SIDEWALKS TO REMAIN OPEN TO PEDESTRIANS AND VEHICLES AT ALL TIMES DURING CONSTRUCTION
- 4- GENERAL CONTRACTORS PARKING AREA
- 5- EXISTING DRIVE APPROACHES TO REMAIN CLEAR AT ALL TIMES
- 6- GENERAL CONTRACTOR SHALL PROVIDE AN ENCLOSED DEBRIS SHOOT FOR THE REMOVAL OF CONSTRUCTION MATERIAL FROM THE ROOF OR, USE A CRANE.
- 7- ENCLOSED DEBRIS SHOOT LOCATION.
- 8- GENERAL CONTRACTOR SHALL PROVIDE SELF CONTAINED TOILET FACILITIES AS PER SPECIFICATION ON ROOF LOCATIONS DURING CONSTRUCTION.
- 9- GENERAL CONTRACTOR SHALL PROVIDE A 6'-0" HIGH CHAIN LINK CONSTRUCTION FENCE AS SHOWN. FENCE POSTS TO BE HELD IN PLACE WITH STEEL BASE PLATES WEIGHTED WITH SAND BAGS
- 10- CHAIN LINK GATE
- 11- GENERAL CONTRACTOR SHALL PROVIDE PROTECTION AT SIDE OF BUILDING WHERE DEBRIS SHOOT IS LOCATED
- 12- ALL ENTRANCES AND EXITS SHALL BE PROTECTED AS SHOWN ON ROOF PLAN DRAWINGS.





LEDGEND

- ARROW INDICATES DIRECTION OF EXISTING SLOPE
- P.R.D. = EXISTING PRIMARY ROOF DRAIN LOCATION. REUSE EXISTING PRIMARY ROOF DRAINS AND BASKETS
- S.R.D. = SECONDARY ROOF DRAIN LOCATION. REUSE EXISTING SECONDARY ROOF DRAINS AND BASKETS
- HATCH PATTERN INDICATES LOCATION AROUND EXISTING ROOF TOP SOLAR PANELS WHERE GENERAL CONTRACTOR SHALL REMOVE EXISTING ROOF MEMBRANE AND ALL EXISTING POLYISOCYANURATE RIGID INSULATION TO W/IL DECK. GENERAL CONTRACTOR SHALL INSTALL NEW STEEL SOLAR PANEL SUPPORT SYSTEM AS SHOWN ON CONSTRUCTION DOCUMENTS. GENERAL CONTRACTOR TO PROVIDE NEW MECHANICALLY FASTENED PVC ROOF MEMBRANE OVER NEW MECHANICALLY FASTENED POLYISOCYANURATE RIGID INSULATION BOARD. POLYISOCYANURATE RIGID INSULATION TO BE TAPERED AND FEATHERED TO TIE-IN TO EXISTING INSULATION SYSTEM. NEW TAPERED INSULATION TO BE SLOPED FOR PROPER DRAINAGE. SEE NEW ROOF PLAN AND NEW TAPERED INSULATION DRAWINGS. SEE SPECIFICATION

GENERAL NOTES

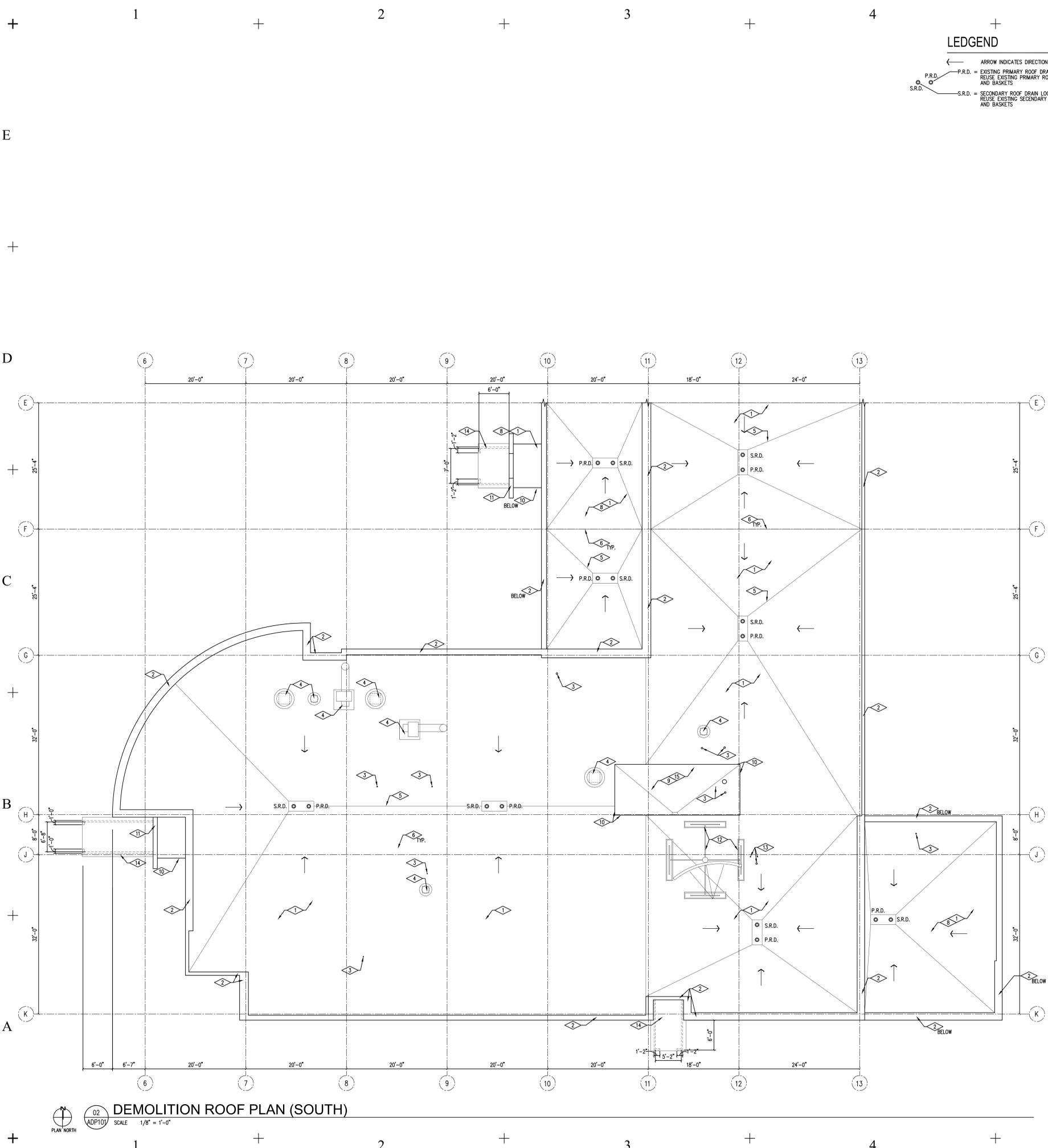
- CONTRACTOR MUST VISIT THE SITE SO AS TO BE FAMILIAR WITH ALL EXISTING CONDITIONS. BRING ANY QUESTIONS OR CONCERNS TO THE ATTENTION OF THE PROJECT MANAGER FOR CLARIFICATION. FOR ADDENDUM PRIOR TO BID OPENING. NO ALLOWANCES WILL BE MADE FOR CONDITIONS THAT ARE CLEARLY IDENTIFIED.
- CONTRACTOR SHALL WORK WITH LOCAL LEADERSHIP ON SCHEDULING TO INSURE CONTINUED USE OF THE BUILDING. NEITHER THE CONTRACTOR NOR ANY OF HIS PEOPLE SHALL HAVE ACCESS TO THE BUILDING WITHOUT PRIOR AUTHORIZATION.
- ALL SAFETY STANDARD AND REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR RESPONSIBLE TO KEEP BUILDING WATER TIGHT AT ALL TIMES. STARTING FROM NOTICE TO PROCEED TO SUBSTANTIAL COMPLETION ANY DAMAGE TO THE BUILDING OF ITS CONTENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO CHECK ALL MECHANICAL EQUIPMENT BEFORE DISCONNECTING TO MAKE SURE THEY ARE OPERATING PROPERLY. CONTRACTOR IS RESPONSIBLE FOR UNITS TO BE IN COMPLETE OPERATING CONDITION AT THE COMPLETION OF THE PROJECT. COORDINATE SHUTDOWN WITH USERS.
- ALL PIPES, CONDUITS AND MECHANICAL UNITS TO REMAIN ON ROOF ARE TO BE PROTECTED AND KEPT CLEAN THROUGH THE END OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL USE EXISTING WOOD NAILERS FOR NEW ROOFING SYSTEM.
- GENERAL CONTRACTOR SHALL PROVIDE AN ENCLOSED DEBRIS SHOOT FOR THE REMOVAL OF ALL ROOFING MATERIAL. THE GENERAL CONTRACTOR SHALL PROVIDE PROTECTION FOR THE EXISTING BUILDING, WALK WAYS AND SURROUNDING SITE AS NECESSARY FROM DAMAGE THAT MAY RESULT FROM THE REMOVAL OF THE ROOFING MATERIALS.
- GENERAL CONTRACTOR SHALL KEEP ALL WALKWAYS OPEN DURING THE CONSTRUCTION PERIOD. ABSOLUTELY NO MATERIAL SHALL BE DROPPED, OR THROWN FROM THE ROOF.
- ALL EXISTING VENT STACKS TO REMAIN.
- GENERAL CONTRACTOR SHALL THOROUGHLY INSPECT EXISTING ROOF FOR BIRD EXCREMENT. ALL EXISTING BIRD EXCREMENT SHALL BE REMOVED IN AREAS OF CONSTRUCTION AS PER THE STATE OF UTAH'S GUIDELINES FOR CLEANUP OF BIRD AND BAT EXCREMENT. GENERAL CONTRACTOR SHALL NOTE GUIDE LINES FOR THE REMOVAL OF BIRD AND BAT EXCREMENT ARE PROVIDED IN THE CONSTRUCTION SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING TERMINATION BARS AND COUNTER FLASHINGS AS NECESSARY FOR NEW ROOF MEMBRANE INSTALLATION. GENERAL CONTRACTOR SHALL REMOVE ALL ASSOCIATED SEALANTS AND ADHESIVES AS REQUIRED FOR NEW ROOF MEMBRANE INSTALLATION. GENERAL CONTRACTOR SHALL THOROUGHLY REMOVE SEALANTS AND ADHESIVES FROM SURFACES SO AS NOT TO BE VISIBLE.
- GENERAL CONTRACTOR SHALL PROVIDE CAUTION TAPE AT PERIMETER OF BUILDING. CAUTION TAPE TO BE HELD IN PLACE WITH 3"-0" HIGH ABOVE FINISHED GRADE @ 10'-0" O.C. WOOD STAKES. PERIMETER CAUTION TAPE TO BE LOCATED AT A DISTANCE OF 20% OF BUILDING HEIGHT BACK FROM FACE OF BUILDING.

