

# KITCHEN REMODEL

## UTAH STATE TAX COMMISSION BUILDING

FOR STATE OF UTAH DFCM

210 NORTH 1950 WEST  
SALT LAKE CITY, UTAH.

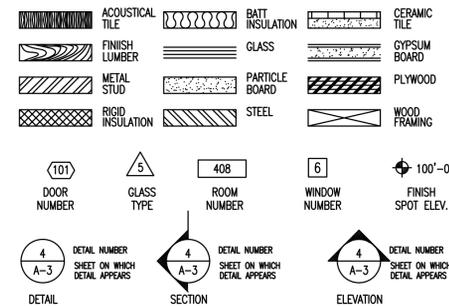
DFCM PROJECT NO.: 09134310

DATE: JULY 28, 2009

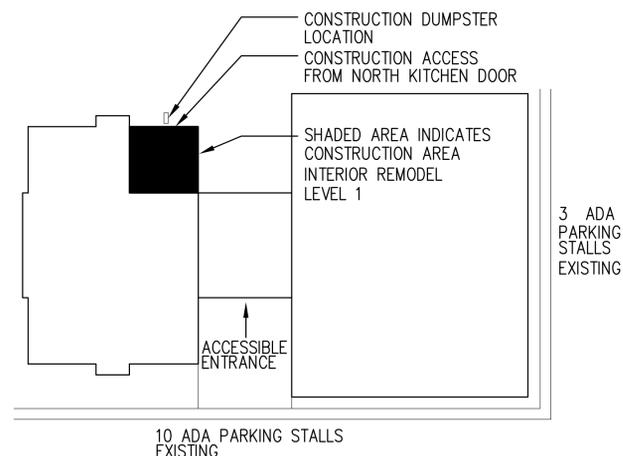
### GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- SUBMIT TO ARCHITECT SAMPLES OF ALL PROPOSED FINISHES FOR APPROVAL PRIOR TO COMMENCING WORK.
- COORDINATE USE OF PREMISES AND SCHEDULING OF WORK UNDER THE DIRECTION OF ARCHITECT AND OWNER'S REPRESENTATIVE.
- ALL ADJACENT SURFACES DAMAGED DUE TO WORK UNDER THIS CONTRACT SHALL BE PATCHED AND FINISHED TO MATCH EXISTING ADJACENT SURFACES.
- CONTRACTOR TO PROVIDE DUSTPROOF ENCLOSURES AT PERIMETER OF AREAS OF CONSTRUCTION AND DEMOLITION FOR PROTECTION OF ADJACENT SPACES.
- CONTRACTOR TO ALIGN EXISTING AND NEW WALLS - TYPICAL.
- REMOVE AND RELOCATE EXISTING FIRE ALARM BOXES, THERMOSTATS, SIGNS AND OTHER WALL OR CEILING MOUNTED DEVICES AS REQUIRED. CONTRACTOR TO FIELD VERIFY.
- RE-ROUTE ALL PIPING, CONDUIT AND DUCTWORK AS REQUIRED AT AREAS OF NEW CONSTRUCTION. RELOCATE ANY FIRE DAMPERS AND SLEEVE ALL NEW PENETRATIONS TO ENSURE 1 HOUR RATING AT CORRIDOR WALLS. PROVIDE NEW FIRE DAMPERS AS REQUIRED. CONTRACTOR TO FIELD VERIFY PRIOR TO BIDDING.
- PATCH EXISTING CONC. FLOOR SLABS, AS REQUIRED FOR NEW FINISHES, WITH FLOOR LEVELING COMPOUND: "POR-ROK" BY MINWAX CORP. OR AS APPROVED BY ARCHITECT.
- ALL WORK AND MATERIALS SHALL BE IN CONFORMANCE WITH THE LATEST FEDERAL, STATE AND LOCAL CODES, LAWS AND ORDINANCES, INCLUDING COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE CONSTRUCTION DOCUMENTS FOR PERMIT AND SECURING AND PAYING FOR ALL PERMITS AND FEES REQUIRED TO COMPLETE THIS PROJECT.
- DIMENSIONS ARE TO FACE OF FINISH, UNLESS NOTED OTHERWISE.
- ALL CHANGES IN FLOOR MATERIALS SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE NOTED.
- OBTAIN APPROVAL FROM BUILDING OWNER FOR USE OF PUBLIC AREAS NECESSARY FOR REMOVAL OF DEBRIS AND SUPPLY OF MATERIALS.
- PROTECT THE FIRE ALARM SYSTEM FROM FALSE ALARMS BY CONTAINING CONSTRUCTION DUST.
- ALL WORK TO BE IN ACCORDANCE WITH THE LATEST BUILDING AND CONSTRUCTION STANDARDS AS PROVIDED BY THE BUILDING OWNER. ANY DEVIATION FROM THESE STANDARDS IS TO BE WITH WRITTEN APPROVAL BY THE BUILDING OWNER ONLY.
- EXISTING FIRE SPRINKLER SYSTEM: THE GENERAL CONTRACTOR SHALL MODIFY EXISTING FIRE SPRINKLER SYSTEM FOR NEW LAYOUT OF WALLS SO IT MEETS CURRENT CODES.
- PATCH AND REPAIR EXISTING FIRE PROOFING AT FLOOR DECK, ROOF DECK, STRUCTURAL FRAME (BEAMS, COLUMNS,) AT NEW CONSTRUCTION CONNECTIONS TO EXISTING STRUCTURE.

### SYMBOL LEGEND



### KEY PLAN



KEY\_PLAN



### OWNER

STATE OF UTAH, DFCM  
4110 STATE OFFICE BUILDING  
SALT LAKE CITY, UTAH 84114  
CONTACT: BOB ANDERSON  
PHONE: (801) 652-6754

### CONSULTANTS

MECHANICAL ENGINEERS:  
WHW ENGINEERS  
1354 EAST 3300 SOUTH  
SALT LAKE CITY, UTAH 84106  
CONTACT: WJ PACKER  
PHONE: 801 466-4021

ELECTRICAL ENGINEERS:  
KEN GARNER ENGINEERING, INC  
102 WEST 500 SOUTH SUITE 225  
SALT LAKE CITY, UTAH 84101  
CONTACT: LANCE WACKIE  
PHONE: 801 566-4140



2 PEPPERWOOD POINTE  
SANDY, UTAH 84092

OFFICE: 801-572-1997  
FAX: 801-572-9103  
CELL: 801-647-8043

### DRAWING INDEX

COVER SHEET  
ARCHITECTURAL  
D1-1 DEMOLITION PLAN  
A1-1 FLOOR PLAN  
A1-2 REFLECTED CEILING PLAN  
A5-1 DETAILS  
A7-1 FINISH & DOOR SCHEDULE

MECHANICAL  
MG001 MECHANICAL GENERAL NOTES AND LEGENDS  
MD101 MECHANICAL DEMOLITION PLAN  
ME101 MECHANICAL PLAN  
ME501 MECHANICAL DETAILS  
ME502 HOOD SCHEDULE AND DETAILS  
PG001 PLUMBING GENERAL NOTES AND LEGENDS  
PD101 PLUMBING DEMOLITION PLAN  
PE101 PLUMBING PLAN  
PE501 PLUMBING DETAILS & SCHEDULES

ELECTRICAL  
EG100 SYMBOLS, ABBREVIATIONS  
ED101 ELECTRICAL DEMOLITION PLANS  
EP101 ELECTRICAL PLANS  
EX101 ELECTRICAL SCHEDULES  
EX102 ELECTRICAL DETAILS

### DEFERRED SUBMITTALS

- FIRE SPRINKLER DRAWINGS SHOWING MODIFICATIONS.  
DUE DATE: AS SOON AS POSSIBLE
- EXISTING UL 300 TANK EXHAUST HOOD FIRE SUPPRESSION SYSTEM: HEAD LOCATION DRAWINGS SHOWING MODIFICATIONS.  
DUE DATE: AS SOON AS POSSIBLE

### STATE FIRE MARSHAL OFFICE NOTES

5272 SOUTH COLLEGE DRIVE, SUITE 302  
MURRAY, UTAH 84123-2611  
CONTACT: GEE  
PHONE: (801) 284-6350

- OCCUPANCY OF THIS PROJECT IS PROHIBITED UNTIL A FINAL INSPECTION IS CONDUCTED BY THE STATE FIRE MARSHALS OFFICE. A MINIMUM THREE DAY NOTICE SHALL BE GIVEN FOR THIS INSPECTION.
- PLEASE BE CERTAIN THAT ALL PRECAUTIONS ARE TAKEN DURING CONSTRUCTION TO MAINTAIN FIRE PROTECTION AND PROTECT THE CONSTRUCTION CREW.
- SUBMIT FIRE ALARM PLANS TO THE STATE FIRE MARSHALS OFFICE.
- SUBMIT UL 300 FIRE SUPPRESSION SYSTEMS PLANS TO THE STATE FIRE MARSHALS OFFICE.
- SUBMIT PLANS FOR THE CHANGE IN FIRE SPRINKLER HEADS TO THE STATE FIRE MARSHALS OFFICE.
- NOTIFY LOCAL FIRE DEPARTMENT OF PARTIAL SHUT DOWN OF SPRINKLER SYSTEM. DATE TIME AND DURATION OF SHUT DOWN.

### CODE ANALYSIS

#### APPLICABLE CODES

	Year	Year	
International Building Code	2006	National Electrical Code	2008
International Mechanical Code	2006	Uniform Code for Building Conservation	N/A
International Plumbing Code	2006	ADA Accessibility Guidelines	2003
International Fire Code	2006		
International Energy Conservation Code	2006		

A. Occupancy and Group: A-2 B  
Change in Use: Yes      No X Mixed Occupancy: Yes X No       
Special Use and Occupancy (e.g. High Rise, Covered Mall): N/A

B. Seismic Design Category: N/A Design Wind Speed: N/A mph

C. Type of Construction (circle one):

I I II III IV V  
A B A B HT A B

D. Fire Resistance Rating Requirements for the Exterior Walls based on the fire separation distance (in hours):  
North: N/A South: N/A East: N/A West: N/A

E. Mixed Occupancies: N/A Nonseparated Uses: N/A

F. Sprinklers:  
Required:      Provided: YES Type of Sprinkler System: EXISTING

G. Number of Stories: 4 Building Height: N/A

H. Actual Area per Floor (square feet): N/A

I. Tabular Area: N/A

J. Area Modifications:

$$a) A_a = A_t + \left[ \frac{A_t I_f}{100} \right] + \left[ \frac{A_t I_s}{100} \right] \quad I_f = 100 \left[ \frac{F}{P} - 0.25 \right] \frac{W}{30}$$

b) Sum of the Ratio Calculations for Mixed Occupancies:

$$\frac{\text{Actual Area}}{\text{Allowable Area}} \leq 1$$

c) Total Allowable Area for:

- One Story:
- Two Story: A<sub>a</sub>(2)
- Three Story: A<sub>a</sub>(3)

d) Unlimited Area Building: Yes      No      Code Section:     

