



# ECCLES DAYCARE FACILITY ROOFING IMPROVEMENTS

SALT LAKE COMMUNITY COLLEGE  
4600 SOUTH REDWOOD ROAD  
TAYLORSVILLE, UTAH

DFCM PROJECT NO. 09017660

State of Utah

Department of Administrative Services

Division of Facilities  
Construction & Management  
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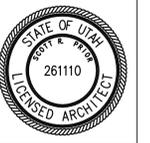
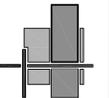
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architecture planning design

BUILDING NAME:  
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COMMUNITY COLLEGE  
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SHEET TITLE

INDEX SHEET

SHEET NUMBER

A-G1001

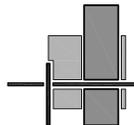
## ABBREVIATIONS

Reference to materials or methods have been made on the drawings in accordance with the following abbreviations:

#	NUMBER	GWB.	GYP. WALL BOARD
.	FEET	GYP. BD.	GYP. WALL BOARD
"	INCHES	HC.	HANDICAPPED
&	AND	HDW.	HARDWARE
Ø	DIAMETER	H.M.	HOLLOW METAL
∅	ADJUSTABLE	HORIZ.	HORIZONTAL
ADJ.	ADJUSTABLE	HR.	HOUR
AFF.	ABOVE FINISH FLOOR	HT.	HEIGHT
ALUM.	ALUMINUM	HVAC	HEATING/VENTILATION/ AIR CONDITIONING
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	HYD.	HYDRANT
ATS	AUTOMATIC TRANSFER SWITCH	I.D.	INSIDE DIAMETER
BD	BOARD	INFO	INFORMATION
BITUM.	BITUMINOUS	INSUL.	INSULATION
BLDG.	BUILDING	LAV.	LAVATORY
B.M.	BENCHMARK	LT.	LIGHT
B.O.	BOTTOM OF	MATL.	MATERIAL
BRG.	BEARING	MAX.	MAXIMUM
BTWN.	BETWEEN	MECH.	MECHANICAL
CER.	CERAMIC	MFR.	MANUFACTURER
CJ	CONSTRUCTION JOINT	MIN.	MINIMUM
CLG.	CEILING	MISC.	MISCELLANEOUS
CLR.	CLEAR	M.O.	MASONRY OPENING
CMU	CONCRETE MASONRY UNIT	MTL.	METAL
COL.	COLUMN	NIC	NOT IN CONTRACT
CONC.	CONCRETE	NO.	NUMBER
CONC.	CONTINUOUS	N.T.S.	NOT TO SCALE
CONST.	CONSTRUCTION	O.C.	ON CENTER
COORD.	COORDINATE	O.D.	OUTSIDE DIAMETER
CTJ	CONSTRUCTION JOINT	O.H.	OVERHEAD
DBL.	DOUBLE	OPP.	OPPOSITE
DPW	DIRECTOR OF PUBLIC WORKS	PART.	PARTITION
DIA.	DIAMETER	PERP.	PERPENDICULAR
DPG	DUGWAY PROVING GROUND	PL.	PLATE
DTL.	DETAIL	PNTD.	PAINTED
DWGS.	DRAWINGS	PSI	POUNDS PER SQUARE INCH
EA.	EACH	R.D.	ROOF DRAIN
EJ	EXPANSION JOINT	RAD.	RADIUS
ELEV.	ELEVATION	REINF.	REINFORCED
EQ.	EQUAL	REQ'D	REQUIRED
E.S.	EACH SIDE	RET.	RETURN
EXIST.	EXISTING	REV.	REVERSED
EXPAN.	EXPANSION	RM.	ROOM
EXT.	EXTERIOR	R.O.	ROUGH OPENING
E.W.C.	ELECTRIC WATER COOLER	SCHED.	SCHEDULE
F.D.	FLOOR DRAIN	SHR.	SHOWER
FDN.	FOUNDATION	SHT.	SHEET
F.E.	FIRE EXTINGUISHER	SIM.	SIMILAR
F.E.C.	FIRE EXTINGUISHER CABINET	SPEC.	SPECIFICATION
F.F.	FINISH FLOOR	STD.	STANDARD
FIN.	FINISH	STR.	STRUCTURAL
FLR.	FLOOR	SUSP.	SUSPENDED
F.L.	FLOW LINE	THRU	THROUGH
FTG.	FOOTING	T.O.	TOP OF
GA.	GAGE	T.O.A.	TOP OF ASPHALT
GALV.	GALVANIZED	T.O.C.	TOP OF CURB
GF-CI	GOVERNMENT FURNISHED CONTRACTOR INSTALLED	T.O.F.	TOP OF FOOTING
GF-GI	GOVERNMENT FURNISHED GOVERNMENT INSTALLED	T.O.S.	TOP OF SLAB OR SIDEWALK
G.I.	GALVANIZED STEEL	T.O.W.	TOP OF WALL
GND.	GROUND	TYP.	TYPICAL
GOVT.	GOVERNMENT	VERT.	VERTICAL
		VEST.	VESTIBULE
		W/	WITH
		WD	WOOD