REFERENCE NOTES

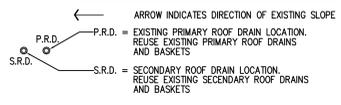
- EXISTING EPDM MEMBRANE ROOFING SYSTEM AND ASSOCIATED FASTENERS TO BE REMOVED
- EXISTING METAL CAP FLASHING TO BE REMOVED. OWNER RESERVES THE SALVAGE RIGHTS FOR EXISTING ALUMINUM CAP FLASHING MATERIAL. EXISTING WOOD NAILERS TO REMAIN. GENERAL CONTRACTOR SHALL PLACE OLD ALUMINUM CAP FLASHING MATERIAL NEATLY ON PALLETS, WRAP AND TIE SECURELY TO PALLETS. LOCATE PALLETS AS PER DIRECTED BY COLLEGE OFFICIAL. SEE NEW ROOF PLAN AND DETAILS.
- EXISTING VENT THROUGH ROOF TO REMAIN. SEE NEW ROOF PLAN AND DETAILS.
- GENERAL CONTRACTOR SHALL DISCONNECT EXISTING ELECTRICAL ROOF TOP VENT UNITS AS REQUIRED TO PERFORM DEMOLITION OF EXISTING ROOF SYSTEM AND PROVIDE NEW ROOFING SYSTEM. GENERAL CONTRACTOR SHALL COORDINATE WITH FACILITIES PERSONNEL PRIOR TO DISCONNECTING ELECTRICAL SUPPLY AND SHUTTING DOWN MECHANICAL UNIT.
- EXISTING ROOF VALLEY LOCATION
- EXISTING ROOF RIDGE LINE
- EXISTING ROOF EXPANSION JOINT LOCATION. EXISTING WOOD PARAPET EXPANSION JOINT, WOOD CANT STRIP AND ASSOCIATED METAL FLASHING TO BE REMOVED. SEE NEW ROOF PLANS AND EXPANSION JOINT DETAIL ROOF BELOW
- UPPER ROOF
- EXISTING METAL DRIP EDGE TO BE REMOVED, SEE NEW ROOF PLAN
- EXISTING ROOF ACCESS LADDER TO REMAIN UNDISTURBED
- EXISTING CONCRETE WALL
- EXISTING DECK BELOW (NIC)
- EXISTING EXHAUST STACKS. GENERAL CONTRACTOR TO REMOVE EXISTING EXHAUST STACK COLLAR AS REQUIRED FOR NEW ROOF MEMBRANE INSTALLATION. COLLAR TO BE REINSTALLED UPON COMPLETION OF PROJECT.
- EXISTING SOLAR PANELS. GENERAL CONTRACTOR SHALL DISCONNECT AND MOVE AS NECESSARY FOR NEW ROOF MEMBRANE INSTALLATION. GENERAL CONTRACTOR SHALL COORDINATE WITH FACILITIES PERSONNEL PRIOR TO MOVING AND DISCONNECTION. GENERAL CONTRACTOR TO REINSTALL AS PER NEW ROOF PLAN AND AS DIRECTED BY FACILITIES PERSONNEL.
- EXISTING SOLAR PANEL CONDUIT TO REMAIN. EXISTING SOLAR PANEL CONDUIT SUPPORTS TO RECEIVE NEW PVC MEMBRANE WRAP. SEE DETAIL.
- EXISTING SOLAR PANEL LINSTRUTS TO BE REMOVED AND REINSTALLED AS PER NEW ROOF PLAN
- EXISTING BUILDING ENTRANCES AND EXITS TO BE PROTECTED FROM FALLING DEBRIS DURING THE CONSTRUCTION PROCESS. SEE DETAIL 17/ADT500. DASHED LINES INDICATE 2x WALL FRAMING BELOW.
- EXISTING ROOF LADDER TO BE REMOVED. SEE NEW ROOF PLAN.
- REMOVE EXISTING EPDM ROOF MEMBRANE AND EXISTING RIGID INSULATION SYSTEM DOWN TO EXISTING METAL DECKING. EXISTING WOOD NAILERS TO REMAIN. PROVIDE NEW ROOFING SYSTEM AS PER NEW ROOF PLANS

KEY ROOF PLAN (NORTH)  
SCALE: 1/8" = 1'-0"

DEMOLITION ROOF PLAN (NORTH)  
SCALE: 1/8" = 1'-0"



**LEGEND**

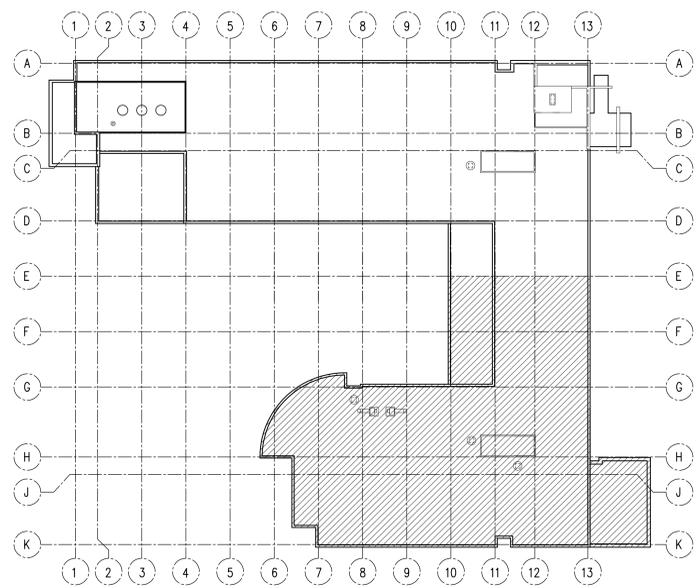


**GENERAL NOTES**

- CONTRACTOR MUST VISIT THE SITE SO AS TO BE FAMILIAR WITH ALL EXISTING CONDITIONS. BRING ANY QUESTIONS OR CONCERNS TO THE ATTENTION OF THE PROJECT MANAGER FOR CLARIFICATION. FOR ADDENDUM PRIOR TO BID OPENING. NO ALLOWANCES WILL BE MADE FOR CONDITIONS THAT ARE CLEARLY VISIBLE.
- CONTRACTOR SHALL WORK WITH LOCAL LEADERSHIP ON SCHEDULING TO INSURE CONTINUED USE OF THE BUILDING. NEITHER THE CONTRACTOR NOR ANY OF HIS PEOPLE SHALL HAVE ACCESS TO THE BUILDING WITHOUT PRIOR AUTHORIZATION.
- ALL SAFETY STANDARD AND REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR RESPONSIBLE TO KEEP BUILDING WATERPROOF AT ALL TIMES. STARTING FROM NOTICE TO PROCEED TO SUBSTANTIAL COMPLETION ANY DAMAGE TO THE BUILDING OF ITS CONTENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO CHECK ALL MECHANICAL EQUIPMENT BEFORE DISCONNECTING TO MAKE SURE THEY ARE OPERATING PROPERLY. CONTRACTOR IS RESPONSIBLE FOR UNITS TO BE IN COMPLETE OPERATING CONDITION AT THE COMPLETION OF THE PROJECT. COORDINATE SHUTDOWN WITH USERS.
- ALL PIPES, CONDUITS AND MECHANICAL UNITS TO REMAIN ON ROOF ARE TO BE PROTECTED AND KEPT CLEAN THROUGH THE END OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL USE EXISTING WOOD NAILERS FOR NEW ROOFING SYSTEM.
- GENERAL CONTRACTOR SHALL PROVIDE AN ENCLOSED DEBRIS SHOOT FOR THE REMOVAL OF ALL ROOFING MATERIAL. THE GENERAL CONTRACTOR SHALL PROVIDE PROTECTION FOR THE EXISTING BUILDING, WALK WAYS AND SURROUNDING SITE AS NECESSARY FROM DAMAGE THAT MAY RESULT FROM THE REMOVAL OF THE ROOFING MATERIALS.
- GENERAL CONTRACTOR SHALL KEEP ALL WALKWAYS OPEN DURING THE CONSTRUCTION PERIOD. ABSOLUTELY NO MATERIAL SHALL BE DROPPED, OR THROWN FROM THE ROOF.
- ALL EXISTING VENT STACKS TO REMAIN.
- GENERAL CONTRACTOR SHALL THOROUGHLY INSPECT EXISTING ROOF FOR BIRD EXCREMENT. ALL EXISTING BIRD EXCREMENT SHALL BE REMOVED IN AREAS OF CONSTRUCTION AS PER THE STATE OF UTAH'S GUIDELINES FOR CLEANUP OF BIRD AND BAT EXCREMENT. GENERAL CONTRACTOR SHALL NOTE THE GUIDE LINES FOR THE REMOVAL OF BIRD AND BAT EXCREMENT ARE PROVIDED IN THE CONSTRUCTION SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL PROVIDE CAUTION TAPE AT PERIMETER OF BUILDING. CAUTION TAPE TO BE HELD IN PLACE WITH 3'-0" HIGH ABOVE FINISHED GRADE 10'-0" O.C. WOOD STAKES. PERIMETER CAUTION TAPE TO BE LOCATED AT A DISTANCE OF 20% OF BUILDING HEIGHT BACK FROM FACE OF BUILDING.