K. Fire Resistance Rating Requirements for Building Elements (hours).

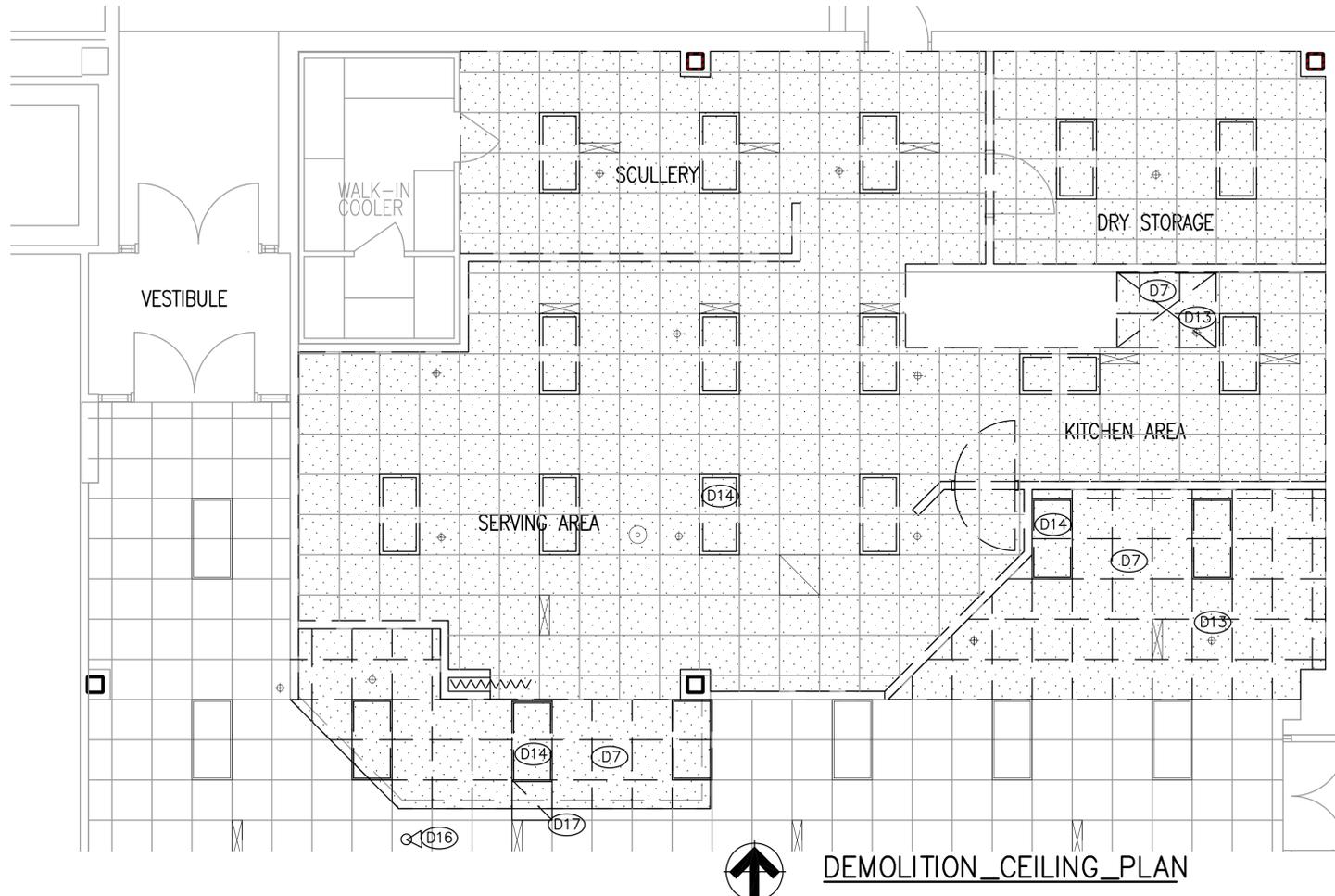
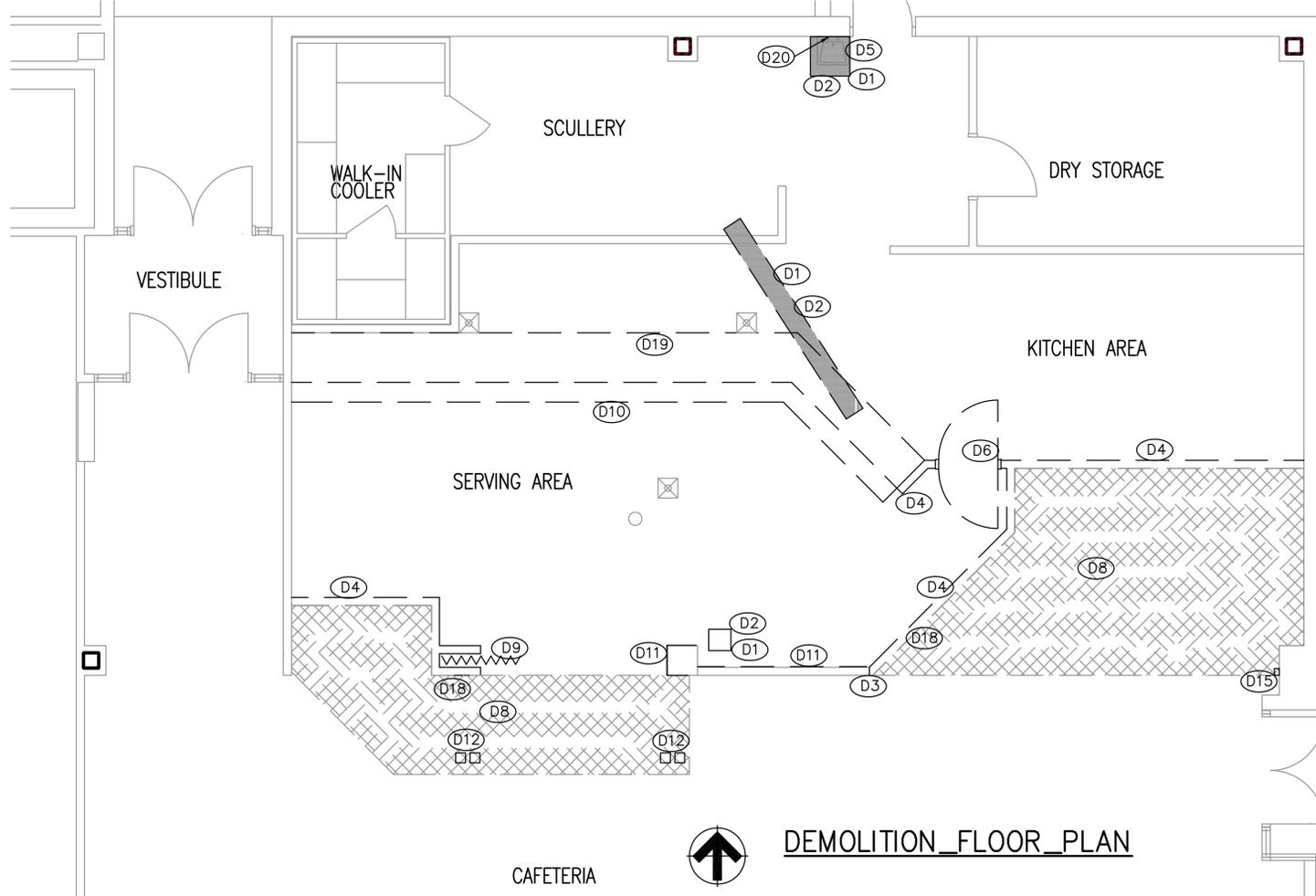
Element	Hours	Assembly Listing	Element	Hours	Assembly Listing
Exterior Bearing Walls	N/A		Floors - Ceiling Floors	N/A	
Interior Bearing Walls	N/A		Roofs - Ceiling Roofs	N/A	
Exterior Non-Bearing Walls	N/A		Exterior Doors and Windows	N/A	
Structural Frame	1 HR		Shaft Enclosures	N/A	
Partitions - Permanent	N/A		Fire Walls	N/A	
Fire Barriers	N/A		Fire Partitions	N/A	
			Smoke Partitions	N/A	

L. Design Occupant Load: 210  
Exit Width Required: 31.5" Exit Width Provided: 216"

M. Minimum Number of Required Plumbing Facilities:  
a) Water Closets - Required (m) 2 (f) 2 Provided (m) 5 (f) 5  
b) Lavatories - Required (m) 1 (f) 1 Provided (m) 4 (f) 4  
c) Bath Tubs or Showers: N/A  
d) Drinking Fountains: 1 Service Sinks: 1

#### FOOTNOTES:

- In case of conflict with the U.S. Department of Justice Federal Registers Parts I through V - ADA Guidelines and specific reference to the International Building Code Accessibility Chapters, the more restrictive requirement shall govern.
- Additional Code Information shall be provided at the discretion of the Building Official for Complex Buildings. Including, but not limited to:
  - High Rise Requirements.
  - Atriums.
  - Performance Based Criteria.
  - Means or Egress Analysis.
  - Fire Assembly Locator Sheet.
  - Exterior and Interior Accessibility Route.
  - Fire Stopping, Including Tested Design Number.



### GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS.
2. ALL WORK, MATERIALS & DISPOSAL SHALL BE IN FULL CONFORMANCE WITH THE LATEST FEDERAL, STATE, AND LOCAL CODES, LAWS, AND ORDINANCES, INCLUDING THEIR MOST RECENT REVISIONS, AMENDMENTS, AND INTERPRETATIONS.
3. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION AND NEW CONSTRUCTION AS INDICATED IN THE DOCUMENTS AND AS REQUIRED FOR A COMPLETE AND PROPER JOB. ALL CONTRACTORS ARE REQUIRED TO SURVEY AND FIELD VERIFY THE SITE PRIOR TO BID.
4. GENERAL CONTRACTOR IS TO PROTECT ALL EXISTING CONSTRUCTION AND SYSTEMS, WHICH ARE INTENDED TO REMAIN, FROM ANY DAMAGE DURING THE DURATION OF THE ENTIRE DEMOLITION AND NEW CONSTRUCTION CONTRACT. ALL SURFACES DAMAGED DUE TO NEW CONSTRUCTION SHALL BE PATCHED AND REPAIRED TO MATCH ADJACENT SURFACES TO THE OWNERS SATISFACTION.
5. ALL UNDERGROUND UTILITIES (ELECTRICAL, GAS, SEWER, PHONE, ETC.) ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROTECT. THESE LINES SHALL BE PROTECTED IN PLACE. ANY CONFLICTS AND DISCREPANCY IN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION.

Seal

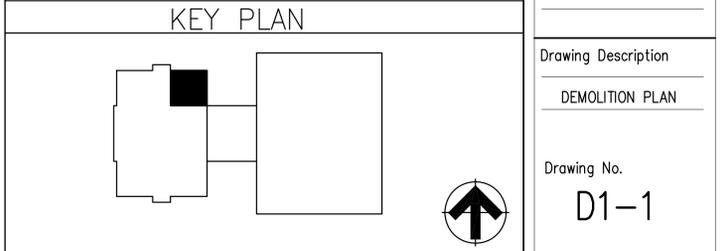
Revisions:  
No. Date Description

**THALMANN ARCHITECT**  
2 PEPPERWOOD PONTE SANDY, UTAH 84092  
OFFICE: (801) 572-1997  
CELL: (801) 647-8043  
FAX: (801) 572-9103

- ### DEMOLITION KEYED NOTES
- (D1) SAW CUT EXISTING 4" CONCRETE FLOOR SLAB.
  - (D2) SHADED AREA INDICATES TO REMOVE AND DISPOSE EXISTING CONCRETE FLOOR SLAB.
  - (D3) SAW CUT EXISTING PARTITION WALL
  - (D4) REMOVE AND DISPOSE OF EXISTING WALL. RELOCATE ALL ELECTRICAL DEVICES.
  - (D5) REMOVE TO OWNERS STOCK TO BE REUSED OF EXISTING PLUMBING FIXTURE CAP ALL SUPPLY AND WASTE LINES. REFER TO PLUMBING DRAWINGS.
  - (D6) REMOVE TO OWNERS STOCK FOR REUSE OF EXISTING DOOR, FRAME AND HARDWARE.
  - (D7) REMOVE AND DISPOSE OF EXISTING SUSPENDED CEILING SYSTEM AND ACOUSTICAL TILES.
  - (D8) SHADED AREA INDICATES TO REMOVE AND DISPOSE EXISTING FLOORING DOWN TO CONCRETE SLAB. PREP EXISTING CONCRETE SLAB FOR CERAMIC TILE.
  - (D9) REMOVE AND DISPOSE OF EXISTING ACCORDION DOOR AND HARDWARE.
  - (D10) REMOVE TO OWNERS STOCK FOR REUSE OF EXISTING STAINLESS STEEL TRAY RAIL AND HARDWARE.
  - (D11) REMOVE AND DISPOSE OF EXISTING FRP WALL COVERING. PREP WALL FOR NEW FINISH.
  - (D12) REMOVE AND DISPOSE OF EXISTING ELECTRICAL POWER AND DATA J-BOX'S REMOVE CONDUCTORS BACK TO PANEL. REFER TO ELECTRICAL DRAWINGS.
  - (D13) REMOVE AND RELOCATE FIRE SPRINKLER HEAD AS REQUIRED.
  - (D14) REMOVE TO OWNERS STOCK EXISTING LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS.
  - (D15) REMOVE AND RELOCATE FIRE ALARM PULL STATION REFER TO ELECTRICAL DRAWINGS.
  - (D16) REMOVE AND RELOCATE SECURITY VIDEO CAMERA REFER TO ELECTRICAL DRAWINGS.
  - (D17) REMOVE AND RELOCATE HVAC GRILL REFER TO HVAC DRAWINGS.
  - (D18) REMOVE AND RELOCATE HVAC THERMOSTAT REFER TO HVAC DRAWINGS.
  - (D19) REMOVE AND DISPOSE OF EXISTING BASE CABINETS AND COUNTER TOP.
  - (D20) REMOVE TO OWNERS STOCK EXISTING PAPER TOWEL AND SOAP DISPENSERS FOR REUSE.

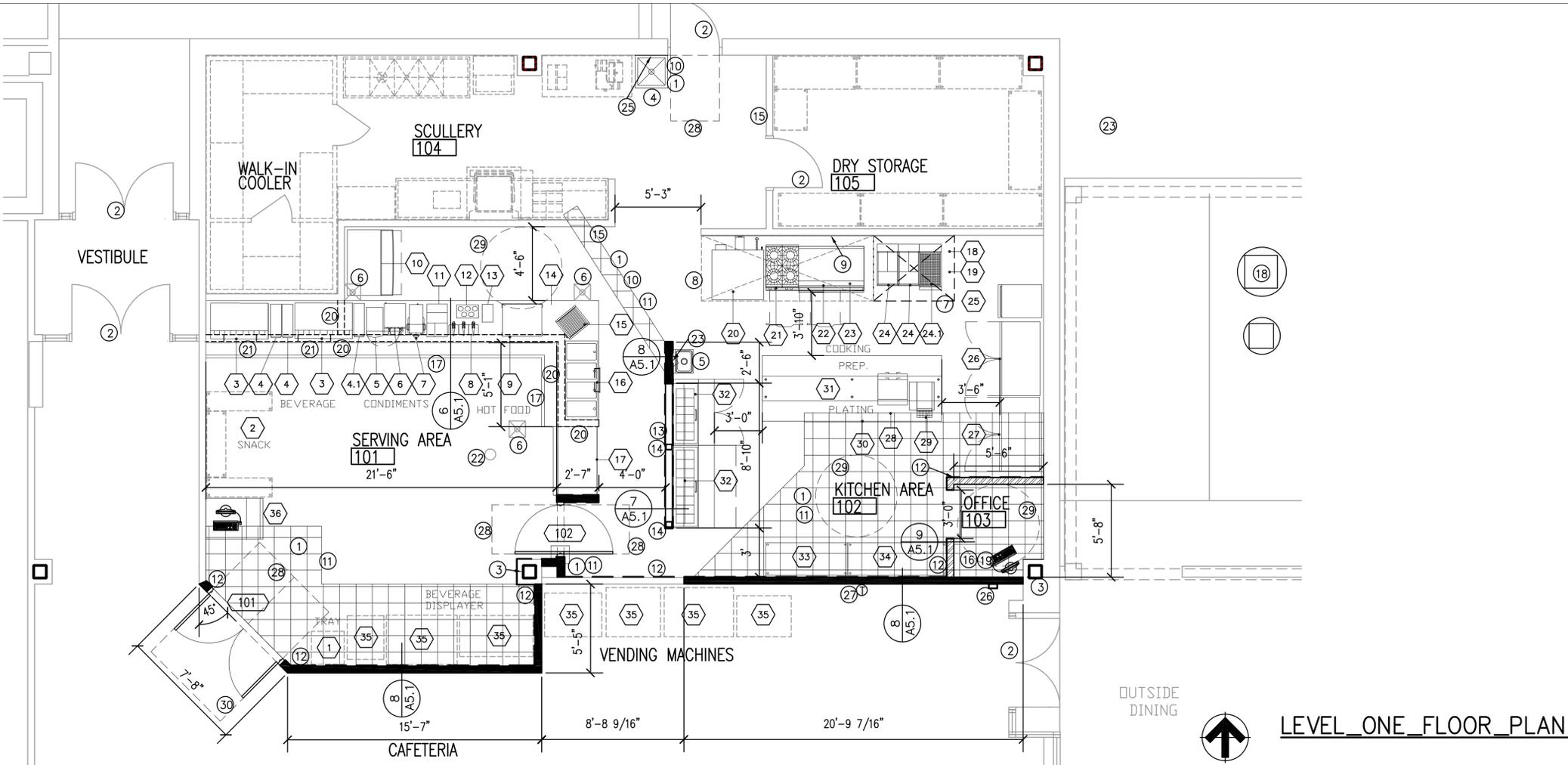
### WALL TYPES

— EXISTING WALL  
 - - - EXISTING WALL TO BE REMOVED



**KITCHEN REMODEL**  
**UTAH STATE TAX COMMISSION BUILDING**  
 DFCM PROJECT NO. 09134310  
 210 North 1950 West, Salt Lake City, Utah