## DESIGN TEAM

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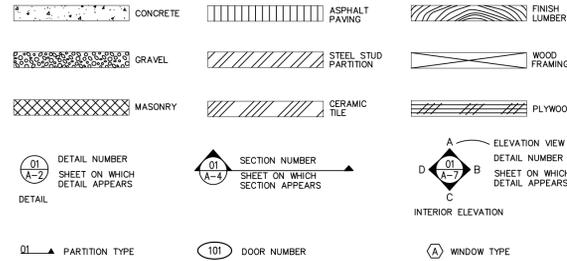
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## LIST OF DRAWINGS

GENERAL		
1 OF 06	A-G1000	COVER SHEET
2 OF 06	A-G1001	ARCHITECTURAL ABBREVIATIONS, VICINITY MAP AND CODE ANALYSIS
ARCHITECTURAL		
3 OF 06	A-SP100	SITE PLAN
4 OF 06	A-RP101	NEW ROOF PLAN
5 OF 06	A-DP101	DEMOLITION ROOF PLAN
6 OF 06	A-DT500	NEW ROOF DETAILS

## GRAPHIC KEY



## DFCM DESIGN AND CODE CRITERIA

APPLICABLE CODES			
	Year		Year
International Building Code	2006	National Electrical Code	2005
International Mechanical Code	2006	Uniform Code for Building Conservation	2006
International Plumbing Code	2006	ADA Accessibility Guidelines	2006
International Fire Code	2006		
International Energy Conservation Code			

A. Occupancy and Group: E  
Change in Use: Yes No No NO Mixed Occupancy: Yes No No NO  
Special Use and Occupancy (e.g. High Rise, Covered Mall): NO

B. Seismic Design Category: D Design Wind Speed: 100 mph

C. Type of Construction (circle one):  
I II III IV V VI  
A B A B A B HT A B

D. Fire Resistance Rating Requirements for the Exterior Walls based on the fire separation distance (in hours):  
North: N/A South: N/A East: N/A West: N/A

E. Mixed Occupancies: NO Nonseparated Uses: NO

F. Sprinklers:  
Required: NO Provided: NO Type of Sprinkler System: NO

G. Number of Stories: 1 Building Height: 17'-4" AT PEAK

H. Actual Area Per Level (square feet): 7461 sq. ft.

I. Actual Area Of New Addition: N/A

J. Total Area Of Remodel and Addition: N/A

K. Area Modifications:  
 $A_2 = A_1 + \left[ \frac{A_1 I_1}{100} \right] + \left[ \frac{A_2 I_2}{100} \right]$   $I_1 = 100 \left[ \frac{F}{P} - 0.25 \right] \frac{W}{30}$

b) Sum of the Ratio Calculations for Mixed Occupancies:  
Actual Area  $\leq 1$   
Allowable Area

c) Total Allowable Area for:  
1) One Story: —  
2) Two Story: A<sub>2</sub>(2) —  
3) Three Story: A<sub>2</sub>(3) —

d) Unlimited Area Building: Yes X No — Code Section: N/A

L. Fire Resistance Rating Requirements for Building Elements (hours).

Element	Hours	Assembly Listing	Element	Hours	Assembly Listing
Exterior Bearing Walls	0	—	Floors - Ceiling Floors	0	—
Interior Bearing Walls	0	—	Roofs - Ceiling Roofs	0	—
Exterior Non-Bearing Walls	0	—	Exterior Doors and Windows	0	—
Structural Frame	0	—	Shaft Enclosures	N/A	—
Partitions - Permanent	0	—	Fire Walls	0	—
Fire Barriers	0	—	Fire Partitions	0	—
			Smoke Partitions	0	—