**REFERENCE NOTES**

- ◊ EXISTING EPDM MEMBRANE ROOFING SYSTEM AND ASSOCIATED FASTENERS TO BE REMOVED.
- ◊ EXISTING METAL CAP FLASHING TO BE REMOVED. OWNER RESERVES SALVAGE RIGHTS FOR EXISTING ALUMINUM CAP FLASHING MATERIAL. EXISTING WOOD NAILERS TO REMAIN. GENERAL CONTRACTOR SHALL PLACE OLD ALUMINUM CAP FLASHING MATERIAL NEATLY ON PALLETS, WRAP AND THE SECURELY TO PALLETS. LOCATE PALLETS AS PER DIRECTED BY COLLEGE OFFICIAL. SEE NEW ROOF PLAN AND DETAILS.
- ◊ EXISTING VENT THROUGH ROOF TO REMAIN. SEE NEW ROOF PLAN AND DETAILS.
- ◊ GENERAL CONTRACTOR SHALL DISCONNECT EXISTING ELECTRICAL ROOF TOP VENT UNITS AS REQUIRED TO PERFORM DEMOLITION OF EXISTING ROOF SYSTEM AND PROVIDE NEW ROOFING SYSTEM. GENERAL CONTRACTOR SHALL COORDINATE WITH FACILITIES PERSONAL PRIOR TO DISCONNECTING ELECTRICAL SUPPLY AND SHUTTING DOWN MECHANICAL UNIT.
- ◊ EXISTING ROOF VALLEY LOCATION
- ◊ EXISTING ROOF RIDGE LINE
- ◊ EXISTING ROOF EXPANSION JOINT LOCATION. EXISTING WOOD PARAPET EXPANSION JOINT, WOOD CANT STRIP AND ASSOCIATED METAL FLASHING TO BE REMOVED. SEE NEW ROOF PLANS AND EXPANSION JOINT DETAIL ROOF BELOW
- ◊ UPPER ROOF
- ◊ EXISTING METAL DRIP EDGE TO BE REMOVED, SEE NEW ROOF PLAN
- ◊ EXISTING CONCRETE WALL
- ◊ EXISTING SATELLITE DISH TO BE DISCONNECTED AND MOVED AS NECESSARY FOR NEW ROOF MEMBRANE INSTALLATION. GENERAL CONTRACTOR TO REINSTALL AS PER NEW ROOF PLAN AND AS DIRECTOR BY FACILITIES PERSONAL.
- ◊ EXISTING SATELLITE DISH CONDUIT ROOF PENETRATIONS
- ◊ EXISTING BUILDING ENTRANCES AND EXITS TO BE PROTECTED FROM FALLING DEBRIS DURING THE CONSTRUCTION PROCESS. SEE DETAIL 17/AD1500. DASHED LINES INDICATE 2x WALL FRAMING BELOW
- ◊ REMOVE EXISTING EPDM ROOF MEMBRANE AND EXISTING RIGID INSULATION SYSTEM DOWN TO EXISTING METAL DECKING. EXISTING WOOD NAILERS TO REMAIN. PROVIDE NEW ROOFING SYSTEM AS PER NEW ROOF PLANS



MARK	DATE	DESCRIPTION
ISSUE TYPE: CONSTRUCTION DOCUMENTS		
ISSUE DATE:		1st July, 2009

CAD PROJECT NO:	09016660
CAD DWG FILE:	
DRAWN BY:	BRIAN AND SCOTT
CHK'D BY:	SCOTT
COPYRIGHT:	P+A architects
<b>KEY PLAN</b>	

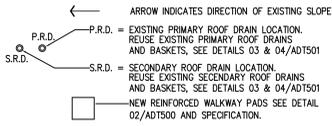
02 DEMOLITION ROOF PLAN (SOUTH)  
 ADP101 SCALE 1/8" = 1'-0"

01 KEY ROOF PLAN (SOUTH)  
 ADP101 SCALE 1/8" = 1'-0"



1 2 3 4 5 6

LEDGEND



ADD ALTERNATIVES

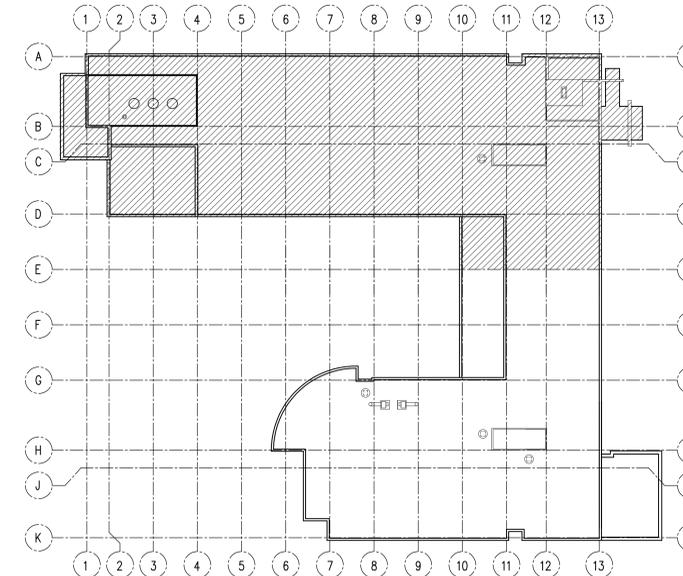
- ADD ALTERNATIVE NO. 1 SHALL BE FOR GENERAL CONTRACTOR TO PROVIDE NEW FULLY ADHERED P.V.C. ROOF MEMBRANE OVER MECHANICALLY FASTENED 1/2" DENZ DECK PRIME OVER NEW 1 1/2" POLYISOCYANURATE RIGID INSULATION SYSTEM OVER EXISTING RIGID INSULATION SYSTEM IN PLACE OF AREAS WHERE DRAWINGS INDICATED MECHANICALLY FASTENED P.V.C. ROOFING SYSTEM. NO HOT ASPHALT MEANS OF ADHESION WILL BE ALLOWED, SEE SPECIFICATIONS

GENERAL NOTES

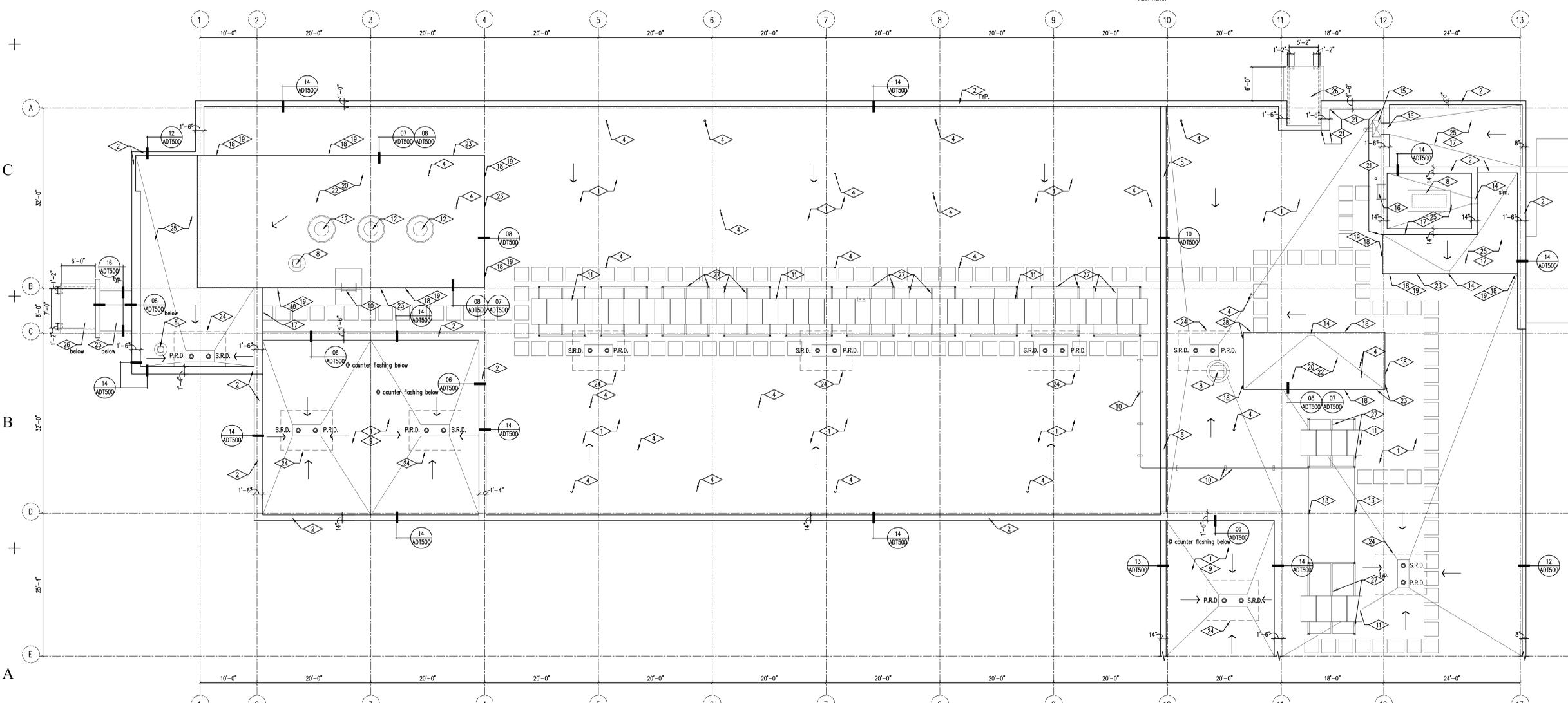
- GENERAL CONTRACTOR MUST VISIT THE SITE SO AS TO BE FAMILIAR WITH ALL EXISTING CONDITIONS. BRING ANY QUESTIONS OR CONCERNS TO THE ATTENTION OF THE PROJECT MANAGER FOR CLARIFICATION, FOR ADDENDUM PRIOR TO BID OPENING. NO ALLOWANCES WILL BE MADE FOR CONDITIONS THAT ARE CLEARLY VISIBLE.
- GENERAL CONTRACTOR SHALL WORK WITH LOCAL LEADERSHIP ON SCHEDULING TO INSURE CONTINUED USE OF THE BUILDING NEITHER THE CONTRACTOR NOR ANY OF HIS PEOPLE SHALL HAVE ACCESS TO THE BUILDING WITHOUT PRIOR AUTHORIZATION.
- ALL SAFETY STANDARD AND REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- BEFORE FABRICATION OF ANY SHEET METAL WORK, SUBMIT SHOP DRAWINGS TO PROJECT ARCHITECT FOR REVIEW AND APPROVAL.
- COMPLY WITH ALL MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- GENERAL CONTRACTOR RESPONSIBLE TO KEEP BUILDING WATERTIGHT AT ALL TIMES. STARTING FROM NOTICE TO PROCEED TO SUBSTANTIAL COMPLETION ANY DAMAGE TO THE BUILDING OF ITS CONTENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- GENERAL CONTRACTOR TO CHECK ALL MECHANICAL EQUIPMENT BEFORE DISCONNECTING TO MAKE SURE THEY ARE OPERATING PROPERLY. CONTRACTOR IS RESPONSIBLE FOR UNITS TO BE IN COMPLETE OPERATING CONDITION AT THE COMPLETION OF THE PROJECT. COORDINATE SHUTDOWN WITH USERS.
- ALL PIPES, CONDUITS AND MECHANICAL UNITS TO REMAIN ON ROOF ARE TO BE PROTECTED AND KEPT CLEAN THROUGH THE END OF CONSTRUCTION.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING ANY MATERIALS. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. DO NOT SCALE DRAWINGS FOR QUANTITIES.