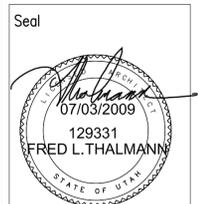
Date: 07/03/09  
 Drawn: FLT  
 Checked: FLT



LEVEL ONE FLOOR PLAN

**GENERAL NOTES**

A. ALL DIMENSIONS ARE TO FINISHED SURFACE OF WALL.  
 B. PATCH AND REPAIR EXISTING WALLS, CEILING AND FLOOR WHERE EXISTING WALLS WERE REMOVED.  
 C. PROVIDE BLOCKING IN WALLS FOR GRAB BARS, SHELVING, CABINETS, AND HANDRAILS.



**KEYED NOTES**

1 PATCH AND REPAIR CONCRETE FLOOR SLAB & FINISH TO MATCH EXISTING.  
 2 EXISTING DOOR AND HARDWARE.  
 3 EXISTING STEEL COLUMN  
 4 NEW MOP SINK REFER TO PLUMBING DRAWINGS.  
 5 RELOCATED HAND SINK FROM OWNERS STOCK. REFER TO PLUMBING DRAWINGS.  
 6 EXISTING FLOOR SINK REFER TO PLUMBING DRAWINGS.  
 7 NEW EXHAUST HOOD REFER TO HVAC DRAWINGS.  
 8 EXISTING EXHAUST HOOD.  
 9 STAINLESS STEEL WALL COVERING FLOOR TO CEILING AT HOOD AREA.  
 10 NEW 4" CONCRETE SLAB DOWEL TO EXISTING SLAB W. #4 BAR AT 32" O.C. EACH SIDE WITH 4" EMBEDMENT.  
 11 MATCH EXISTING CERAMIC TILE FLOORING TOOTH INTO EXISTING.  
 12 FRP WALL COVERING, FLOOR TO CEILING. REFER TO FINISH SCHEDULE.  
 13 48" HIGH PONY WALL WITH FRP FINISH BOTH SIDES: 3 5/8", 20 GA, METAL STUDS AT 16" O.C. WITH 5/8" GYP. BD. BOTH SIDES  
 14 PROVIDE 3"x3"x1/4" STEEL TUBE POST 4' HIGH ANCHOR BASE PLATE TO CONCRETE FLOOR SLAB WITH 5/8" ANCHOR BOLTS.  
 15 EXISTING FIRE EXTINGUISHER  
 16 COUNTER TOP (PLASTIC LAMINATE) DETAIL 4/A5-1  
 17 S.S. TRAY RAIL FROM OWNERS STOCK AND MODIFIED FOR NEW CABINET.  
 18 NEW EXHAUST FAN REFER TO HVAC DRAWINGS. COORDINATE WITH ROOF MANUFACTURER OF EXISTING ROOF BEFORE STARTING ROOF MODIFICATIONS THAT ARE NECESSARY TO INSTALL NEW PENETRATION FLASHING FOR EXHAUST HOOD. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN MANUFACTURERS WARRANTY OF EXISTING ROOF SYSTEM.  
 19 UPPER CABINET REFER TO DETAIL 5/A5-1  
 20 36" HIGH PONY WALL WITH FRP FINISH BOTH SIDES: 3 5/8", 20 GA, METAL STUDS AT 16" O.C. WITH 5/8" GYP. BD. BOTH SIDES  
 21 METAL ACCESS DOOR 24" X 18" PAINTED TO MATCH WALL COLOR.  
 22 EXISTING FLOOR POWER OUTLET TO REMAIN.  
 23 PAPER TOWEL & SOAP DISPENSER RELOCATED FROM OWNERS STOCK.  
 24 CONTRACTOR STAGING AREA. COORDINATE WITH OWNER FOR LOCATION AND SIZE.  
 25 PATCH AND REPAIR WALL & FINISH TO MATCH EXISTING.  
 26 FIRE ALARM PULL RELOCATED FROM OWNERS STOCK. REFER TO ELECTRICAL DRAWINGS.  
 27 THERMOSTAT RELOCATED FROM OWNERS STOCK. REFER TO HVAC DRAWINGS.  
 28 ADA MANEUVERING CLEARANCE 3'x4'  
 29 ADA MANEUVERING CLEARANCE 5' DIAMETER  
 30 ADA MANEUVERING CLEARANCE 6'x5'



**Revisions:**

No.	Date	Description
1	7-28-09	DFCM COMMENTS

**EQUIPMENT SCHEDULE**

TYPE	EQUIPMENT NAME	EQUIPMENT SIZE			ELECTRICAL				NATURAL GAS			PLUMBING			REMARKS	
		WIDTH	DEPTH	HEIGHT	VOLT	PHASE	AMP	Hz	DATA	GAS LINE	BTU	CONNECTION POINT	WATER HOT	WATER COLD		WASTE
1	TRAY STAND	---	---	---	---	---	---	---	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
2	SNACK RACKS	---	---	---	---	---	---	---	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
3	BEVERAGE STATION	---	---	---	120/60	1	4	PLUG-IN	---	---	---	---	1/2"	---	---	FLOOR SINK
4	CUP DISPENSER	---	---	---	---	---	---	---	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
4.1	LID DISPENSER	---	---	---	---	---	---	---	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
5	CAPUCCINO DISPENSER	---	---	---	120/60	1	14.2	PLUG-IN	---	---	---	---	1/2"	---	---	PROVIDED AND INSTALLED BY TENANT
6	COFFEE MACHINE	8.25"	15"	18"	120/60	1	14.2	PLUG-IN	---	---	---	---	1/2"	---	---	PROVIDED AND INSTALLED BY TENANT
7	COFFEE & TEA MACHINE	---	---	---	120/60	1	14.2	PLUG-IN	---	---	---	---	1/2"	---	---	PROVIDED AND INSTALLED BY TENANT
8	CONDIMENT DISPENSER	---	---	---	---	---	---	---	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
9	DISPLAY CASE HEATED	---	---	---	120/60	1	XX	PLUG-IN	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
10	ICE MAKER WITH BIN	---	---	---	120/60	1	11.9	PLUG-IN	---	---	---	---	1"	---	---	PROVIDED AND INSTALLED BY TENANT
11	CONDIMENT & STRAW ORGANIZER	---	---	---	---	---	---	---	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
12	TABLEWARE DISPENSER	---	---	---	---	---	---	---	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
13	NAPKIN DISPENSER	---	---	---	---	---	---	---	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
14	S.S. SERVING COUNTER	---	---	---	---	---	---	---	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY CONTRACTOR (CUSTOM BUILD)
15	HOT DOG GRILL	---	---	---	120/60	1	XX	PLUG-IN	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
16	DROP-IN HOT WELLS/SNEEZE	---	---	---	120/60	1	XX	J-BOX	---	---	---	---	---	---	---	PROVIDED BY TENANT AND INSTALLED BY CONTRACTOR
17	REFRIGERATOR, AIR CURTAIN TYPE	---	---	---	220	1	XX	PLUG-IN	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
18	EXHAUST HOOD	5'	MATCH EXT	MATCH EXT	XXX	XX	XX	J-BOX	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY CONTRACTOR ( MFR. CAPTIVE AIRE OR EQUAL)
19	EXHAUST HOOD FIRE SYSTEM	---	---	---	---	---	---	---	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY CONTRACTOR ( MFR. CAPTIVE AIRE OR EQUAL)
20	CONVECTION OVEN	---	---	---	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	---	---	---	---	---	EXISTING
21	2 BURNER COOK-TOP	---	---	---	---	---	---	---	---	---	---	---	---	---	---	PROVIDED BY TENANT AND INSTALLED BY CONTRACTOR
22	FREEZER SHORTY	---	---	---	120/60	1	XX	PLUG-IN	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
23	GRIDDLE & 2 BURNER COOK-TOP	---	---	---	---	---	---	---	EXIST	EXIST	---	---	---	---	---	EXISTING
24	FRYER, DEEP FAT	---	---	---	120/60	1	XX	PLUG-IN	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
24.1	FRYER, DUMP STATION	---	---	---	120/60	1	XX	PLUG-IN	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
25	WARMING CABINET, MOBILE	---	---	---	120/60	1	XX	PLUG-IN	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
26	FREEZZER, REACH-IN	---	---	---	120/60	1	XX	PLUG-IN	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
27	REFRIGERATOR, REACH-IN	---	---	---	120/60	1	XX	PLUG-IN	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
28	MICRO-WAVE OVEN	---	---	---	120/60	1	XX	PLUG-IN	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
29	TOASTER OVEN, CONVEYER TYPE	---	---	---	120/60	1	XX	PLUG-IN	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
30	S.S. WORK TABLE	11'	4'	36"	---	---	---	---	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
31	S.S. OVER SHELF FOR TABLE	11'	1'-6"	36"	---	---	---	---	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
32	REFRIGERATOR, SANDWICH TABLE	---	---	---	120/60	1	XX	PLUG-IN	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
33	SHELF	5'	2'	---	---	---	---	---	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
34	SHELF	6'	2'	---	---	---	---	---	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
35	VENDING MACHINE, REFRIG.	---	---	---	120/60	1	XX	PLUG-IN	---	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT
36	CASHER STATION (MOBILE)	---	---	---	120/60	1	XX	PLUG-IN	YES	---	---	---	---	---	---	PROVIDED AND INSTALLED BY TENANT (PROVIDE DATA CONNECTION)

**WALL TYPES**

EXISTING WALL TO REMAIN

INTERIOR WALL: 3 5/8", 20 GA, METAL STUDS AT 16" O.C. WITH 5/8" GYP. BD. BOTH SIDES PAINTED, WITH FRP FLOOR TO CEILING ON KITCHEN SIDE; EXTEND TO 8" ABOVE CEILING, UNLESS NOTED OTHERWISE. R-11 SOUND BATT INSULATION.

INTERIOR WALL: 3 5/8", 20 GA, METAL STUDS AT 16" O.C. WITH 5/8" GYP. BD. BOTH SIDES PAINTED, WITH FRP FLOOR TO CEILING ON KITCHEN SIDE; EXTEND TO CEILING, UNLESS NOTED OTHERWISE. R-11 SOUND BATT INSULATION.

**KEY PLAN**

Date: 07/03/09  
 Drawn: FLT  
 Checked: FLT

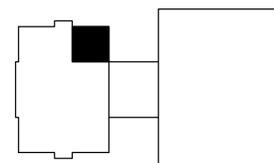
Drawing Description  
 FLOOR PLAN

Drawing No.  
**A1-1**

KITCHEN REMODEL  
 UTAH STATE TAX COMMISSION BUILDING  
 DFCM PROJECT NO. 09134310  
 210 North 1950 West, Salt Lake City, Utah