L. Design Occupant Load:  
Exit Width Required: 32" Exit Width Provided: 32"

M. Minimum Number of Required Plumbing Facilities:

a) Water Closets - Required (m) N/A (f) N/A Provided (m) N/A (f) N/A

b) Lavatories - Required (m) N/A (f) N/A Provided (m) N/A (f) N/A

c) Bath Tubs or Showers: N/A

d) Drinking Fountains: N/A Service Sinks: N/A

FOOTNOTES:

1) In case of conflict with the U.S. Department of Justice Federal Registers Parts 1 through 119 - ADA Guidelines and specific reference to the International Building Code Accessibility Chapters, the more restrictive requirement shall govern.

2) Additional Code Information shall be provided at the discretion of the Building Official for Complex Buildings. Including, but not limited to:

a) High Rise Requirements.

b) Atriums.

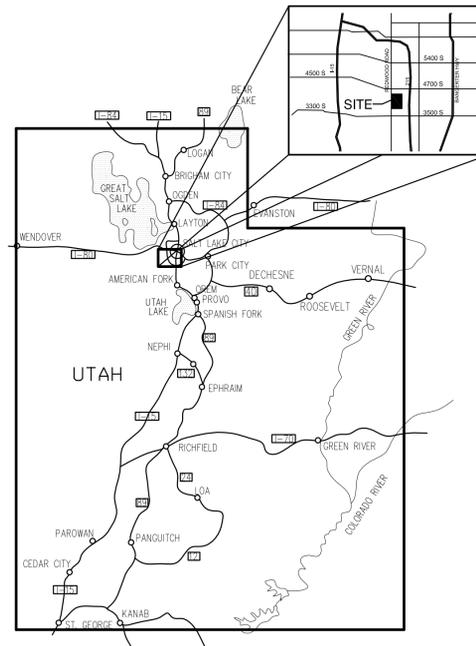
c) Performance Based Criteria.

d) Means or Egress Analysis.

e) Fire Assembly Locator Sheet.

f) Exterior and Interior Accessibility Route.

g) Fire Stopping, Including Tested Design Number.