REFERENCE NOTES

- NEW MECHANICALLY FASTENED PVC ROOF MEMBRANE OVER NEW 1 1/2" MECHANICALLY FASTENED POLYISOCYANURATE RIGID INSULATION BOARD, SEE SPECIFICATION
- NEW STANDING SEAM PRE-FINISHED ALUMINUM METAL CAP FLASHING. COLOR AND FINISH AS PER SPECIFICATIONS. GENERAL CONTRACTOR SHALL PROVIDE STANDING SEAM EXPANSION JOINT AT A MAXIMUM OF 10'-0" O.C. SEE DETAILS
- NEW REINFORCED ROOFING MEMBRANE WALKWAY PADS, SEE LEGEND AND DETAIL 01/AD1500
- VENT PIPE ROOF PENETRATION TO RECEIVE PRE-MANUFACTURED VENT PIPE BOOT, SEE SPECIFICATION AND DETAILS 03&04/A-D1500
- LOCATION OF ROOF EXPANSION JOINT, SEE DETAIL 10/AD1500 FOR CONSTRUCTION OF NEW EXPANSION JOINT AND CURB
- EXISTING RIDGE LINE.
- EXISTING VALLEY LINE.
- EXISTING ROOF TURTLE TYPE VENTS TO BE REMOVED AND REINSTALLED AS REQUIRED FOR INSTALLATION OF NEW ROOF SYSTEM AND NEW EXHAUST HOOD AND FAN CURB, SEE DETAIL 11/AD1500
- LOWER ROOF BELOW
- NEW ROOF ACCESS LADDER WITH STEEL CAGE, SEE DRAWING 01/AD1500
- GENERAL CONTRACTOR TO REINSTALL EXISTING SOLAR PANELS ON NEW BASE AS DETAILED. GENERAL CONTRACTOR SHALL INSTALL AS NECESSARY FOR PROPER SOLAR PANEL OPERATION
- EXISTING EXHAUST STACK COLLARS TO BE REINSTALLED, PROVIDE CONT. SEALANT AT COLLAR SEAM
- EXISTING SOLAR PANEL UNISTRUT TO BE REINSTALLED
- NEW ROOF SCRUPPER AND CONDUCTOR HEAD WITH DOWN SPOUT, SEE DETAIL 09/AD1500
- NEW ROOF SCRUPPER WITH NEW CONDUCTOR HEAD AND DOWN SPOUT, SEE DETAIL 15/AD1500
- EXISTING ROOF ACCESS LADDER TO REMAIN UNDISTURBED
- REMOVE EXISTING DOOR AND THRESHOLD. RAISE BOTTOM OF DOOR WITH (3) TREATED 2X MEMBERS BOLTED AND NAILED IN PLACE WITH 1/2" X 3 1/2" EXPANSION ANCHORS. PROVIDE 16 GA. STAINLESS STEEL METAL WRAP OVER TOP OF WOOD NAILERS SCREWED IN PLACE AND SET IN BED OF SEALANT. WRAP MEMBRANE OVER TOP OF STAINLESS STEEL CAP AND REINSTALL THRESHOLD (SET IN BED OF SEALANT). CUT DOOR TO FIT IN NEW OPENING AND REPAINT DOOR AND FRAME. REINSTALL DOOR.
- GENERAL CONTRACTOR SHALL REMOVE EXISTING METAL WALL PANELS, BASE DRIP EDGE AND METAL CORNERS AS NECESSARY TO EXTEND ROOF MEMBRANE 4'-0" UP EXISTING WALL. GENERAL CONTRACTOR SHALL FULLY ADHERE MEMBRANE TO WALL SURFACE. PROVIDE TERMINATION BAR AT TOP OF MEMBRANE. GENERAL CONTRACTOR SHALL REINSTALL METAL WALL PANELS, BASE DRIP EDGE AND METAL CORNERS. GENERAL CONTRACTOR SHALL PROVIDE NEW FASTENERS WITH NEOPRENE WASHERS FOR METAL PANELS, DRIP EDGES AND CORNERS
- GENERAL CONTRACTOR SHALL CUT EXISTING METAL WALL SIDING AS NECESSARY FOR NEW RIGID INSULATION AND ROOF MEMBRANE INSTALLATION
- NEW FULLY ADHERED PVC ROOF MEMBRANE ON 1/2" DENZ DECK PRIME ON NEW TAPERED 3/8" PER FOOT POLYISOCYANURATE RIGID INSULATION SYSTEM. PROVIDE NEW TREATED WOOD NAILERS AT PERIMETER OF ROOF AS NECESSARY TO CREATE NEW SLOPE.
- EXISTING BLOCK MASONRY WALL TO BE POWER WASHED. EXISTING MASONRY WALL TO RECEIVE BLOCK SEALER. BLOCK SEALER TO BE BENJAMIN MOORE OR EQUAL. PRIMER COAT: MOORE'S ACRYLIC MASONRY SEALER TWO COATS. FINISH COAT: MOORLASTIC ELASTOMERIC WATERPROOF COATING, LOW LUSTER (55) TWO COATS
- MECHANICAL PENTHOUSE
- NEW PREFINISHED WELDABLE METAL PVC COATED DRIP EDGE, SEE DETAIL
- DASHED LINES AT PERIMETER OF EXISTING PRIMARY AND SECONDARY ROOF DRAINS INDICATE LOCATION WHERE GENERAL CONTRACTOR SHALL PROVIDE NEW POLYISOCYANURATE DRAIN SUMPS
- NEW FULLY ADHERED PVC ROOF MEMBRANE OVER NEW 1/2" MECHANICALLY FASTENED DENZ DECK PRIME, SEE SPECIFICATION
- EXISTING BUILDING ENTRANCES AND EXITS TO BE PROTECTED FROM FALLING DEBRIS DURING THE CONSTRUCTION PROCESS, SEE DETAIL 17/AD1500. DASHED LINES INDICATE 2x WALL FRAMING BELOW
- ALL NEW TUBE STEEL STRUCTURAL PIPING FOR SOLAR PANELS SUPPORTS TO RECEIVE P.V.C. PIPE BOOTS AS PER DETAIL 02/AD1500 AND STRUCTURAL DRAWINGS. GENERAL CONTRACTOR SHALL PROVIDE 4 STEEL COLUMN SUPPORTS PER FOUR SOLAR PANEL FRAMING SYSTEM. GENERAL CONTRACTOR SHALL PROVIDE A POWDER COAT FINISH (3) THREE COAT SYSTEM FOR ALL EXPOSED SOLAR PANEL STEEL FRAMING.