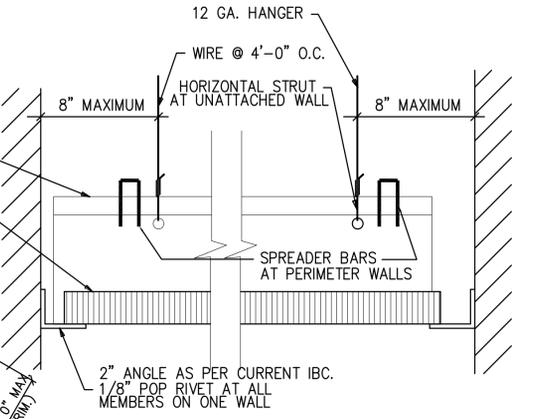
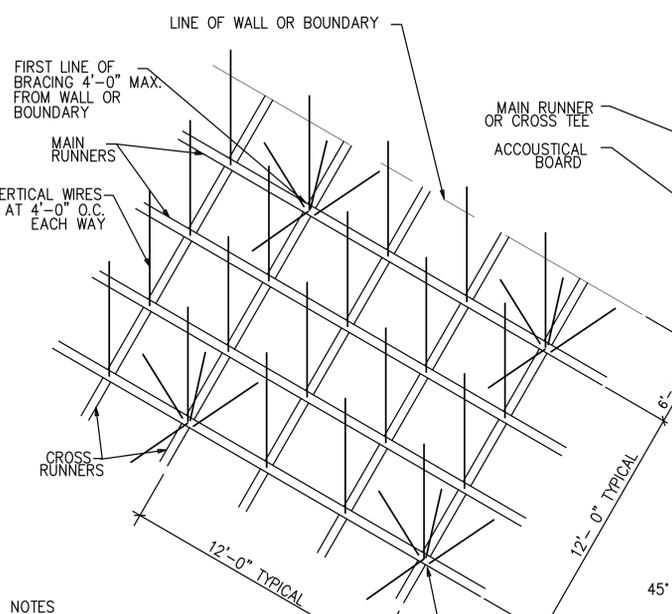
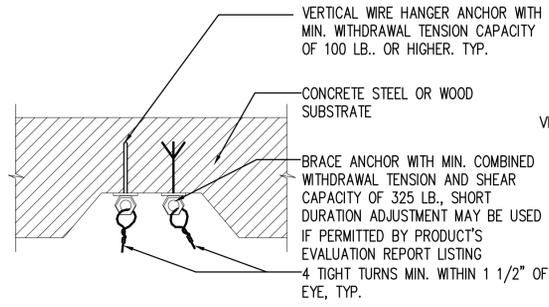
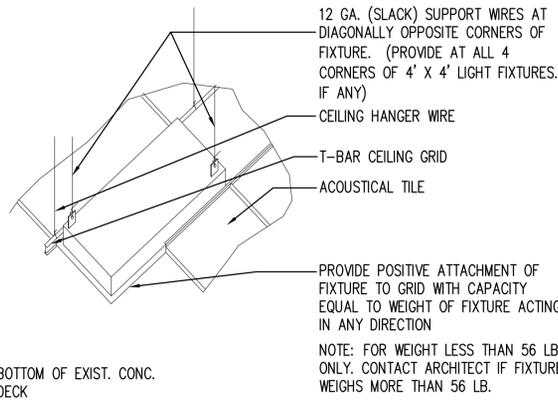
REFLECTED\_CEILING\_PLAN

<p style="text-align: center;"><b>GENERAL NOTES</b></p> <p>A. ALL DIMENSIONS ARE TO FINISHED SURFACE OF WALL.</p> <p>B. PATCH AND REPAIR EXISTING WALLS, CEILING AND FLOOR WHERE EXISTING WALLS WERE REMOVED.</p> <p>C. COORDINATE WITH ROOF MANUFACTURER OF EXISTING ROOF BEFORE STARTING ROOF MODIFICATIONS THAT ARE NECESSARY TO INSTALL NEW PENETRATION FLASHINGS FOR EXHAUST HOOD. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN MANUFACTURERS WARRANTY OF EXISTING ROOF SYSTEM.</p> <p>D. PROVIDE BLOCKING IN WALLS FOR GRAB BARS, SHELVING, CABINETS, AND HANDRAILS.</p>	<p>Seal</p>  <p>Revisions:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	Date	Description									
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<p style="text-align: center;"><b>KEYED NOTES</b></p> <p>① EXISTING CEILING HEIGHT IS 10'-4" A.F.F.</p> <p>② EXISTING DECK HEIGHT IS 15'-0" A.F.F.</p> <p>③ RELOCATED RETURN AIR GRILL REFER TO HVAC DRAWINGS.</p> <p>④ RELOCATED SECURITY CAMERA REFER TO ELECTRICAL DRAWINGS.</p> <p>⑤ RELOCATED AND RECONFIGURED FIRE SPRINKLER HEADS AS NECESSARY PER FIRE SPRINKLER PERFORMANCE SPECIFICATION. FIELD VERIFY EXACT LOCATION AND SIZE OF FIRE SPRINKLER HEADS AND PIPING.</p> <p>⑥ EXHAUST HOOD REFER TO HVAC DRAWINGS.</p>													
<p style="text-align: center;"><b>CEILING TYPES</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%; text-align: center;">A HEIGHT</td> <td>2X2 SUSPENDED GRID ACOUSTICAL CEILING TIE INTO EXISTING GRID CEILING. (MATCH EXISTING STYLE, FINISH AND COLOR)</td> </tr> <tr> <td style="text-align: center;">B HEIGHT</td> <td>EXISTING 2X2 SUSPENDED GRID CEILING TO REMAIN NEW CLEANABLE CEILING PANEL 2X2 WHITE</td> </tr> <tr> <td style="text-align: center;">C HEIGHT</td> <td>TYPICAL EXISTING 2X2 SUSPENDED GRID ACOUSTICAL CEILING (REPLACE ANY DAMAGED CEILING TILES WITH NEW TO MATCH)</td> </tr> </table>		A HEIGHT	2X2 SUSPENDED GRID ACOUSTICAL CEILING TIE INTO EXISTING GRID CEILING. (MATCH EXISTING STYLE, FINISH AND COLOR)	B HEIGHT	EXISTING 2X2 SUSPENDED GRID CEILING TO REMAIN NEW CLEANABLE CEILING PANEL 2X2 WHITE	C HEIGHT	TYPICAL EXISTING 2X2 SUSPENDED GRID ACOUSTICAL CEILING (REPLACE ANY DAMAGED CEILING TILES WITH NEW TO MATCH)						
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<p style="text-align: center;"><b>KEY PLAN</b></p> 													
<p>Date: 07/03/09</p> <p>Drawn: FLT</p> <p>Checked: FLT</p> <hr/> <p>Drawing Description</p> <p style="text-align: center;">REFLECTED CEILING PLAN</p> <hr/> <p>Drawing No.</p> <p style="text-align: center;"><b>A1-2</b></p>													



2 PEPPERWOOD PONTE SANDY, UTAH 84092  
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**KITCHEN REMODEL**  
**UTAH STATE TAX COMMISSION BUILDING**  
 DFCM PROJECT NO. 09134310  
 210 North 1950 West, Salt Lake City, Utah

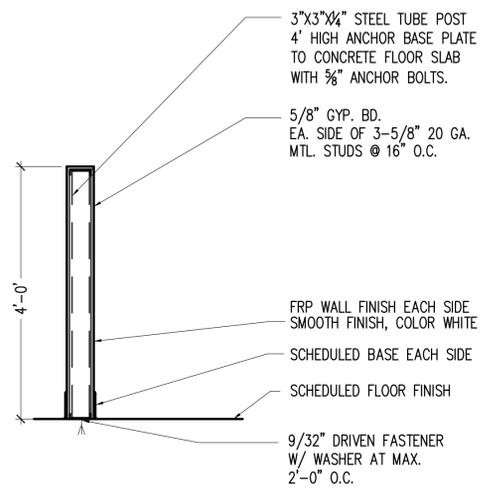
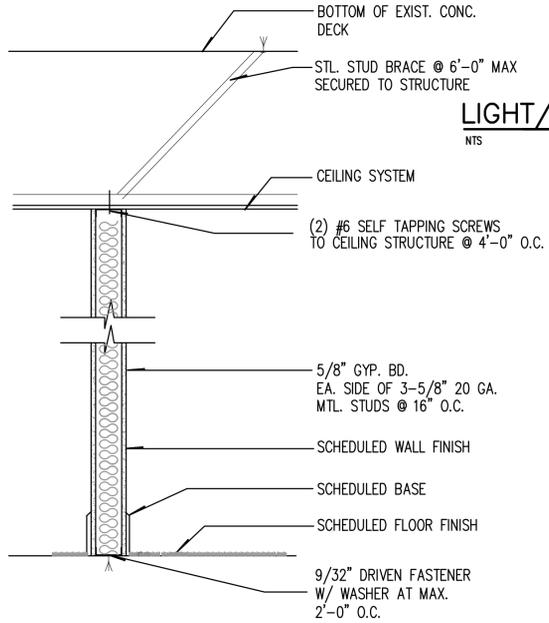


**LIGHT/MECH\_FIXTURE** 3  
NTS A5-1

**HANGER\_ATTACHMENT** 2  
NTS A5-1

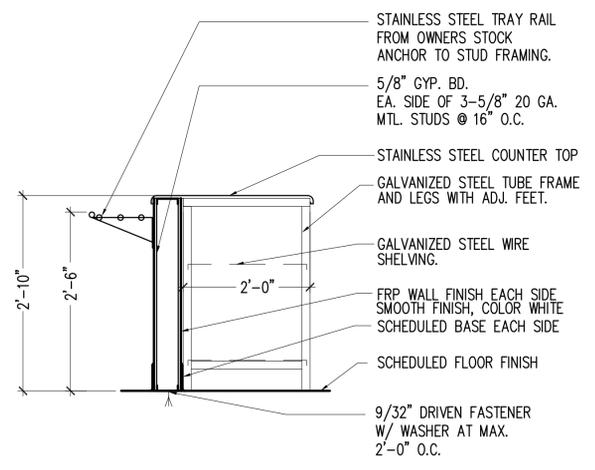
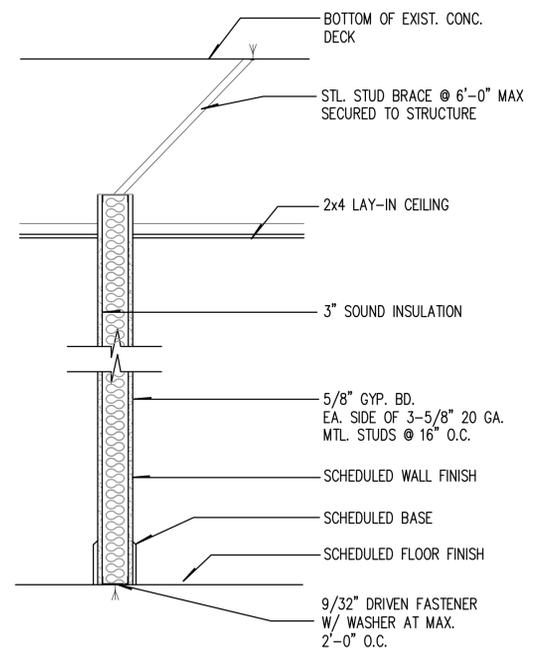
**CEILING\_SUSPENSION&BRACING** 1  
NTS A5-1

- NOTES
- ALL SPLAY WIRES TO BE IN LINE WITH ATTACHED COMPONENT IN 1" OF RUN
  - ALL SPLAY WIRES TO BE TAUT AND TIED BOTH ENDS WITH MINIMUM OF 3 TURNS
  - AREAS SMALLER THAN 1,000 SQ. FT. WITH 4 SIDES EXTENDING TO STRUCTURE NEED NOT BE BRACED @ 12'-0" O.C.
  - COMPRESSIVE STRUTS REQUIRED
  - ALL CEILING MOUNTED LIGHT FIXTURES SHALL BE ATTACHED TO THE SUSPENDED CEILING GRID. IN ADDITION 12 GA. HANGER WIRES SHALL BE ATTACHED TO THE GRID WITHIN 3" OF EACH CORNER OF THE LIGHT HOUSING AND TO THE STRUCTURE ABOVE (THESE WIRES MAY BE SLACK).
  - WIRES SHALL NOT ATTACH TO OR BEND AROUND INTERFERING MATERIAL OR EQUIPMENT NOR SHALL THEY BE CLOSER THAN 6" FROM ANY UN-BRACED HORIZONTAL PIPING OR DUCTWORK. A TRAPEZE OR SIMILAR DEVICE SHALL BE USED WHERE OBSTRUCTIONS OCCUR
  - REFER TO DETAIL 3/A5-1 FOR LIGHT FIXTURE ATTACHMENT
  - REFER TO DETAIL 2/A5-1 FOR HANGER WIRE DECK ATTACHMENT
  - THE SUSPENDED CEILING GRID SYSTEM SHALL BE "HEAVY DUTY" RATED AND SHALL HAVE A MINIMUM OF 3/4" GAP AT UNATTACHED SIDES.
  - PROVIDE EXPANSION JOINTS FOR SUSPENDED GRID CEILING SYSTEM EVERY 2,500 SF ASCE 7



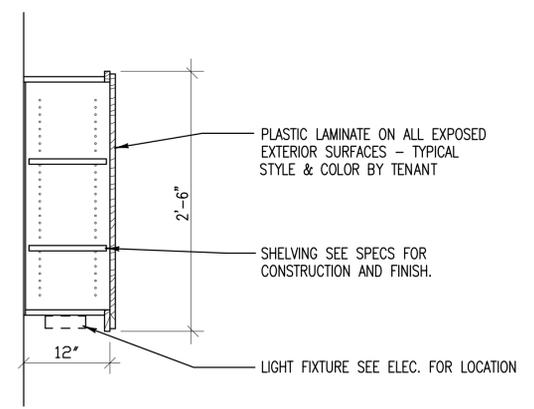
**WALL\_TYPE** 9  
NTS A5-1

**PONY-WALL\_SECTION** 7  
NTS A5-1

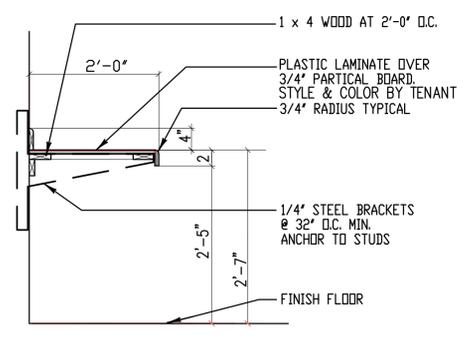


**WALL\_TYPE** 8  
NTS A5-1

**COUNTER\_SECTION** 6  
NTS A5-1



**OFFICE\_UPPER-CAB** 5  
NTS A5-1



**OFFICE-DESK\_SECTION** 4  
NTS A5-1

Seal

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KITCHEN REMODEL  
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Drawn: FLT  
Checked: FLT  
Drawing Description  
DETAILS  
Drawing No.  
A5-1