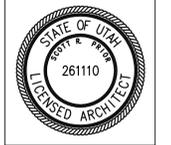


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SHEET TITLE

**SITE PLAN**

SHEET NUMBER

**A-SP100**

**LEGEND**

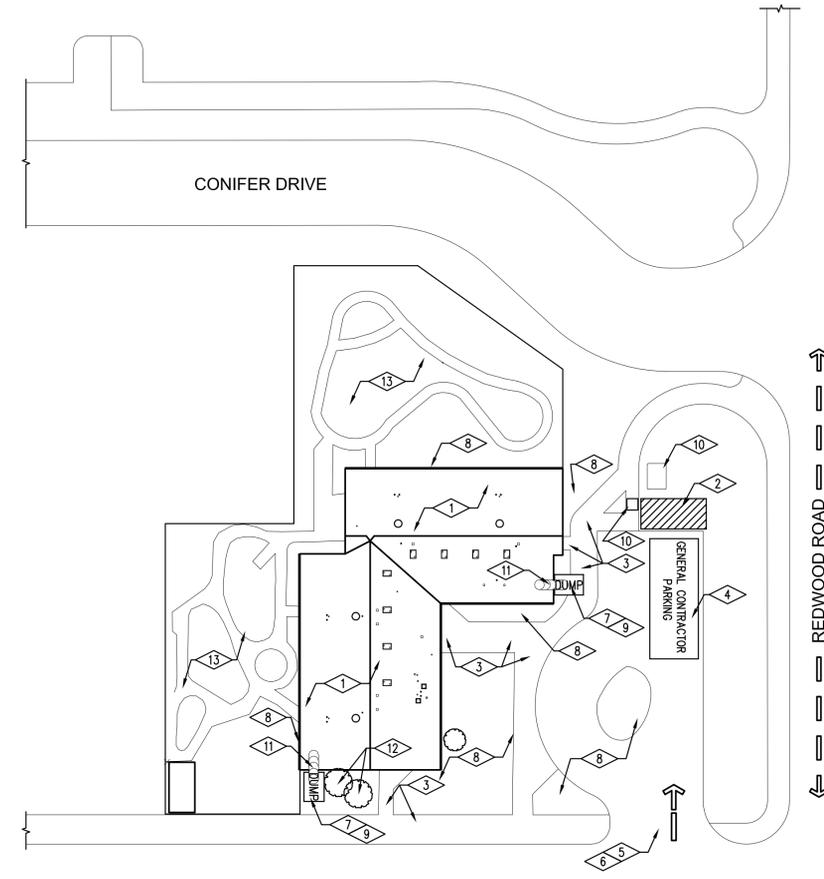
- CONTRACTOR PARKING AREA
- CONTRACTORS DUMPSTER LOCATION
- CONTRACTOR VEHICLE ACCESS TO CONSTRUCTION SITE
- CONTRACTOR STAGING AREA IF REQUIRED

**GENERAL NOTES**

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY SIDEWALK, CURB & GUTTER, ASPHALT, LANDSCAPING ETC. DISTURBED OR DESTROYED DURING CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN EMERGENCY AND UTILITY VEHICLE ACCESS AT ALL TIMES TO ALL EXISTING BUILDINGS AND BUILDING ENTRANCES
3. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO BIDDING.
4. GENERAL CONTRACTOR SHALL PROTECT EXISTING BUILDING FROM DAMAGE DURING CONSTRUCTION.
5. EXISTING DRIVE APPROACHES TO REMAIN CLEAR AT ALL TIMES
6. ALL EXISTING SIDEWALKS TO REMAIN CLEAR AT ALL TIMES
7. ALL EXISTING CONCRETE AND ASPHALT PATHWAYS TO REMAIN OPEN TO PEDESTRIANS AND VEHICLES AT ALL TIMES DURING CONSTRUCTION.
8. GENERAL CONTRACTOR SHALL PROTECT EXISTING BUILDING FROM DAMAGE DURING CONSTRUCTION.
9. GENERAL CONTRACTOR SHALL PROVIDE AN ENCLOSED DEBRIS SHOOT FOR THE REMOVAL OF CONSTRUCTION MATERIAL FROM THE ROOF.
10. GENERAL CONTRACTOR SHALL PROVIDE SELF CONTAINED TOILET FACILITIES AS PER SPECIFICATION.
11. SEE ROOF PLAN FOR ADDITIONAL INFORMATION ON SECURITY AND SAFETY REQUIREMENTS

**REFERENCE NOTES**

- 1 PROJECT LOCATION
- 2 GENERAL CONTRACTORS STAGING AREA
- 3 EXISTING CONCRETE AND ASPHALT PATHWAYS TO REMAIN OPEN TO PEDESTRIANS AND VEHICLES AT ALL TIMES DURING CONSTRUCTION
- 4 GENERAL CONTRACTORS PARKING AREA
- 5 CONTRACTOR VEHICLE ACCESS TO CONSTRUCTION SITE
- 6 EXISTING DRIVE APPROACHES TO REMAIN CLEAR AT ALL TIMES
- 7 PROPOSED DUMPSTER LOCATION
- 8 EXISTING AREA OF LANDSCAPING NOT TO BE DISTURBED
- 9 GENERAL CONTRACTOR SHALL DISCONNECT EXISTING IRRIGATION SYSTEM AT DUMPSTER LOCATION THAT ARE SHOW IN AREA OF EXISTING LANDSCAPING. UPON COMPLETION OF ROOFING PROJECT, GENERAL CONTRACTOR SHALL REMOVE EXISTING SOO AND PLANTINGS AT DUMPSTER LOCATION AND REPLACE WITH NEW SOO. GENERAL CONTRACTOR SHALL RECONNECT EXISTING IRRIGATION SYSTEM AND REPLACE ALL BROKEN SPRINKLER HEADS AND PIPING WITH SAME MATERIAL.
- 10 GENERAL CONTRACTOR SHALL PROVIDE SELF CONTAINED TOILET FACILITIES AS PER SPECIFICATION DURING CONSTRUCTION.
- 11 ENCLOSED DEBRIS SHOOT LOCATION.
- 12 GENERAL CONTRACTOR SHALL TRIM EXISTING TREE BACK FROM FACE OF BUILDING
- 13 EXISTING PLAY GROUND AREA TO REMAIN UNDISTURBED