02 KEY ROOF PLAN (NORTH)  
SCALE 1/8" = 1'-0"



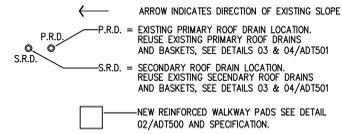
01 NEW ROOF PLAN (NORTH)  
SCALE 1/8" = 1'-0"

1 2 3 4 5 6





LEDGEND



ADD ALTERNATIVES

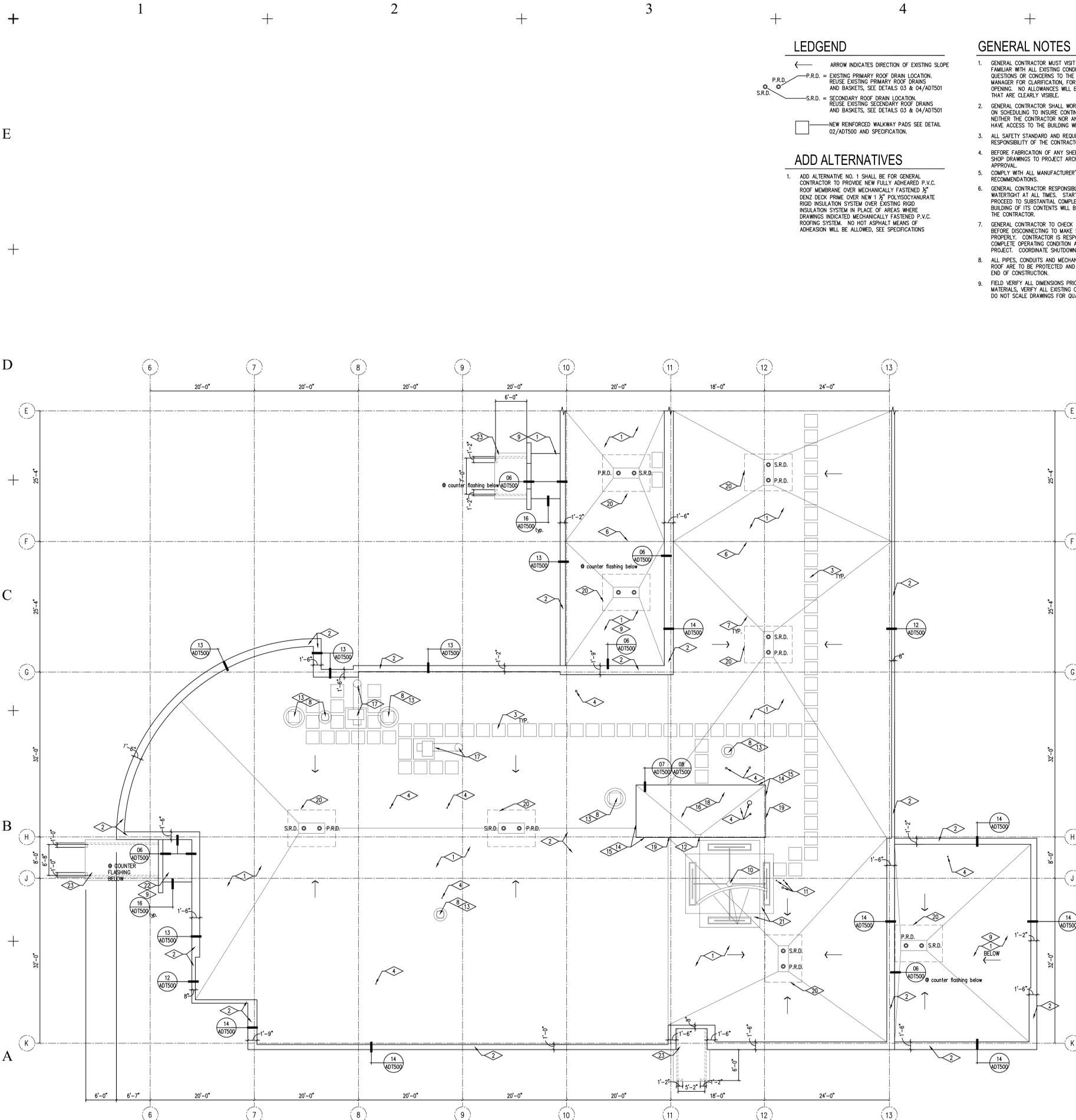
- ADD ALTERNATIVE NO. 1 SHALL BE FOR GENERAL CONTRACTOR TO PROVIDE NEW FULLY ADHERED P.V.C. ROOF MEMBRANE OVER MECHANICALLY FASTENED 1/2" DENZ DECK PRIME OVER NEW 1 1/2" POLYISOCYANURATE RIGID INSULATION SYSTEM OVER EXISTING RIGID INSULATION SYSTEM IN PLACE OF AREAS WHERE DRAWINGS INDICATED MECHANICALLY FASTENED P.V.C. ROOFING SYSTEM. NO HOT ASPHALT MEANS OF ADHESION WILL BE ALLOWED. SEE SPECIFICATIONS

GENERAL NOTES

- GENERAL CONTRACTOR MUST VISIT THE SITE SO AS TO BE FAMILIAR WITH ALL EXISTING CONDITIONS. BRING ANY QUESTIONS OR CONCERNS TO THE ATTENTION OF THE PROJECT MANAGER FOR CLARIFICATION. FOR ADDENDUM PRIOR TO BID OPENING. NO ALLOWANCES WILL BE MADE FOR CONDITIONS THAT ARE CLEARLY VISIBLE.
- GENERAL CONTRACTOR SHALL WORK WITH LOCAL LEADERSHIP ON SCHEDULING TO INSURE CONTINUED USE OF THE BUILDING NEITHER THE CONTRACTOR NOR ANY OF HIS PEOPLE SHALL HAVE ACCESS TO THE BUILDING WITHOUT PRIOR AUTHORIZATION.
- ALL SAFETY STANDARD AND REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- BEFORE FABRICATION OF ANY SHEET METAL WORK, SUBMIT SHOP DRAWINGS TO PROJECT ARCHITECT FOR REVIEW AND APPROVAL.
- COMPLY WITH ALL MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- GENERAL CONTRACTOR RESPONSIBLE TO KEEP BUILDING WATERTIGHT AT ALL TIMES. STARTING FROM NOTICE TO PROCEED TO SUBSTANTIAL COMPLETION ANY DAMAGE TO THE BUILDING OF ITS CONTENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- GENERAL CONTRACTOR TO CHECK ALL MECHANICAL EQUIPMENT BEFORE DISCONNECTING TO MAKE SURE THEY ARE OPERATING PROPERLY. CONTRACTOR IS RESPONSIBLE FOR UNITS TO BE IN COMPLETE OPERATING CONDITION AT THE COMPLETION OF THE PROJECT. COORDINATE SHUTDOWN WITH USERS.
- ALL PIPES, CONDUITS AND MECHANICAL UNITS TO REMAIN ON ROOF ARE TO BE PROTECTED AND KEPT CLEAN THROUGH THE END OF CONSTRUCTION.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING ANY MATERIALS. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. DO NOT SCALE DRAWINGS FOR QUANTITIES.
- ANY SIDING, FASCIA, ETC. THAT NEEDS TO BE REMOVED TO COMPLETE THIS JOB ARE TO BE PART OF THE CONTRACT. CARE MUST BE TAKEN TO ENSURE THAT ALL ITEMS TO BE REINSTALLED ARE NOT DAMAGED DURING REMOVAL AND/OR INSTALLATION. CONTRACTOR WILL REPLACE ALL PIECES THAT ARE DAMAGED.
- AT THE END OF CONSTRUCTION, CONTRACTOR IS TO CLEAN OUT AND FLUSH ALL ROOF DRAIN LINES TO MAKE SURE THEY ARE NOT PLUGGED AND ARE IN WORKING CONDITION.
- ALL EXISTING VENT STACKS TO REMAIN. GENERAL CONTRACTOR SHALL EXTEND EXISTING VENT STACK AS PER NEW ROOF PLAN DRAWINGS AND DETAILS.
- ALL ROOF AREAS MUST SLOPE TO DRAIN. POND WATER IS NOT ACCEPTABLE. ALL TAPERED INSULATION, CRICKETS, SADDLES AND ANY OTHER APPURTENANCES NECESSARY TO ACCOMPLISH THIS TASK ARE PART OF THIS CONTRACT.
- PROVIDE SEALANT AND PAINT ALL ROOF PENETRATIONS. NOTE: DO NOT PAINT ALUMINUM OR STAINLESS STEEL HOODS, VENTS, ETC.
- ROOFING SYSTEM TESTING AS PER U.L. 263 BASIC STANDARDS FOR ROOFING PRODUCT INVESTIGATION, 11/ADT500  
INSTALLATION AS PER JOHN'S MANVILLE ROOFING SYSTEMS, TGFUR10167 CLASS "A" P.V.C. ROOFING SYSTEM, MECHANICALLY FASTENED INCLINE 2  
INSTALLATION AS PER JOHN'S MANVILLE ROOFING SYSTEMS, TGFUR10167 CLASS "A" P.V.C. ROOFING SYSTEM, FULLY ADHERED INCLINE 2
- ALL EXISTING AND NEW PIPE AND VENT PIPES SHALL RECEIVE PRE MANUFACTURED PIPE BOOTS ONLY.