# FINISH AND FLOOR SCHEDULE

AREA	RM. NO. <small>[000]</small>	ROOM NAME	FLOOR	WALLS, WAINSCOTS, BASES, DOORS												REMARKS				
				NORTH			EAST			SOUTH			WEST				CEILING			
				WALL	WAINSCOT	BASE	WALL	WAINSCOT	BASE	WALL	WAINSCOT	BASE	WALL	WAINSCOT	BASE		TYPE	HEIGHT		
	101	SERVING AREA	EXISTING CERAMIC TILE	EXIST	---	EXIST	---	EXIST	---	FRP-1	---	RB-1	---	EXIST	---	EXIST	---	ACT-1	9'-0"	
	102	KITCHEN AREA	EXISTING CERAMIC TILE	EXIST/S.S. AT HOOD	---	---	---	---	---	FRP-1	---	RB-1	---	EXIST/FRP-1	---	---	---	ACT-1	9'-0"	
	103	OFFICE	EXISTING CERAMIC TILE	PT-1	---	RB-1	---	PT-1	---	PT-1	---	RB-1	---	PT-1	---	---	---	ACT-2	9'-0"	
	104	SCULLERY	EXISTING CERAMIC TILE	EXIST	---	EXIST	---	EXIST	---	EXIST	---	EXIST	---	EXIST	---	---	---	ACT-1	9'-0"	
	105	DRY STORAGE	EXISTING CERAMIC TILE	EXIST	---	EXIST	---	EXIST	---	EXIST	---	EXIST	---	EXIST	---	---	---	ACT-1	9'-0"	

## DOOR SCHEDULE

AREA	NO.	DOOR SIZE			DOOR TYPE	DOOR MAT.	DOOR FINISH	OPENING DETAILS				FRAME		RATING	HRDW. GROUP	REMARKS	
		WIDTH	HEIGHT	THICK.				HEAD	RIGHT JAMB	LEFT JAMB	SILL THRESH.	TYPE	MAT.				
		WIDTH	HEIGHT	THICK.				DRTYPE	DRMATERIAL	DRFINISH	DTL-HEAD	DTL-RJAMB	DTL-LJAMB				DTL-SILL
	101	3'-0"	7'-0"	1 3/4"	D-1	HM	PT-2	1/A7-1	1/A7-1	1/A7-1	---	F-1	HM	PT-2	---	1	PAIR OF DOORS
	102	3'-0"	7'-0"	1 3/4"	EXIST	HM	PT-2	1/A7-1	1/A7-1	1/A7-1	---	EXIST	HM	PT-2	---	2	EXISTING DOOR, FRAME & HARDWARE

## GLASS TYPES

◆ 1/4" THICK CLEAR TEMPERED GLASS

## DOOR HARDWARE SCHEDULE

COORDINATE WITH OWNER FOR KEYING

HARDWARE GROUP 1 (MATCH EXISTING HARDWARE FINISH FIELD VERIFY)					
3	PAIR	BUTTS	BB5000	4.5 X 4.5	626 BOMMER
1	EACH	LOCKSET	L-SERIES 50PD RHO (ADA)	626	SCHLAGE
2	EACH	FLUSH BOLTS	1358-12"	626	QUALITY
2	EACH	CLOSER	4040 (HOLD OPEN ARM)		LCN

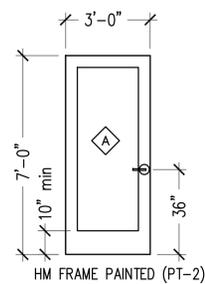
HARDWARE GROUP 2  
EXISTING HARDWARE FROM OWNERS STOCK

## COLOR SCHEDULE

NOTE: COORDINATE ALL COLORS WITH OWNER

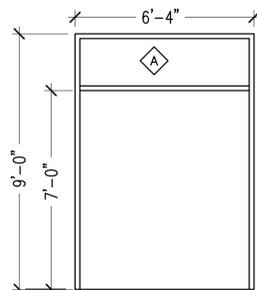
Tag	Material	Manufacture	Color
PT-1:	PAINT	SHERWIN WILLIAMS:	COORDINATE WITH OWNER & TENANT
PT-2:	PAINT DOOR & FRAME	SHERWIN WILLIAMS:	COORDINATE WITH OWNER & TENANT
RB-1:	4" RUBBER BASE	ROPPE	MATCH EXISTING
FRP-1:	GLASS "A" SMOOTH FRP WALL PANEL	STRUCTOGLAS	SMOOTH FINISH, COLOR WHITE

## DOOR TYPES

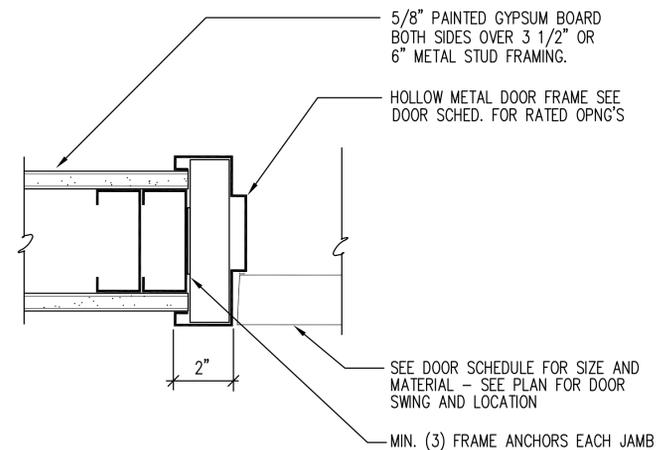


**TYPE D-1**

## FRAME TYPES

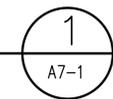


**TYPE F-1**

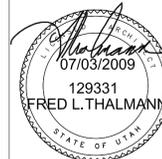


## DOOR\_JAMB&HEAD

NTS



Seal



Revisions:  
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Date: 07/03/09

Drawn: FLT

Checked: FLT

Drawing Description  
FINISH & DOOR  
SCHEDULES

Drawing No.

A7-1

MECHANICAL LEGEND								
SYMBOL	ABR.	DESCRIPTION	SYMBOL	ABR.	DESCRIPTION	SYMBOL	ABR.	DESCRIPTION
GENERAL TERMINOLOGY			AIR SIDE			WET SIDE		
(A2)		DETAIL NUMBER DESIGNATION CORRESPONDING WITH GRID LOCATION			EXISTING AIR DUCT TO BE REMOVED			PUMP
					EXISTING AIR DUCT TO REMAIN			REGULATOR
(MA 1)		MECHANICAL EQUIPMENT DESIGNATION			NEW AIR DUCT			UNION
		EQUIPMENT ITEM DESIGNATION			NEW SPIRAL DUCT			BUTTERFLY VALVE
(D-1 CFM)		REGISTER, GRILL OR DIFFUSER DESIGNATION WITH BALANCING CFM LISTED BELOW			NEW MEDIUM PRESSURE DUCT			GATE VALVE
					BURIED OR UNDER FLOOR DUCT		CBV	CIRCUIT BALANCING VALVE
(R-1)		GRILLE, OR LOUVER DESIGNATION WHERE BALANCING NOT REQUIRE			FLEXIBLE AIR DUCT		BV	BALL VALVE
					LINED DUCT			DIRECTION OF FLOW
(1)		REVISION DESIGNATOR AND NUMBER			VANED ELBOW			ELBOW UP
(1)		KEY NOTE DESIGNATOR AND NUMBER			RADIUS ELBOW			ELBOW DOWN
	POC	POINT OF CONNECTION			FLEXIBLE AIR DUCT CONNECTION			TEE UP
	POR	POINT OF REMOVAL			VOLUME DAMPER			TEE DOWN
GC		GENERAL CONTRACTOR			SUPPLY AIR DIFFUSER			EXISTING PIPING TO BE REMOVED
MC		MECHANICAL CONTRACTOR			RETURN AIR, FRESH AIR, AND TRANSFER AIR			EXISTING PIPING TO REMAIN
ATC		CONTROL CONTRACTOR			CEILING MOUNTED EXHAUST FAN OR EXHAUST GRILLE			NEW PIPING
EC		ELECTRICAL CONTRACTOR			RETURN OR OUTSIDE AIR DUCT UP			PIPE CAP OR PLUG
FPC		FIRE PROTECTION CONTROL			SUPPLY DUCT UP			FLEXIBLE CONNECTION
NIC		NOT IN CONTRACT			EXHAUST AIR INTAKE UP		CW	CULINARY COLD WATER
NTS		NOT TO SCALE			RETURN OR OUTSIDE AIR DUCT DOWN		HW	CULINARY HOT WATER
C		COMMON			SUPPLY DUCT DOWN			
NC		NORMALLY CLOSED			EXHAUST DUCT DOWN			
NO		NORMALLY OPEN			ROUND DUCT UP			
					ROUND DUCT DOWN			
				AP	ACCESS PANEL			
					EXISTING EQUIPMENT TO BE REMOVED			
					EXISTING EQUIPMENT TO REMAIN			
					NEW EQUIPMENT			
	RTU-1	WALL MOUNTED THERMOSTAT MECHANICAL EQUIPMENT CONTROLLED		T-STAT				
	SA	SUPPLY AIR						
	RA	RETURN AIR						
	EA	EXHAUST AIR						
	OA	OUTSIDE AIR						
	MA	MIXED AIR						
	FA	FRESH AIR						
	RF	RELIEF AIR						

**GENERAL NOTES:**

- G-1 MECHANICAL INFORMATION IS NOT LIMITED TO THE MECHANICAL DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR INFORMATION ON ALL OTHER CONSTRUCTION DOCUMENTS INCLUDING DRAWINGS BY OTHER DISCIPLINES AND SPECIFICATIONS.
- A - EACH DRAWING SHEET AND THE SPECIFICATIONS HAVE BEEN PREPARED TO SUPPLEMENT EACH OTHER AND THEY SHALL BE INTERPRETED AS AN INTEGRAL UNIT WITH ITEMS SHOWN AND NOTED ON ONE AND NOT THE OTHER BEING FURNISHED AND INSTALLED AS THOUGH SHOWN AND CALLED OUT IN ALL PLACES. ITEMS IN SPECIFICATIONS OR DRAWINGS LISTED WHICH ARE DIFFERING IN EFFICIENCY OR QUALITY SHALL BE HELD TO THE GREATEST OF: EFFICIENCY, QUALITY OR GOVERNING CODE.
- B - THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE INSTALLATION OF THE SYSTEMS ACCORDING TO THE TRUE INTENT AND MEANING OF THE CONTRACT DOCUMENTS.
- C - THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT WITH PROPER SERVICE ACCESS AND CLEARANCES ACCORDING TO MANUFACTURERS RECOMMENDATIONS. THE CONTRACTOR SHALL REVIEW SUPPLIERS BID PACKAGES FOR COMPLETENESS AND COMPLIANCE TO THE SPECIFICATIONS, SCHEDULES, AND DESIGN INTENT (ALL EQUIPMENT AND METHODS). THE CONTRACTOR SHALL REMOVE AND REINSTALL CORRECTLY AT HIS OWN EXPENSE ANY EQUIPMENT NOT IN COMPLIANCE.
- D - THE CONTRACTOR SHALL CONSULT MANUFACTURERS INSTALLATION INSTRUCTIONS FOR SIZES, METHODS, ACCESSORIES, AND CLEARANCES IN SPACE AVAILABLE PRIOR TO BIDDING PROJECT.
- E - ANYTHING NOT CLEAR OR IN CONFLICT WILL BE EXPLAINED BY MAKING APPLICATION TO THE ENGINEER IN WRITING.
- G-2 ANY AND ALL ALTERATIONS TO THE SYSTEM SHOWN SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO CHANGES FOR APPROVAL. CONTRACTOR SHALL NOT START ANY CHANGES UNTIL NOTIFIED IN WRITING. IF CHANGES ARE MADE PRIOR TO APPROVAL CONTRACTOR SHALL TAKE ALL RESPONSIBILITY FOR THE CHANGES MADE AND ALL COSTS RELATING TO FAILURE OR REPLACEMENT OF ALTERATIONS.
- G-3 CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND LOCATIONS.
- G-4 THE WORKING DRAWINGS ARE DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND, OR ELBOW NECESSARY FOR THE COMPLETE INSTALLATION IN THE SPACE PROVIDED. ALL LOCATIONS FOR MECHANICAL EQUIPMENT SHALL BE FIELD VERIFIED AND COORDINATED WITH ALL DRAWINGS. THE CONTRACTOR SHALL PROVIDE OR COORDINATE WITH THE GENERAL CONTRACTOR PROVISIONS FOR BLOCKOUTS OR CORE DRILLS THROUGH STRUCTURE.
- G-5 THE INSTRUCTION TO "PROVIDE" ALSO INCLUDES INSTALLATION.
- G-6 MECHANICAL CONTRACTOR SHALL PROVIDE AND INSTALL SMOKE AND FIRE DAMPERS AS REQUIRED BY LOCAL CODES AND AUTHORITIES.
- G-7 SHEET METAL DUCT SIZES SHOWN ON DRAWINGS ARE FREE AREA DIMENSIONS.
- G-8 PROVIDE AND INSTALL BALANCING DAMPERS IN ALL SUPPLY AND EXHAUST AIR BRANCH DUCTS. BALANCE TO CFM SHOWN ON PLAN.
- G-9 SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF DIFFUSERS AND GRILLES.
- G-10 PROVIDE TURNING VANES IN ALL ELBOWS OF RECTANGULAR DUCT.
- G-11 THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY IN HANDLING AND DISPOSING OF REFRIGERANTS, OILS, ETC. ALL SUCH MATERIALS SHALL BE HANDLED, DISPOSED, AND USED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS.
- G-12 THE MECHANICAL CONTRACTOR SHALL VERIFY MOTOR VOLTAGES WITH THE ELECTRICAL DRAWING BEFORE ORDERING MOTORIZED EQUIPMENT AND CONTROLS.
- G-13 C.F.M. LISTED IS ACTUAL AIR.
- G-14 SUPPLIERS SHALL REVIEW ALL DRAWINGS AND THE SPECIFICATIONS PRIOR TO SUBMITTING PRICES TO THE CONTRACTOR. ALL QUESTIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO BIDDING.
- G-15 CONTRACTOR SHALL THOROUGHLY REVIEW AND SIGN SUBMITTALS FOR COMPLETENESS AND COMPLIANCE TO THE SPECIFICATIONS PRIOR TO ENGINEERS REVIEW. SUPPLIERS SHALL HIGHLIGHT OR MARK ALL INFORMATION REQUIRED TO SHOW COMPLIANCE TO THE SPECIFICATIONS, OR SCHEDULES SHALL BE CLEARLY NOTED AND EXPLAINED. SUBMITTAL REVIEW AND ACCEPTANCE IS FOR DESIGN CONCEPT ONLY, AND DOES NOT AT ANY TIME RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO MEET SPECIFICATIONS, CAPACITIES, OR DESIGN INTENT.
- G-16 ALL MECHANICAL SHALL BE INSTALLED AND CONFORM TO THE 2006 EDITION OF THE IMC WITH UTAH ANNOTATIONS AND LOCAL AUTHORITY REQUIREMENTS.
- G-17 THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE DRAINING DOWN AND RE-FILLING OF ALL SYSTEMS NECESSARY TO COMPLETE THE WORK OUTLINED BY THIS PROJECT. THIS INCLUDES PROVIDING THE REQUIRED CHEMICAL TREATMENT WHEN RE-FILLING THE SYSTEM.
- G-18 THIS CONTRACTOR SHALL CONTRACT WITH A DESIGN BUILD ELECTRICAL CONTRACTOR FOR THE DESIGN AND CONSTRUCTION OF THE ELECTRICAL PORTION OF THIS PROJECT. ELECTRICAL INSTALLATION AND DESIGN SHALL BE PER 2008 NEC.
- G-19 ALL PIPING, MATERIALS, ETC. SHALL BE NEW AND DOMESTIC MADE UNLESS SPECIFICALLY AUTHORIZED IN WRITING PRIOR TO BID.