PLAN NORTH

02 ASP100

**CAMPUS PLAN AND PROJECT LOCATION**

SCALE N.T.S.

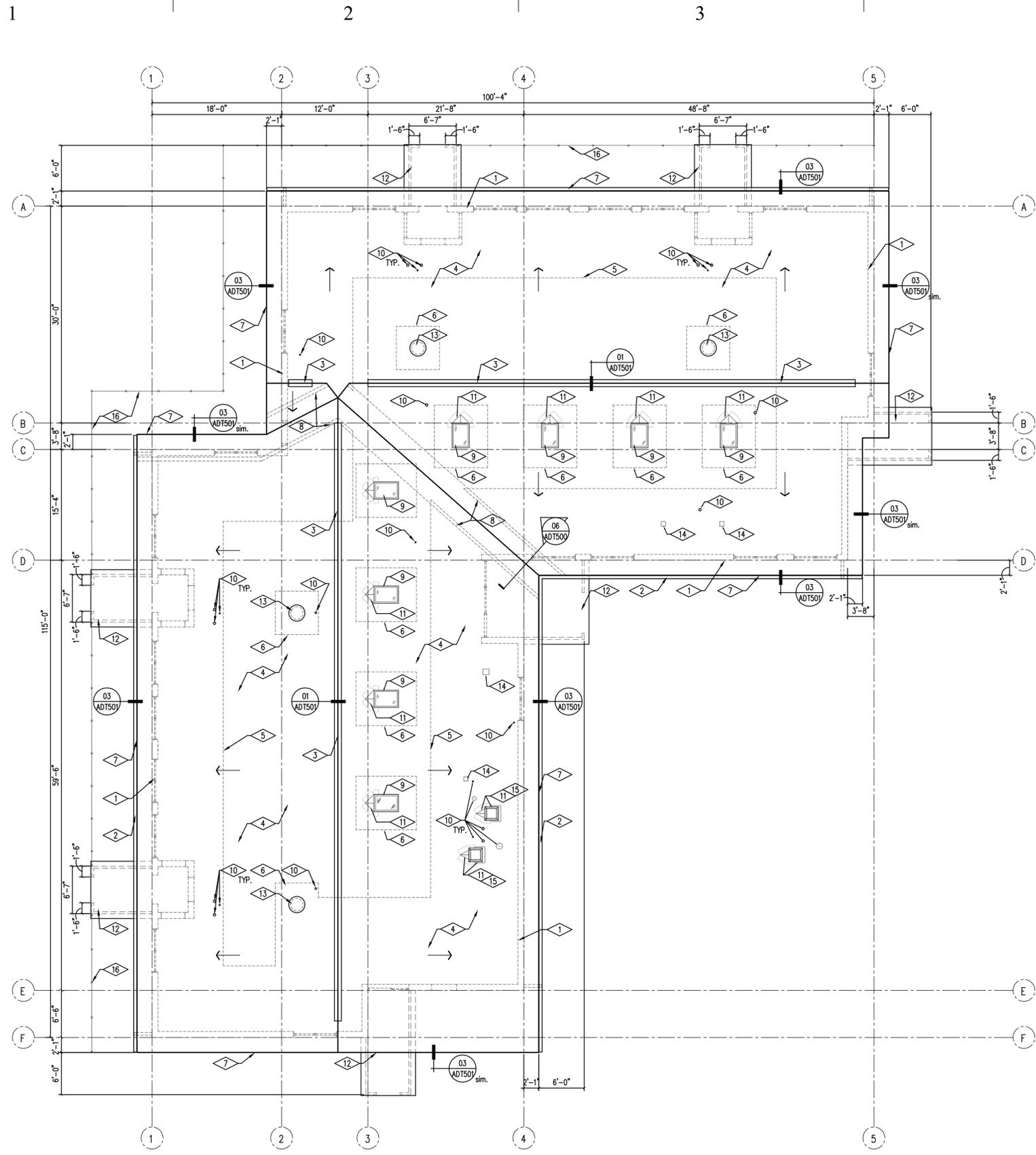


PLAN NORTH

01 ASP100

**SITE PLAN**

SCALE N.T.S.



### 5 REFERENCE NOTES

- 1 DASHED LINE INDICATES WALL BELOW
- 2 NEW OVERSIZED 6" BAKED ENAMEL SEAMLESS ALUMINUM RAINGUTTERS WITH DOWN SPOUT LOCATIONS AS SHOWN. GENERAL CONTRACTOR TO EXTEND BASE OF DOWN SPOUT 1'-8" FROM FACE OF BUILDING. GENERAL CONTRACTOR SHALL PROVIDE PRECAST CONCRETE SPLASH AT DOWN SPOUT LOCATIONS
- 3 NEW ASPHALT SHINGLE RIDGE VENTS. NEW RIDGE VENT SHALL PROVIDE REQUIRED ATTIC VENTILATION AS PER I.B.C. 1203.2. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/60 OF THE AREA OF THE SPACE VENTILATED, WITH 50 PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED BY RIDGE VENT. GENERAL CONTRACTOR TO VERIFY
- BUILDING AREA = 7455 SQUARE FEET  
NET FREE AREA  $V_{net} = 7455 \times 45.5$  SQUARE INCHES  
OF RIDGE VENT SPACE REQUIRED
- 4 NEW 50 YEAR ASPHALT SHINGLES OVER 30 lb. ROOFING FELT SEE SPECIFICATION
- 5 DASHED LINE INDICATES NEW ICE AND WATER SHIELD. ICE AND WATER SHIELD SHALL CONFORM TO ASTM D226 TYPE 1 AND TO EXTEND A MINIMUM OF 12'-0" FROM EDGE OF ROOF
- 6 PROVIDE 2 ROWS OF ICE AND WATER SHIELD AT NEW SKYLIGHT CURBS AND VENT LOCATION.