REFERENCE NOTES

- NEW MECHANICALLY FASTENED PVC ROOF MEMBRANE OVER NEW 1-1/2" MECHANICALLY FASTENED POLYISOCYANURATE. SEE SPECIFICATION
- NEW STANDING SEAM PRE-FINISHED ALUMINUM METAL CAP SIDING. COLOR AND FINISH AS PER SPECIFICATION. GENERAL CONTRACTOR SHALL PROVIDE STANDING SEAM EXPANSION JOINT AT A MAXIMUM OF 10'-0" O.C. SEE DETAILS
- NEW REINFORCED ROOFING MEMBRANE WALKWAY PADS. SEE LEGEND AND DETAIL 01/ADT500
- VENT PIPE ROOF PENETRATION TO RECEIVE PRE MANUFACTURED VENT PIPE BOOT. SEE SPECIFICATION AND DETAILS 03&04/ADT500
- LOCATION OF ROOF EXPANSION JOINT. SEE DETAIL 10/ADT500 FOR CONSTRUCTION OF NEW EXPANSION JOINT AND CURB
- EXISTING RIDGE LINE.
- EXISTING VALLEY LINE.
- EXISTING ROOF TURTLE TYPE VENTS TO BE REMOVED AND REINSTALLED AS REQUIRED FOR INSULATION OF NEW ROOF SYSTEM AND NEW EXHAUST HOOD AND FAN CURB. SEE DETAIL 11/ADT500
- LOWER ROOF BELOW
- EXISTING SATELLITE DISH TO BE REINSTALLED AT PROPER LOCATION. GENERAL CONTRACTOR SHALL WORK WITH SCHOOL AUTHORITIES ON REINSTALLATION OF SATELLITE DISH
- EXISTING SATELLITE DISH DEAD HEADS TO RECEIVE NEW PRE-MANUFACTURED VENT PIPE ROOF PENETRATION BOOTS
- NEW ROOF SCRUPPER AND CONDUCTOR HEAD WITH DOWN SPOUT. SEE DETAIL 09/ADT500
- EXISTING MECHANICAL EXHAUST VENT UNITS TO BE DISCONNECTED AS NECESSARY FOR NEW ROOF MEMBRANE INSTALLATION. GENERAL CONTRACTOR TO WORK WITH SCHOOL AUTHORITIES FOR DISCONNECTION AND RECONNECTION TIMES AND PROCEDURES
- GENERAL CONTRACTOR SHALL REMOVE EXISTING METAL WALL PANELS, BASE DRIP EDGE AND METAL CORNERS AS NECESSARY TO EXTEND ROOF MEMBRANE 4'-0" UP EXISTING WALL. GENERAL CONTRACTOR SHALL FULLY ADHERE MEMBRANE TO WALL SURFACE, AND PROVIDE TERMINATION BAR AT TOP OF MEMBRANE. GENERAL CONTRACTOR SHALL REINSTALL METAL WALL PANELS, BASE DRIP EDGE AND METAL CORNERS. GENERAL CONTRACTOR SHALL PROVIDE NEW FASTENERS WITH NEOPRENE WASHERS FOR METAL PANELS, DRIP EDGES AND CORNERS
- GENERAL CONTRACTOR SHALL CUT EXISTING METAL WALL SIDING AT BASE AS NECESSARY FOR NEW ROOF MEMBRANE INSTALLATION
- NEW FULLY ADHERED PVC ROOF MEMBRANE ON 1/2" DENZ DECK PRIME ON NEW TAPERED 3/8" PER FOOT POLYISOCYANURATE RIGID INSULATION SYSTEM. PROVIDE NEW TREATED WOOD NAILERS AT PERIMETER OF ROOF AS NECESSARY TO CREATE NEW SLOPE.
- EXISTING MECHANICAL EXHAUST VENTS SYSTEM TO BE RAISED. PROVIDE NEW STAINLESS STEEL DUCT PIPING (GAUGE TO MATCH EXISTING) AS NECESSARY TO RAISE EXISTING DUCT PIPING. DISCONNECT EXISTING ELECTRICAL AND EXTEND AS NECESSARY TO RAISE EXHAUST FAN MOTOR SYSTEM. PROVIDE NEW MECHANICAL GIRDING AS NECESSARY TO PROVIDE A MINIMUM OF 8" OF CLEARANCE BETWEEN NEW ROOF MEMBRANE AND BOTTOM OF DRIP EDGE ON MECHANICAL BASE. COORDINATE WITH SCHOOL AUTHORITIES ON SHUT DOWN OF MECHANICAL EXHAUST VENT SYSTEM.
- MECHANICAL PENTHOUSE
- NEW PREFINISHED WELDABLE METAL PVC COATED DRIP EDGE. SEE DETAIL
- DASHED LINES AT PERIMETER OF EXISTING PRIMARY AND SECONDARY ROOF DRAINS INDICATE LOCATION WHERE GENERAL CONTRACTOR SHALL PROVIDE NEW POLYISOCYANURATE DRAIN SUMPS
- GENERAL CONTRACTOR SHALL PROVIDE REINFORCED WALK WAY PADS AT THE BASE LOCATION OF THE EXISTING SATELLITE DISH
- NOT USED
- EXISTING BUILDING ENTRANCES AND EXITS TO BE PROTECTED FROM FALLING DEBRIS DURING THE CONSTRUCTION PROCESS. SEE DETAIL 17/ADT500. DASHED LINES INDICATE 2" WALL FRAMING BELOW.



02 NEW ROOF PLAN (SOUTH)  
SCALE 1/8" = 1'-0"

01 KEY ROOF PLAN (SOUTH)  
SCALE 1/8" = 1'-0"

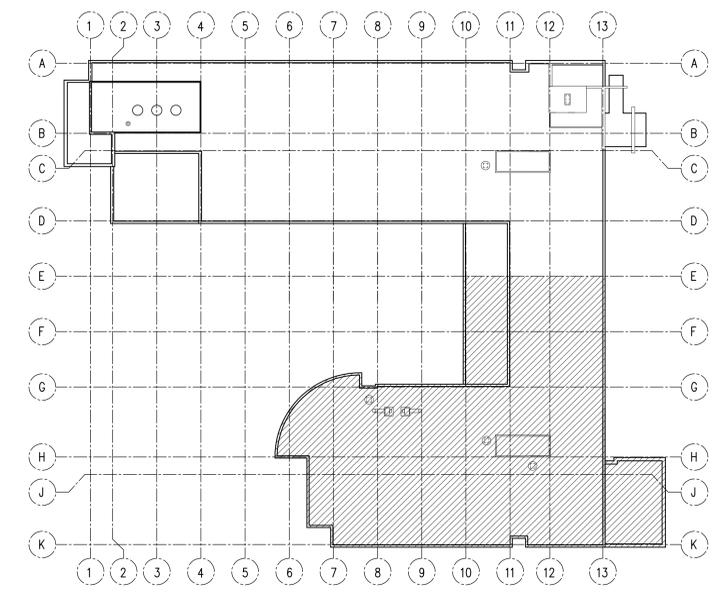
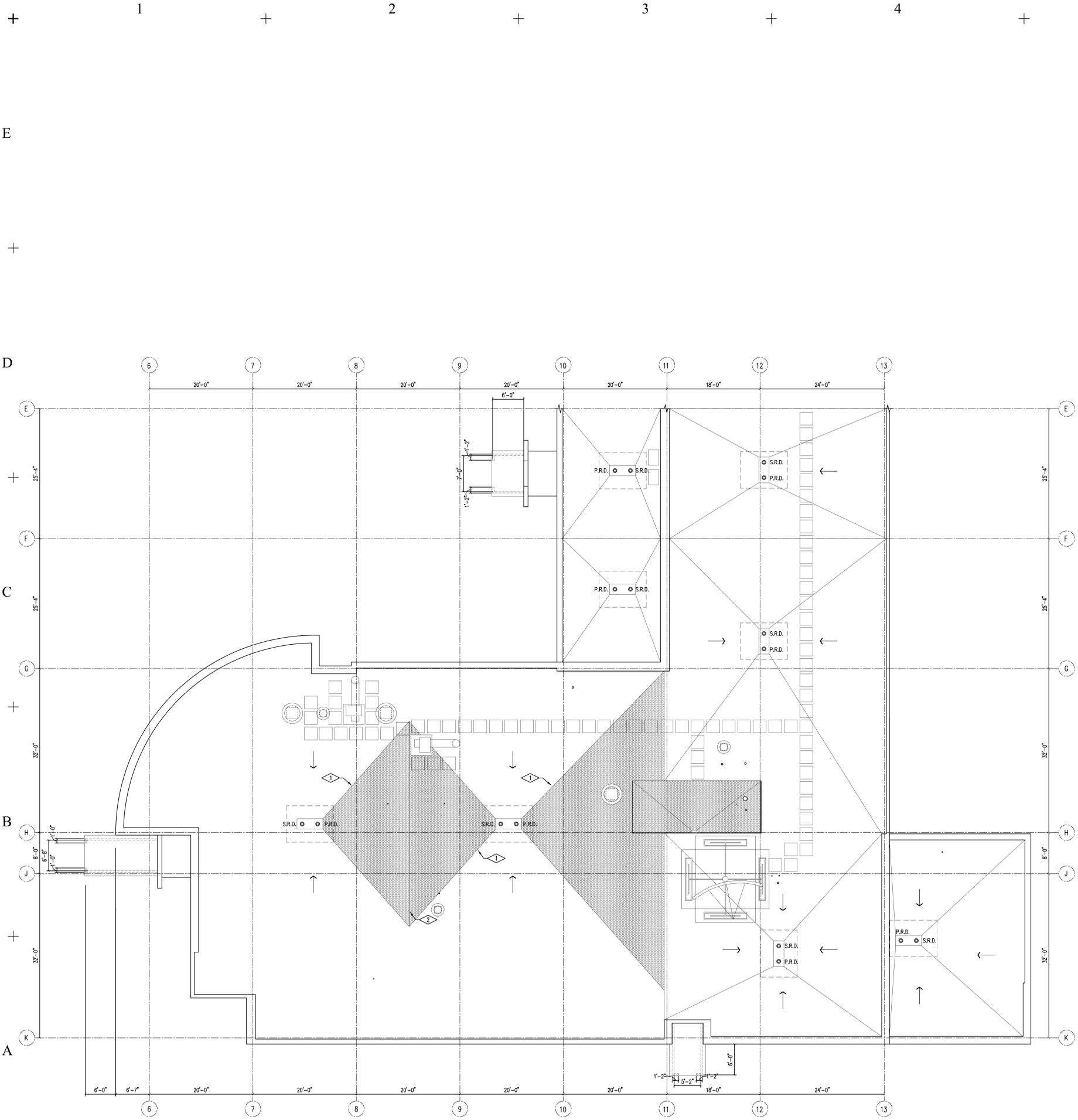