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 EMAIL: excellence@whw-engineering.com

Revisions:  
 No. Date Description



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**KITCHEN REMODEL  
 UTAH STATE TAX COMMISSION BUILDING  
 DFCM PROJECT NO. 091B4510  
 210 North 1950 West, Salt Lake City, Utah**

Date: 07/05/09

Drawn: STAFF

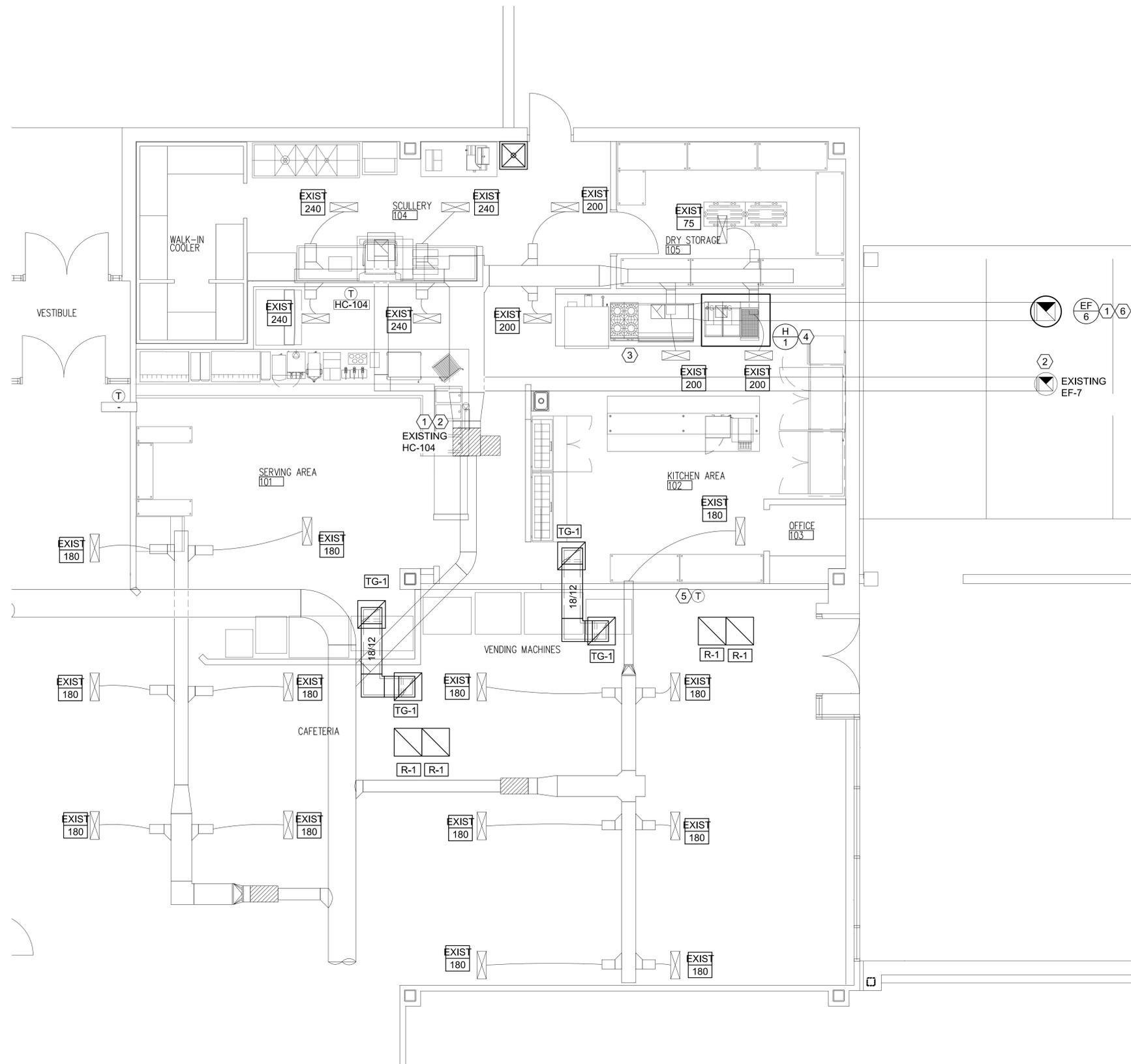
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Mechanical General

Notes and Legend

**MG001**





**MECHANICAL PLAN**

SCALE: 1/4"=1'-0"

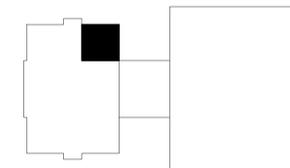
**SHEET NOTES:**

- ① INTERLOCK FAN AND HC-104. HC-104 TO RUN AT 100% FLOW AT ALL TIMES WHEN FAN IS IN OPERATION.
- ② EXISTING MECHANICAL EQUIPMENT TO REMAIN.
- ③ RECONFIGURE FIRE PROTECTION SYSTEM TO PROVIDE PROPER COVERAGE AND CAPACITY FOR NEW EQUIPMENT LAYOUT IN NEW AND EXISTING HOOD.
- ④ CONNECT NEW HOOD TO EXISTING 16/16 DUCT IN RATED CHASE.
- ⑤ RELOCATE EXISTING THERMOSTAT TO THIS APPROXIMATE LOCATION.
- ⑥ REPLACE EXISTING GREASE HOOD FAN. PROVIDE NEW FAN, AND CURB. RE-CONNECT TO EXISTING DUCTWORK. COORDINATE WITH G.C. TO CUT, PATCH, AND REPAIR ROOF AND GREASE DUCT SHAFT AS NECESSARY.

**GENERAL NOTES:**

1. DIFFUSERS SHALL BE CLEANED, RELOCATED, AND RE-BALANCED AS SHOWN.
2. ALL NEW RETURN GRILLES SHALL BE PROVIDED WITH NEW SOUND BOOTS.
3. FIELD VERIFY ALL EXISTING CONDITIONS, LOCATIONS, DUCT SIZES ETC. PRIOR TO ORDERING OR FABRICATING.
4. RELOCATE AND RECONFIGURE FIRE SPRINKLER HEADS AS NECESSARY PER FIRE SPRINKLER PERFORMANCE SPECIFICATION. FIELD VERIFY EXACT LOCATION AND SIZE OF FIRE SPRINKLER HEADS AND PIPING. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR NEW CEILING LAYOUT.

**KEY PLAN**

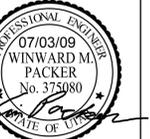


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Revisions:  
 No. Date Description



**THALWAM ARCHITECT**  
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Mechanical Plan

**ME101**

REGISTER, LOUVER & GRILLE SCHEDULE							
SYMBOL	TYPE	SERVICE	MAX CFM	NOMINAL SIZE	THROAT SIZE	CEILING TYPE	SCHEDULE NOTES
R-1	CEILING	RETURN	1200	22/22	22/22	LAY-IN	1,2,3,4
TG-1	CEILING	RETURN	1200	22/22	22/22	LAY-IN	1,2,3,4

**REGISTER, LOUVER AND DIFFUSER SCHEDULE NOTES:**

1. MAXIMUM NC = 25 @ MAXIMUM CFM NOTED.
2. SHALL BE PRICE 535 OR EQUAL BY OTHER APPROVED MANUFACTURERS.
3. SEE SPECIFICATIONS FOR APPROVED MANUFACTURERS.
4. FINISH SHALL BE STANDARD WHITE.
5. FINISH TO BE SPECIFIED BY ARCH

KITCHEN GREASE HOOD EXHAUST FAN SCHEDULE											
SYMBOL	MANUFACTURER & MODEL No.	SERVES	TYPE	C.F.M.	STATIC PRESSURE IN. WG.	MAX NOISE SONES	MOTOR			OPER. WT. (LBS)	SCHEDULE NOTES
							V - Ø - Hz	HP	RPM		
EF-6	COOK VCR-XP-300	KITCHEN HOODS	TYPE I	4300	2.5	30	460/3/60	3	1725	450	1,2

1. PROVIDE WITH GREASE BOX.
2. PROVIDE WITH VENTED ROOF CURB.

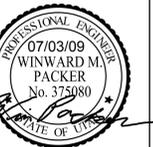


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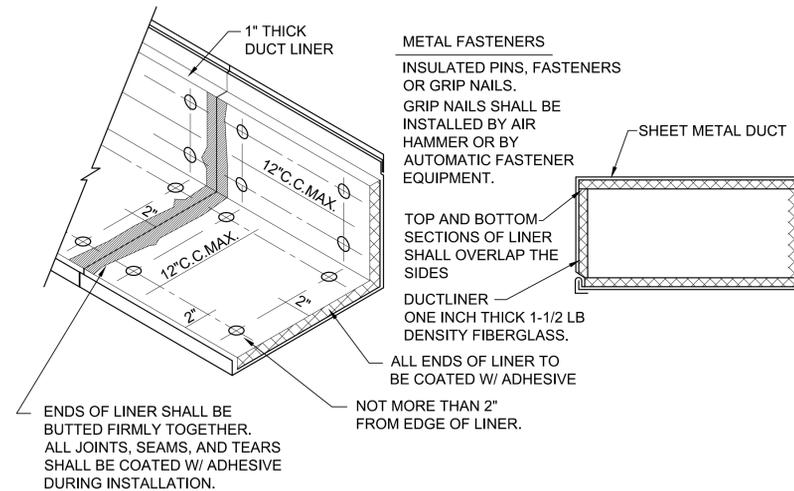
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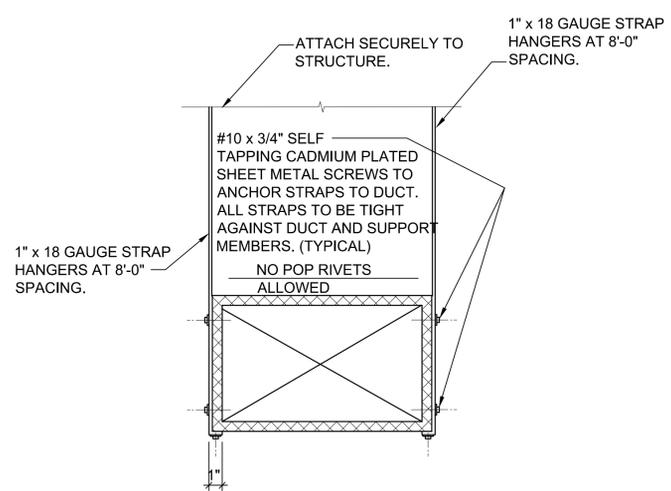
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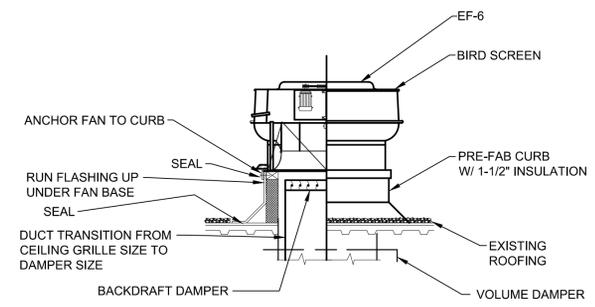
**KITCHEN REMODEL  
 UTAH STATE TAX COMMISSION BUILDING  
 DFCM PROJECT NO. 091B4510  
 210 North 1950 West, Salt Lake City, Utah**