- 7 NEW PREFINISHED METAL DRIP EDGE AT PERIMETER OF ROOF, SEE DETAIL 03/ADT500
- 8 GENERAL CONTRACTOR TO PROVIDE 3 ROWS OF ICE AND WATER SHIELD AT ROOF VALLEY LOCATIONS, SEE DETAIL 06/ADT500
- 9 NEW SKYLIGHTS, PROVIDE METAL FLASHING AS PER DETAIL 02/ADT500, SEE SPECIFICATION.
- 10 ALL EXISTING PIPE VENTS TO BE FLASHED WITH HYLAR FINISHED 26 GA. GALVANIZED STEEL WITH 18" BASE AND RAIN GUTTER SLEEVE, SEE DETAIL 04/ADT500
- 11 NEW HYLAR FINISHED 20 GA. SHEET METAL ROOF CRICKETS FILLED WITH BATT INSULATION. PROVIDE 19" SIDE LAP AND 6" END LAP. PROVIDE ICE AND WATER SHIELD OVER CRICKET WITH 30 LB ASPHALT ROOFING FELT OVER TOP
- 12 EXISTING BUILDING ENTRANCES AND EXITS TO BE PROTECTED FROM FALLING DEBRIS DURING THE CONSTRUCTION PROCESS. SEE DETAIL 05/ADT500. DASHED LINES INDICATE 2x WALL FRAMING BELOW.
- 13 EXISTING VENTS TO BE FLASHED WITH NEW HYLAR FINISHED 26 GA. GALVANIZED STEEL SHEET METAL BASE.
- 14 PROVIDE NEW HYLAR FINISHED 26GA. GALVANIZED ROOF VENTS
- 15 PROVIDE NEW HYLAR FINISHED 26GA. GALVANIZED STEEPED METAL FLASHING
- 16 GENERAL CONTRACTOR SHALL PROVIDE A 6'-0" HIGH CHAIN LINK CONSTRUCTION FENCE AS SHOWN. FENCE POSTS TO BE HELD IN PLACE WITH STEEL BASE PLATES WEIGHTED WITH SAND BAGS