**LEDGEND**

- ← ARROW INDICATES DIRECTION OF EXISTING SLOPE
- P.R.D. = EXISTING PRIMARY ROOF DRAIN LOCATION. REUSE EXISTING PRIMARY ROOF DRAINS AND BASKETS, SEE DETAILS 03 & 04/ADT501
- S.R.D. = EXISTING SECONDARY ROOF DRAIN LOCATION. REUSE EXISTING SECONDARY ROOF DRAINS AND BASKETS, SEE DETAILS 03 & 04/ADT501
- NEW REINFORCED WALKWAY PADS SEE DETAIL 02/ADT500 AND SPECIFICATION.
- ▨ HATCH PATTERN INDICATED THE LOCATION WHERE NEW 3/8" PER FOOT TAPERED POLYISOCYANURATE RIGID INSULATION SHALL BE PROVIDED. THIS SHALL BE PROVIDED IN ADDITION TO THE NEW 1-1/2" RIGID POLYISOCYANURATE.

**REFERENCE NOTES**

- ▽ NEW ROOF VALLEY LOCATION
- ◁ NEW RIDGE LOCATION



02 NEW ROOF PLAN (SOUTH)  
SCALE 1/8" = 1'-0"

01 KEY ROOF PLAN (SOUTH)  
SCALE 1/8" = 1'-0"

CREATED BY: P+A architects

P+A architects  
821 East Kensington Ave.  
Salt Lake City, Utah 84105  
P: 801.454.1161  
F: 801.455.4640  
e-mail: parchitects@comcast.net



Architecture | planning | design

PROJECT TITLE:  
SALT LAKE COMMUNITY COLLEGE  
SCIENCE AND INDUSTRY  
BUILDING

ROOFING IMPROVEMENTS

SALT LAKE COMMUNITY COLLEGE  
4600 SOUTH REDWOOD ROAD  
TAYLORSVILLE, UTAH

MARK | DATE | DESCRIPTION

ISSUE TYPE: CONSTRUCTION DOCUMENTS

ISSUE DATE: 1st July, 2009

CAD PROJECT NO: 09016660

CAD DWG FILE:

DRAWN BY: BRIAN AND SCOTT

CHK'D BY: SCOTT

COPYRIGHT: P+A architects

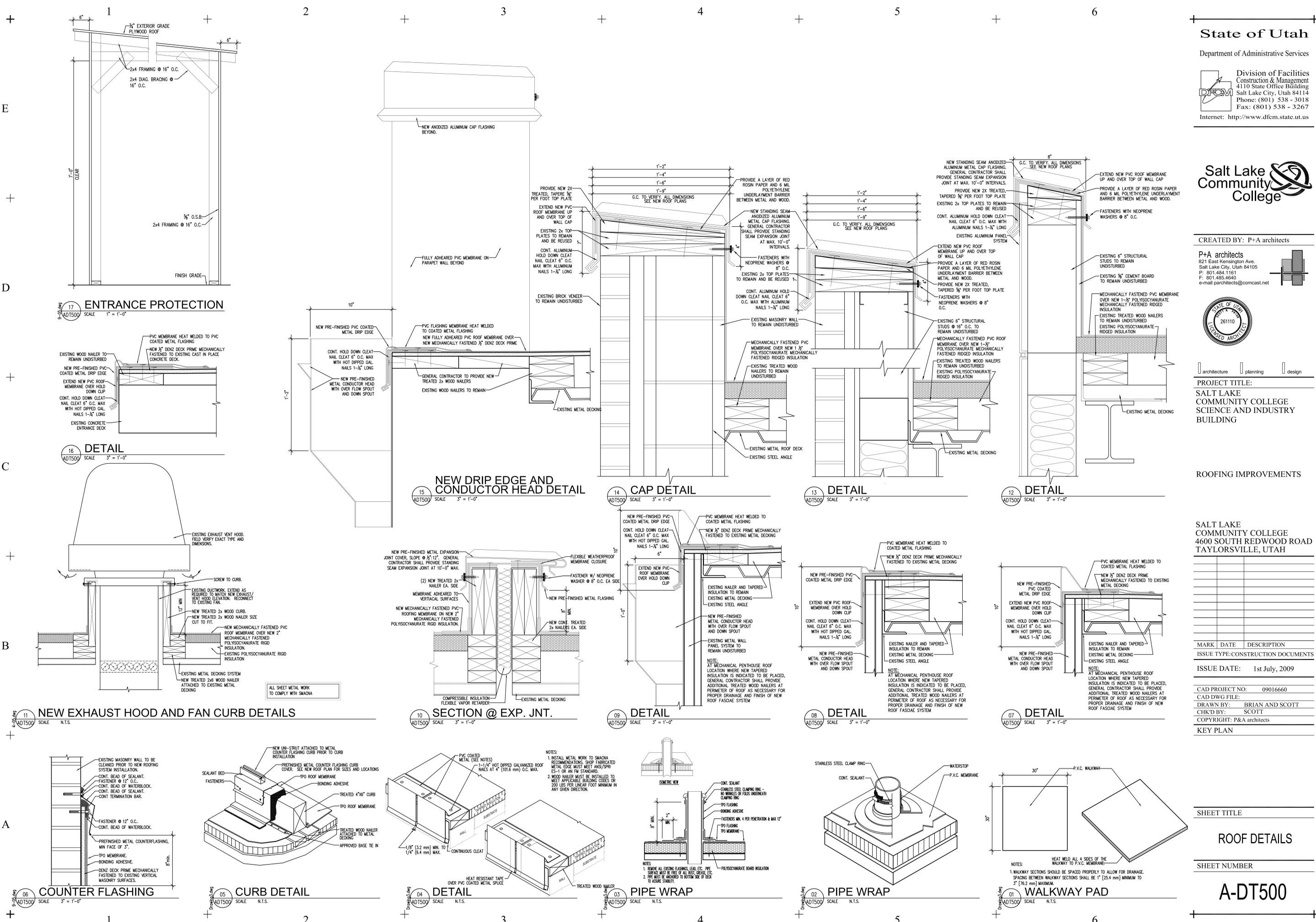
KEY PLAN

SHEET TITLE

ROOF DETAILS

SHEET NUMBER

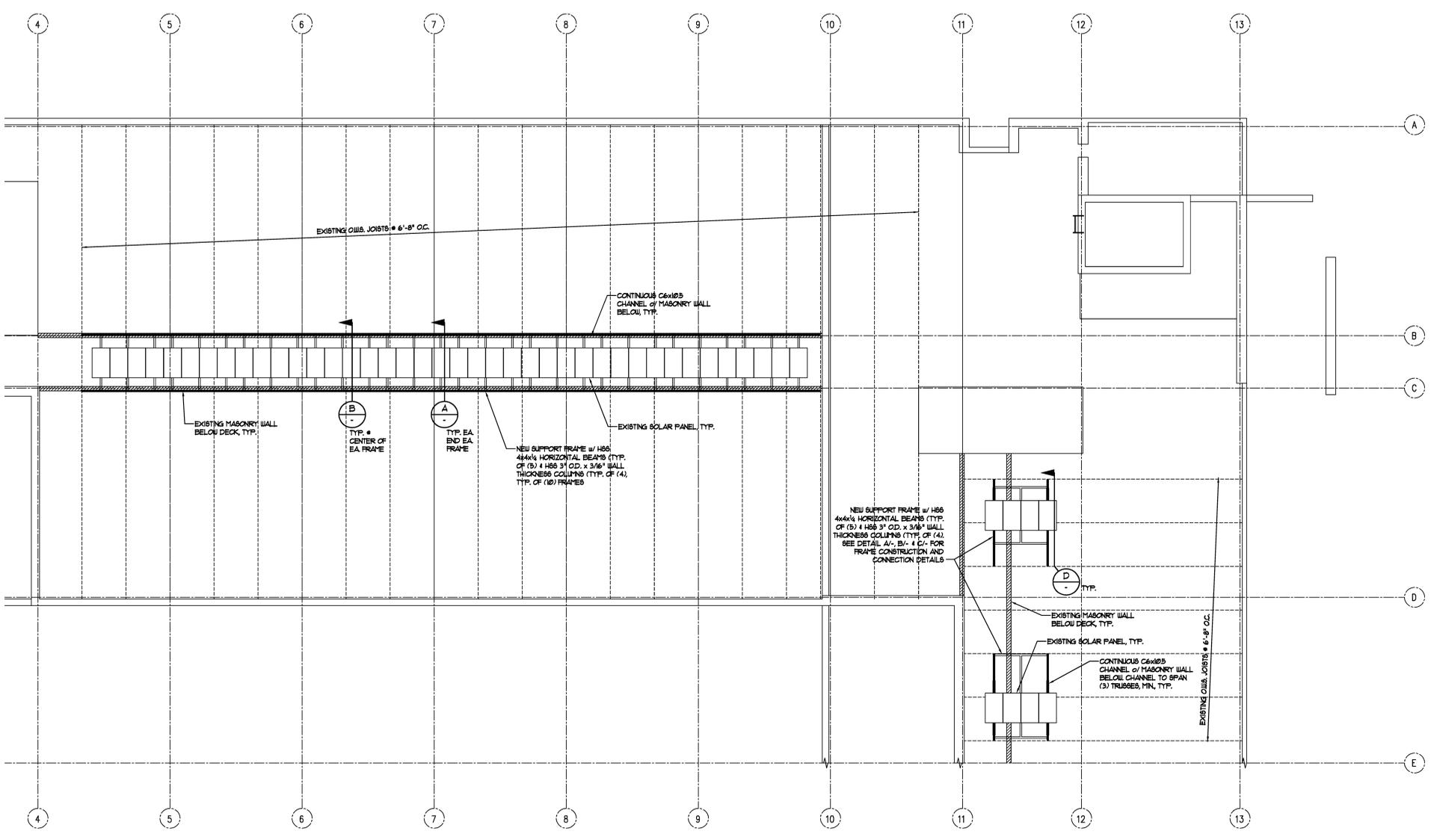
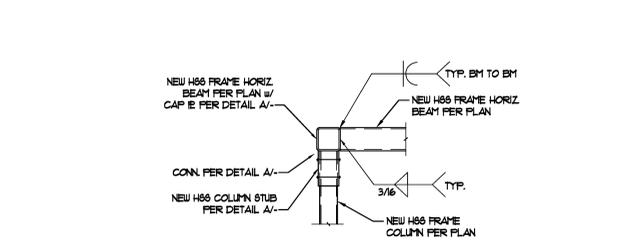
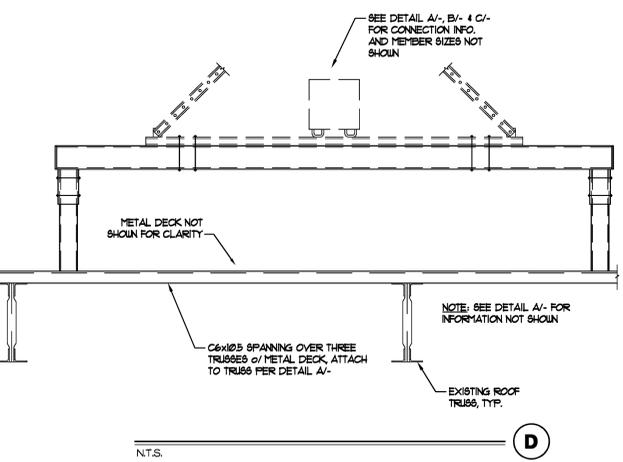
A-DT500