**1 DUCT LINER DETAIL**  
 SCALE: NONE



**3 DUCT STRAP HANGER DETAIL**  
 SCALE: NONE



**2 ROOF MOUNTED EXHAUST FAN DETAIL**  
 SCALE: NONE

Date: 07/05/09

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Mechanical Details

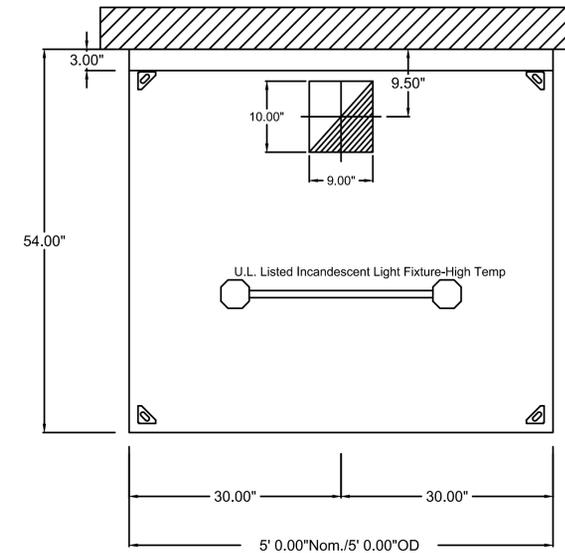
**ME501**

**HOOD INFORMATION**

HOOD NO.	TAG	MODEL	LENGTH	MAX. COOKING TEMP.	EXHAUST PLENUM RISER(S)				HOOD CONSTRUCTION	HOOD CONFIG.		
					TOTAL EXH. CFM	WIDTH	LENG.	CFM		S.P.	END TO END	ROW
1	H 1	CAPTIVE AIRE 5424 ND-2	5' 0.00"	600 Deg.	1000	10"	9"	1000	-0.319"	430 SS Where Exposed	ALONE	ALONE

**HOOD INFORMATION**

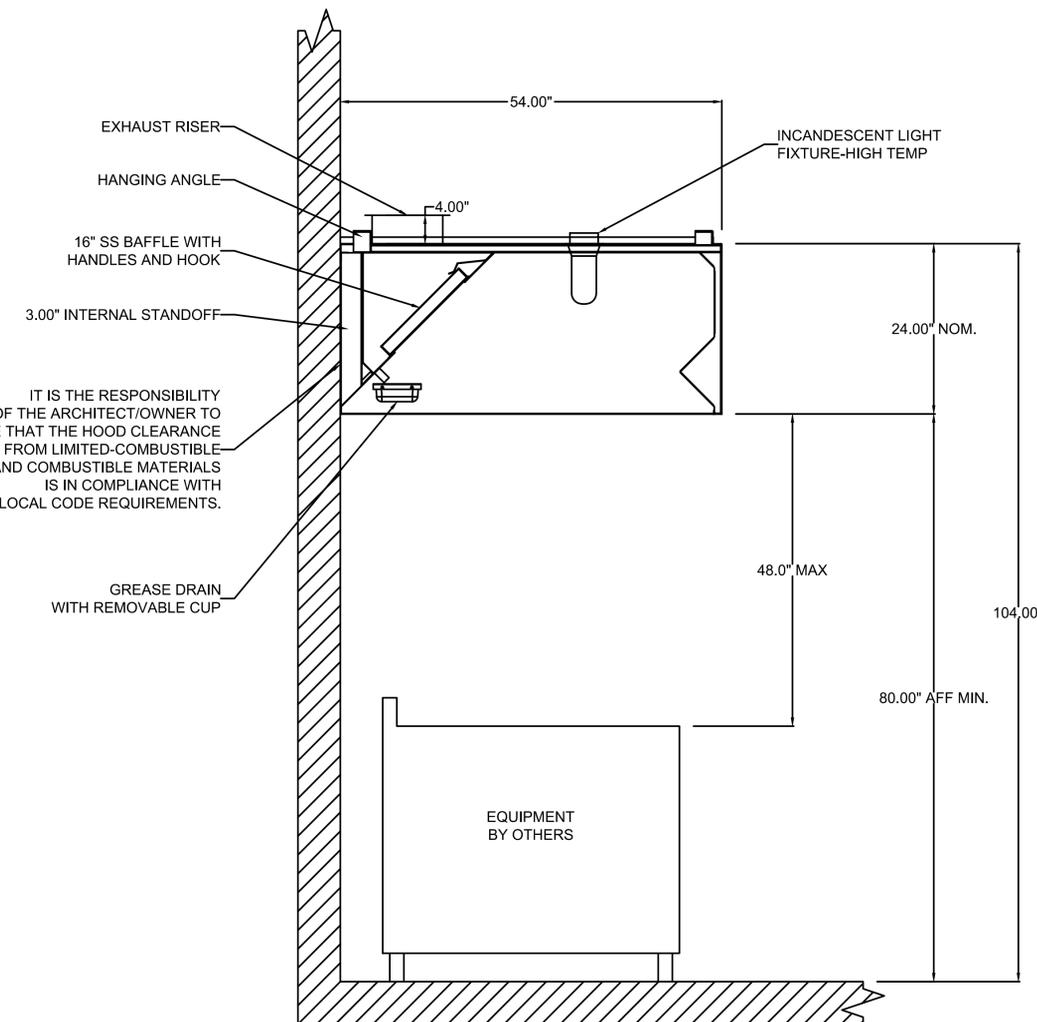
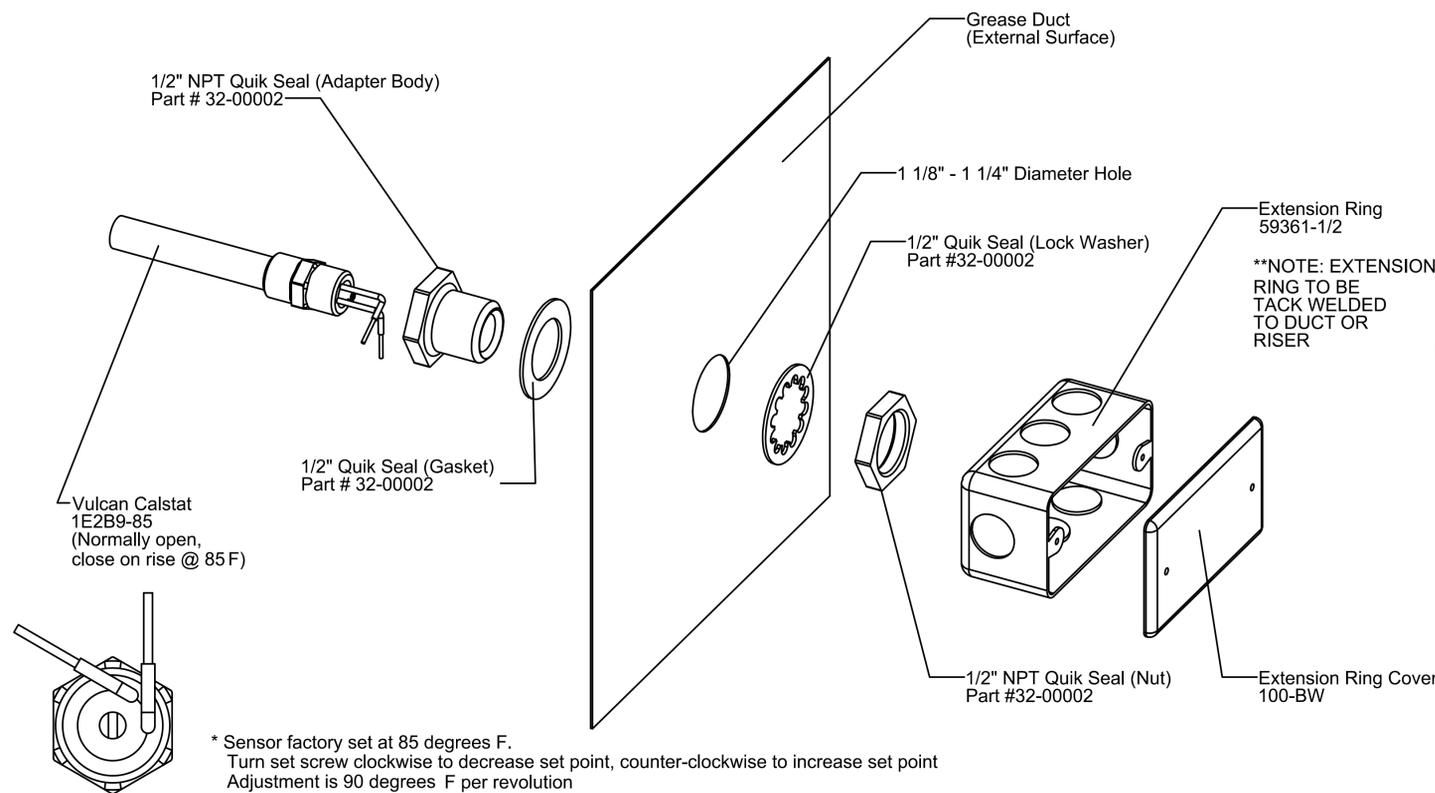
HOOD NO.	FILTER(S)				LIGHT(S)			HOOD WEIGHT
	TYPE	QTY.	HEIGHT	LENGTH	QTY.	TYPE	WIRE GUARD	
1	SS Baffle with Handles	3	16"	20"	2	Incandescent Light Fixt	NO	241 LBS



**PLAN VIEW - Hood #1 (19.1)**  
5' 0.00" LONG 5424ND-2

**FP SENSOR INSTALLATION**

**NOTES:** One Sensor per Riser  
 : Multiple Sensors On Same Fan Switch Wired in Parallel  
 : Sensor may be installed on inside or outside of quickseal. When installed in riser, install as shown for sensor access from hood. when installed in duct, install on opposite side of quickseal, or as shown with access door for cleanability.



**SECTION VIEW - MODEL 5424ND-2**



Revisions:  
 No. Date Description



**KITCHEN REMODEL**  
**UTAH STATE TAX COMMISSION BUILDING**  
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Date: 07/05/09  
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HOOD SCHEDULE  
 AND DETAILS

**ME502**

PLUMBING LEGEND			
MEANING	SYMBOL OR ABBREVIATION	MEANING	SYMBOL OR ABBREVIATION
HOT WATER LINE	—————	WALL CLEANOUT	WCO
COLD WATER LINE	—————	CLEANOUT	CO
HOT WATER RECIRCULATING LINE	—————	CLEANOUT TO GRADE	COTG
VENT LINE	—————	FLOOR CLEANOUT	FCO
WASTE LINE	-----	BALL VALVE	⊕
GAS LINE	—————	UNION	— — —
VENT THRU ROOF	VTR	CONNECTION TO EXISTING PIPING	⊕
UNDER FLOOR	UF	REGULATOR	Ⓜ
SANITARY SEWER	--- SS ---	SOFT WATER	SW
PRIMARY ROOF DRAIN (PRD)	—— PD ——	SECONDARY ROOF DRAIN (SRD)	—— SD ——

**PLUMBING GENERAL NOTES:**

- [G-1]** ALL PLUMBING SHALL BE INSTALLED AND CONFORM TO THE 2006 EDITION OF THE INTERNATIONAL PLUMBING CODE (IPC) WITH UTAH ANNOTATIONS AND LOCAL AUTHORITY REQUIREMENTS.
- [G-2]** ALL PIPING MATERIALS SHALL MEET ALL REQUIREMENTS OF IPC AND LOCAL AUTHORITY. PLASTIC PIPING SHALL BE ALLOWED ONLY WHERE ALLOWED BY CODE. PLASTIC PIPING SHALL NOT BE ROUTED THROUGH RETURN AIR PLENUMS OR OTHER AREAS PROHIBITED BY THE IMC, IPC OR NFPA CODES OR BY LOCAL AUTHORITY
- [G-3]** GAS PIPING INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH GAS COMPANY REGULATIONS, NFPA CODE REQUIREMENTS, AND LOCAL AUTHORITY.
- [G-4]** ALL MATERIALS SHALL BE NEW AND SHALL BE DOMESTIC MADE UNLESS SPECIFICALLY APPROVED OTHERWISE IN WRITING BY ARCHITECT OR OWNER.
- [G-5]** PROVIDE VACUUM BREAKERS AND BACK FLOW PREVENTERS WHERE REQUIRED BY CODE OR WHERE THERE MAY BE ANY POSSIBLE CHANGE FOR CROSS CONTAMINATION. PREVENTERS SHALL BE INSTALLED IN ACCORDANCE WITH UTAH CODE.
- [G-6]** ALL PLUMBING INFORMATION IS NOT LIMITED TO THE PLUMBING DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR INFORMATION ON ALL OTHER CONSTRUCTION DOCUMENTS INCLUDING SPECIFICATIONS, ARCHITECTURAL DRAWING, STRUCTURAL DRAWINGS, MECHANICAL DRAWINGS, AND ELECTRICAL DRAWINGS.
- [G-7]** THE WORKING DRAWINGS ARE DIAGRAMMATIC. BECAUSE OF THE SMALL SCALE OF THE DRAWING, THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW NECESSARY FOR THE COMPLETE INSTALLATION IN THE SPACE PROVIDED. ALL PIPING SHALL BE CHECKED AND COORDINATED WITH THE SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
- [G-8]** COORDINATE ALL PIPING AND PLUMBING EQUIPMENT WITH ALL OTHER TRADES AND/OR CONTRACTORS PRIOR TO INSTALLATION.
- [G-9]** ANY AND ALL ALTERATIONS TO THE SYSTEM SHOWN SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR AND ARCHITECT/ENGINEER SHALL BE NOTIFIED IN WRITING PRIOR TO CHANGES.
- [G-10]** GAS LINE FITTINGS SHALL BE STANDARD WELD FITTINGS WITH TAPERED REDUCERS. DO NOT USE VALVES, UNIONS, OR AUTO CONTROLS IN GAS LINES ROUTED IN INACCESSIBLE CONCEALED SPACES.
- [G-11]** ALL WATER SYSTEMS SHALL MEET THE REQUIREMENTS OF ANS/NSF STANDARD 61 SECTION 9 (1998), CONCERNING METAL CONTAMINANTS IN THE WATER SYSTEM.
- [G-12]** WATER PIPING SHALL NOT BE ROUTED IN OUTSIDE WALLS OR ON EXTERIOR SIDE OF BUILDING INSULATION ENVELOPE.
- [G-13]** WATER HAMMER ARRESTORS SHALL BE INSTALLED IN ALL WATER LINES WITH QUICK OPEN OR QUICK CLOSE VALVES.