### GENERAL NOTES

1. GENERAL CONTRACTOR MUST VISIT THE SITE SO AS TO BE FAMILIAR WITH ALL EXISTING CONDITIONS. BRING ANY QUESTIONS OR CONCERNS TO THE ATTENTION OF THE PROJECT MANAGER FOR CLARIFICATION, FOR ADDENDUM PRIOR TO BID OPENING. NO ALLOWANCES WILL BE MADE FOR CONDITIONS THAT ARE CLEARLY VISIBLE.
2. GENERAL CONTRACTOR SHALL WORK WITH LOCAL LEADERSHIP ON SCHEDULING TO INSURE CONTINUED USE OF THE BUILDING NEITHER THE CONTRACTOR NOR ANY OF HIS PEOPLE SHALL HAVE ACCESS TO THE BUILDING WITHOUT PRIOR AUTHORIZATION.
3. ALL SAFETY STANDARD AND REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
4. BEFORE FABRICATION OF ANY SHEET METAL WORK, SUBMIT SHOP DRAWINGS TO PROJECT ARCHITECT FOR REVIEW AND APPROVAL.
5. COMPLY WITH ALL MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS
6. GENERAL CONTRACTOR RESPONSIBLE TO KEEP BUILDING WATER TIGHT AT ALL TIMES. STARTING FROM NOTICE TO PROCEED TO SUBSTANTIAL COMPLETION ANY DAMAGE TO THE BUILDING OF ITS CONTENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. GENERAL CONTRACTOR TO CHECK ALL MECHANICAL EQUIPMENT BEFORE DISCONNECTING TO MAKE SURE THEY ARE OPERATING PROPERLY. CONTRACTOR IS RESPONSIBLE FOR UNITS TO BE IN COMPLETE OPERATING CONDITION AT THE COMPLETION OF THE PROJECT. COORDINATE SHUTDOWN WITH USERS.
8. ALL PIPES, CONDUITS AND MECHANICAL UNITS TO REMAIN ON ROOF ARE TO BE PROTECTED AND KEPT CLEAN THROUGH THE END OF CONSTRUCTION.
9. FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING ANY MATERIALS, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. DO NOT SCALE DRAWINGS FOR QUANTITIES.
10. ANY SIDING, FASCIA, ETC. THAT NEEDS TO BE REMOVED TO COMPLETE THIS JOB ARE TO BE PART OF THE CONTRACT. CARE MUST BE TAKEN TO ENSURE THAT ALL ITEMS TO BE REINSTALLED ARE NOT DAMAGED DURING REMOVAL AND/OR INSTALLATION. CONTRACTOR WILL REPLACE ALL PIECES THAT ARE DAMAGED.
11. AT THE END OF CONSTRUCTION, CONTRACTOR IS TO CLEAN OUT AND FLUSH ALL RAIN GUTTERS AND DOWN SPOUTS TO MAKE SURE THEY ARE NOT PLUGGED AND ARE IN WORKING CONDITION.
12. ALL EXISTING VENT STACKS TO REMAIN. GENERAL CONTRACTOR SHALL EXTEND EXISTING VENT STACK AS PER NEW ROOF PLAN DRAWINGS AND DETAILS.
13. PROVIDE SEALANT AND PAINT ALL ROOF PENETRATIONS. NOTE: DO NOT PAINT ALUMINUM OR STAINLESS STEEL HOODS, VENTS, ETC.
14. USE STAINLESS STEEL OR ALUMINUM FASTENERS AT ALUMINUM METAL FINISH LOCATIONS.