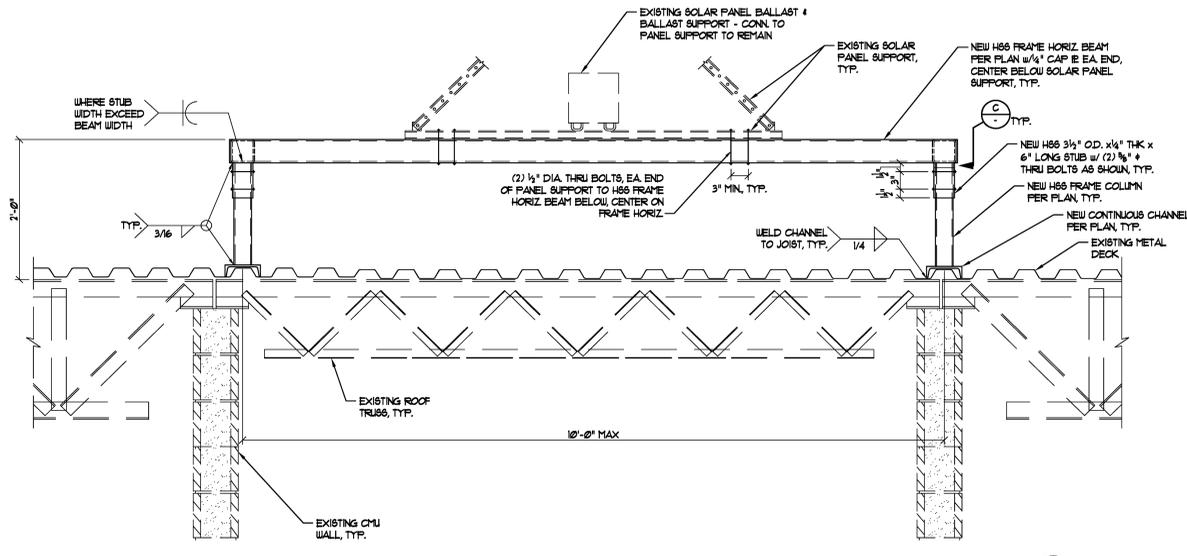
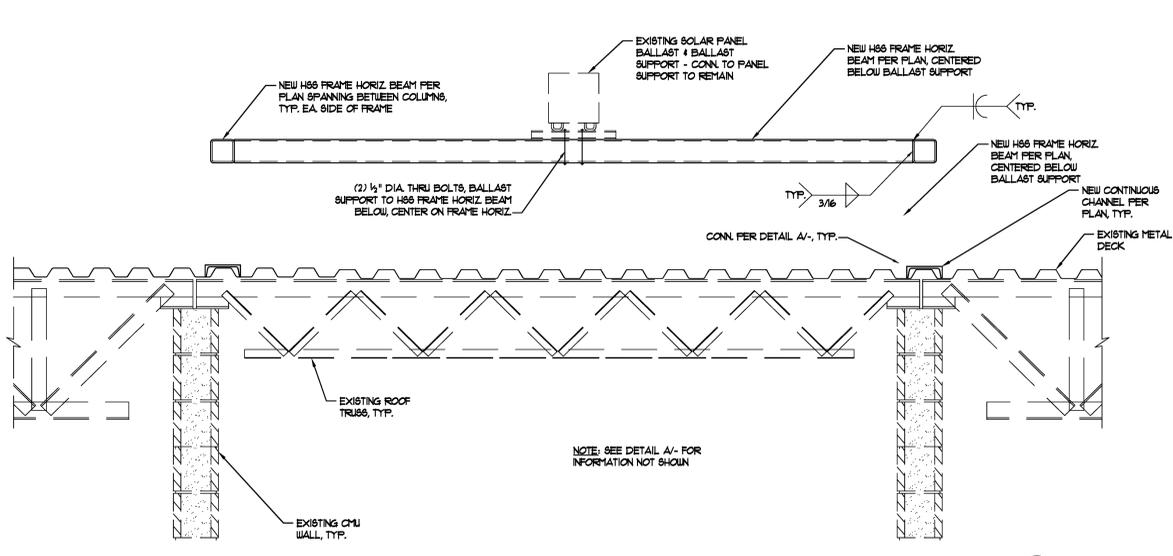
- GENERAL NOTES:**
1. STRUCTURAL DESIGN IS BASED UPON THE INTERNATIONAL BUILDING CODE, 2006 EDITION.
  2. THE CONTRACTOR SHALL VERIFY DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
  3. THE TYPICAL NOTES AND DETAILS SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY DETAILED ELSEWHERE. WHERE NO DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE AS SHOWN FOR OTHER SIMILAR WORK AND AS REQUIRED BY THE BUILDING CODE.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH LOCAL CONSTRUCTION SAFETY ORDERS. APPROVAL OF SHOP DRAWINGS BY THE ARCHITECT OR STRUCTURAL ENGINEER SHALL NOT BE CONSTRUED AS ACCEPTING THIS RESPONSIBILITY.
  5. ALL STRUCTURAL FRAMING MEMBERS SHALL BE ADEQUATELY SHORED AND BRACED DURING ERECTION AND UNTIL FULL LATERAL AND VERTICAL SUPPORT IS PROVIDED BY ADJOINING MEMBERS.

- STRUCTURAL STEEL NOTES:**
1. ALL STRUCTURAL STEEL ANGLES AND PLATES SHALL BE PER ASTM A36.
  2. ALL STRUCTURAL STEEL TUBES SHALL BE PER ASTM A500 GR. B (42 KI MNU).
  3. ALL WELDING SHALL BE PERFORMED WITH E70XX LOW HYDROGEN ELECTRODES IN AN APPROVED FABRICATION SHOP.
  4. ALL BOLTED CONNECTIONS SHALL BE WITH ASTM A307 BOLTS.
  5. EXISTING SOLAR PANEL FRAME ASSUMED TO BE STEEL, NOTIFY ENGINEER OF RECORD IF FOUND TO BE OTHERWISE.



**SOLAR PANEL LAYOUT**

1/4" = 1'-0"



CREATED BY: P+A architects  
**P+A architects**  
 821 East Kensington Ave.  
 Salt Lake City, Utah 84105  
 P: 801.484.1161  
 F: 801.485.4640  
 e-mail: [parchitects@comcast.net](mailto:parchitects@comcast.net)

architecture planning design  
**CONSULTANT:**  
**VECTOR ENGINEERS**  
 9138 S. STATE STREET, SUITE 101 (801) 990-1775  
 SANDY, UTAH 84070 (801) 990-1776 FAX  
 U1044-011-001



**PROJECT TITLE:**  
 SALT LAKE COMMUNITY COLLEGE  
 SCIENCE AND INDUSTRY BUILDING

**ROOFING IMPROVEMENTS**  
 SALT LAKE COMMUNITY COLLEGE  
 4600 SOUTH REDWOOD ROAD  
 TAYLORSVILLE, UTAH

MARK	DATE	DESCRIPTION
ISSUE TYPE: CONSTRUCTION DOCUMENTS		
ISSUE DATE: 13th May, 2009		
CAD PROJECT NO: 09016660		
CAD DWG FILE:		
DRAWN BY: JSP		
CHK'D BY: RNE		
COPYRIGHT: P+A architects		
KEY PLAN		

**SHEET TITLE**  
 ROOF PLAN  
**SHEET NUMBER**  
 S100