### LEDGEND

← ARROW INDICATES DIRECTION OF EXISTING SLOPE

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0 4' 8' 16' N  
PLAN NORTH

**NEW ROOF PLAN**  
SCALE 1/8" = 1'-0"

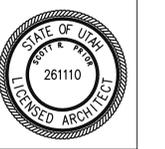




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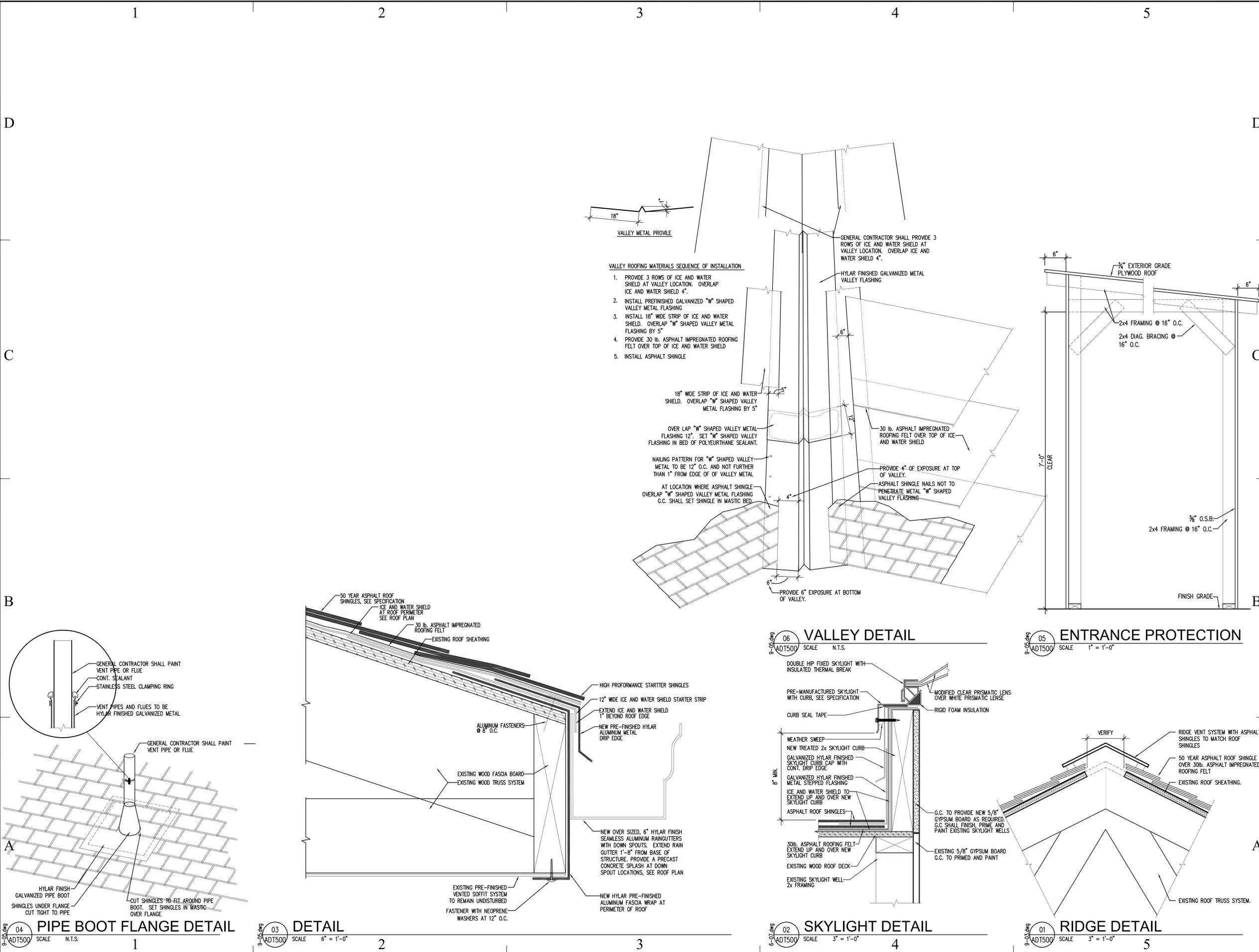
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