**WATER HAMMER ARRESTOR SCHEDULE:**

- TYPE A 1-11 FIXTURE UNITS
- TYPE B 12-32 FIXTURE UNITS
- TYPE C 33-60 FIXTURE UNITS
- TYPE D 61-113 FIXTURE UNITS



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Revisions:  
 No. Date Description



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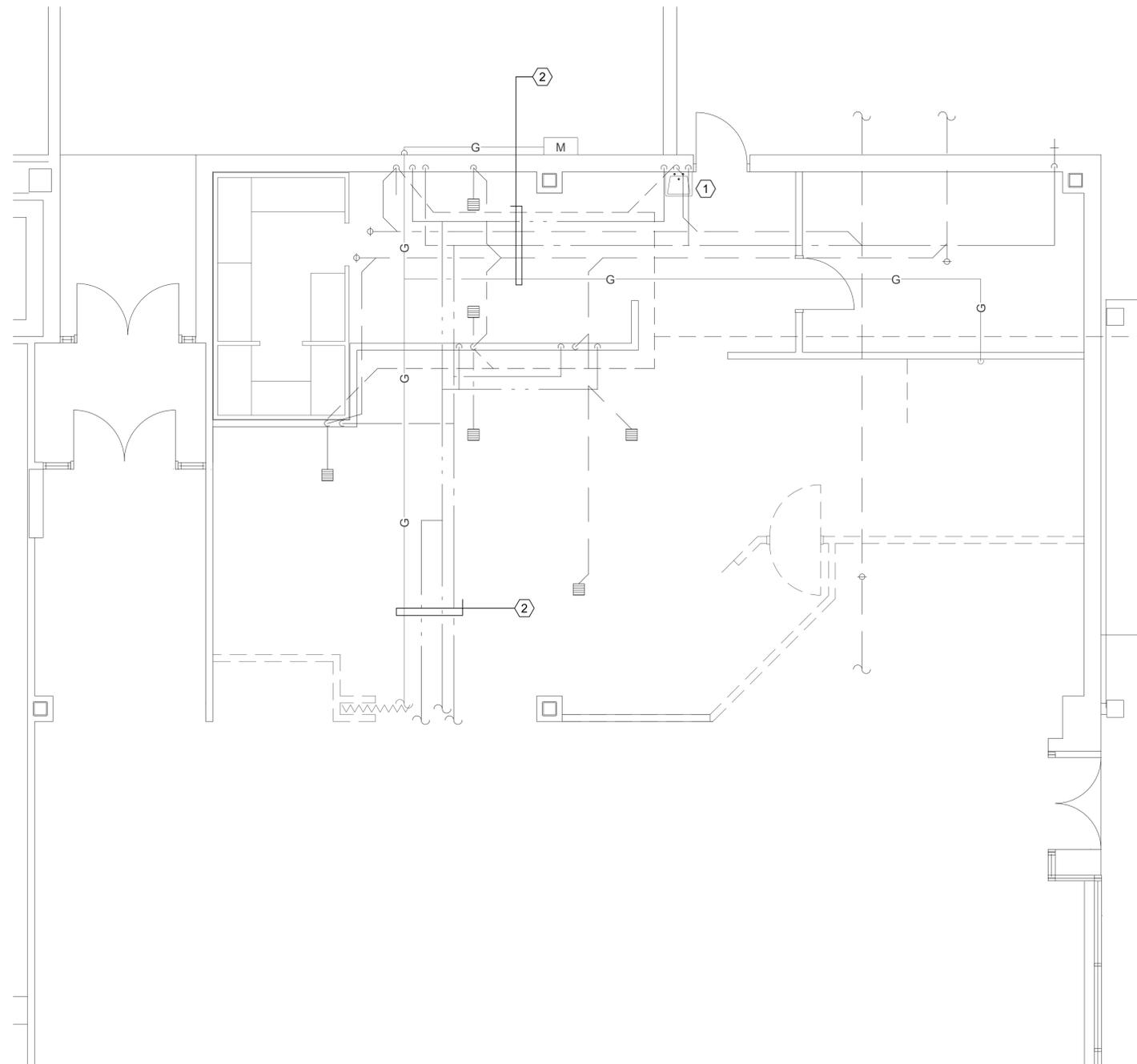


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 DFCM PROJECT NO. 09134510  
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Date: 07/05/09  
 Drawn: STAFF  
 Checked: WP

Plumbing General  
 Notes and Legend

**PG001**



**PLUMBING DEMOLITION PLAN**

SCALE: 1/4"=1'-0"

**SHEET NOTES:**

- ① EXISTING HAND SINK SHALL BE RELOCATED. SEE PE101 FOR NEW LOCATION.
- ② EXISTING DOMESTIC WATER, SANITARY SEWER, AND GAS PIPING SHALL REMAIN.



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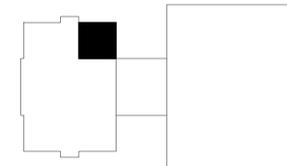


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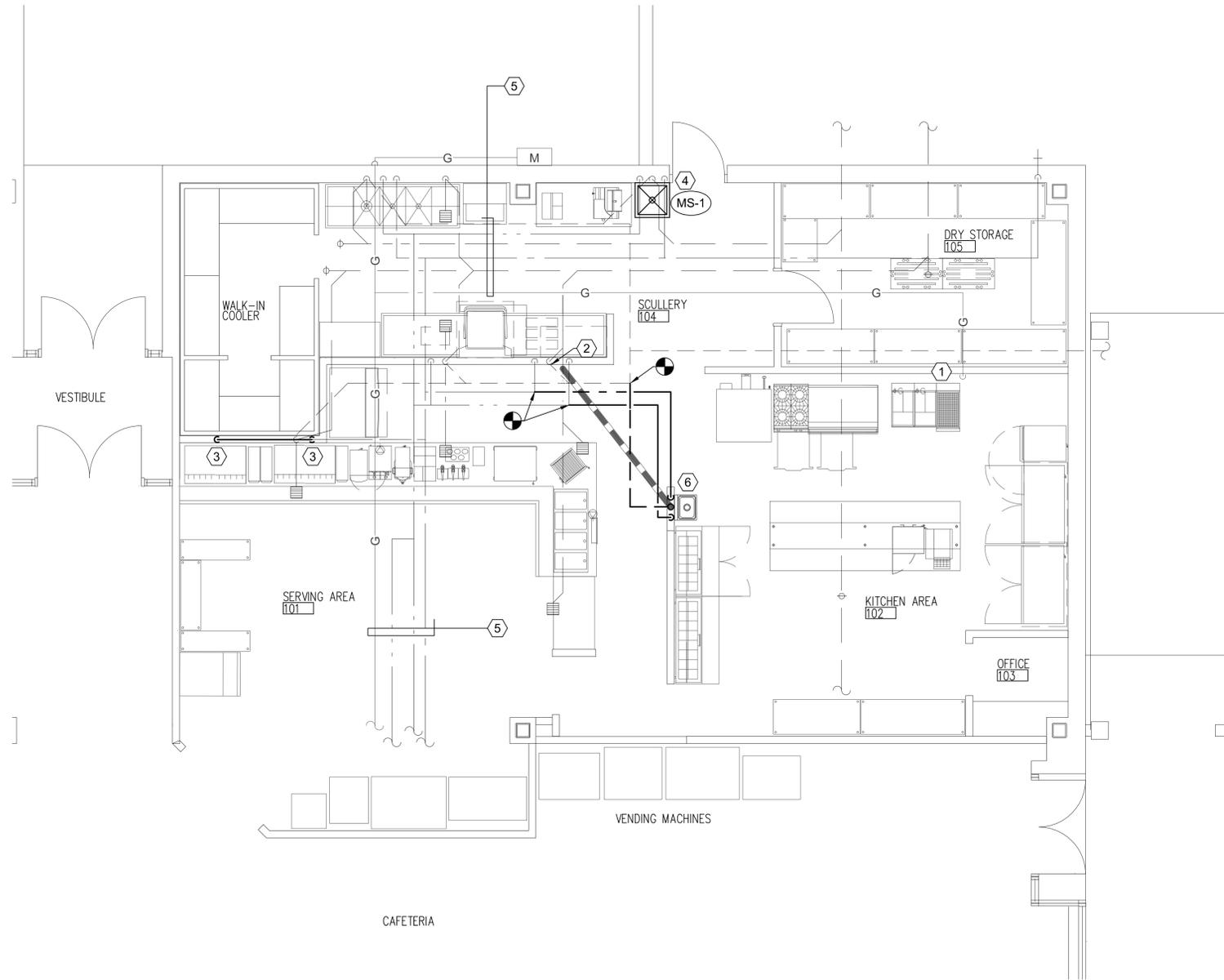
**KEY PLAN**



Date: 07/05/09  
 Drawn: STAFF  
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Plumbing Demolition

**PD101**



**PLUMBING PLAN**

SCALE: 1/4"=1'-0"

**SHEET NOTES:**

- ① EXTEND 4 OZ. GAS LINE THAT SERVED OLD FRYERS (90 MBH) TO NEW HOT PLATES (60 MBH). PROVIDE WITH SHUT-OFF AND THREADED CONNECTION.
- ② TIE WASTE LINE FROM HAND SINK INTO EXISTING WASTE LINE AT THIS APPROXIMATE LOCATION. RUN WASTE PIPE IN SAW CUT PORTION OF FLOOR, COORDINATE WITH ARCHITECTURAL PLANS.
- ③ PROVIDE 1/2" CW LINE TO WATER COOLED ICE MAKERS.
- ④ EXTEND PIPING AS NECESSARY FROM EXISTING HAND SINK TO FLOOR MOUNTED MOP SINK.
- ⑤ EXISTING DOMESTIC WATER, SANITARY SEWER, AND GAS PIPING SHALL REMAIN.
- ⑥ EXISTING HAND SINK AND FAUCET SHALL BE RELOCATED AND RE-INSTALLED AT THIS APPROXIMATE LOCATION.



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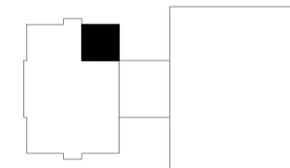


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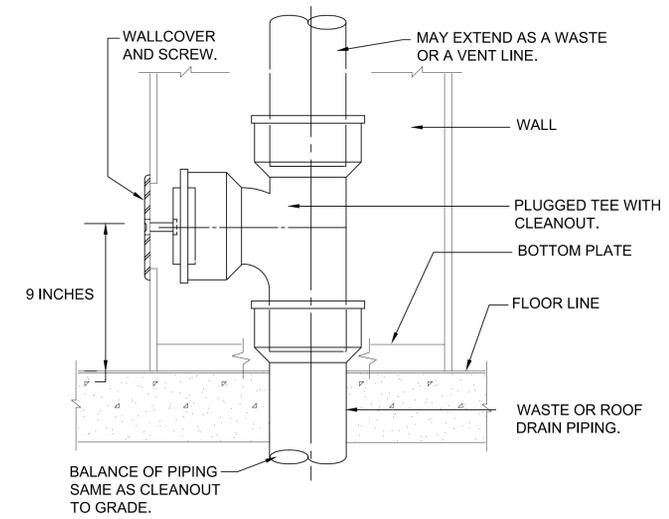
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Plumbing Plan

**PE101**

PLUMBING FIXTURE SCHEDULE							
SYMBOL	FIXTURE	INDIVIDUAL LINE SIZES					REMARKS
		TRAP	WASTE	VENT	COLD WATER	HOT WATER	
(MS-1)	MOP SINK	3"	3"	2"	3/4"	3/4"	FLOOR MOUNTED, PROVIDE WITH SPLASH GUARD



**A** WALL CLEANOUT DETAIL  
SCALE: NONE



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Plumbing Details  
and Schedules

**PE501**

## SYMBOL LIST

	EXIT LIGHT
	RECESSED FLOURESCENT LIGHT FIXTURE
	RECESSED FLOURESCENT LIGHT FIXTURE ON EMERGENCY
	SINGLE POLE SWITCH
	3 - WAY SWITCH
	OCCUPANCY SENSOR, CEILING MOUNT
	OCCUPANCY SENSOR, WALL MOUNT
	DUPLEX RECEPTACLE
	DUPLEX RECEPTACLE ABOVE COUNTER
	FOUR PLEX RECEPTACLE
	FOUR PLEX RECEPTACLE ABOVE COUNTER
	DUPLEX RECEPTACLE, FLUSH CEILING
	SPECIAL OUTLET TO MATCH EQUIPMENT PLUG
	SPECIAL OUTLET WITH NEMA CONFIGURATION
	EQUIPMENT CONNECTION
	JUNCTION BOX, FLUSH FLOOR MOUNTED
	EXISTING SURFACE ELECTRICAL PANELBOARD
	COMBINATION STARTER
	FUSED DISCONNECT SWITCH
	MOTOR CONNECTION
	DATA OUTLET: # INDICATES QTY.; NO DESIGNATION =(2) DATA OUTLET
	TELEPHONE OUTLET - ABOVE COUNTER: # INDICATES QTY.; NO DESIGNATION =(1) TELEPHONE OUTLET
	COMMUNICATIONS OUTLET: D=DATA, P=TELEPHONE, F=FIBER, # INDICATES QTY. NO DESIGNATION=(2) DATA OUTLET, (1) TELEPHONE OUTLET
	19" TELECOM EQUIPMENT RACK
	FIRE ALARM VISUAL SIGNAL WITH HORN
	FIRE ALARM CALL STATION
	FIRE ALARM VISUAL SIGNAL
	FIRE ALARM CONTROL MODULE
	FIRE ALARM MONITOR MODULE
	PHOTO ELECTRIC SMOKE DETECTOR
	DRAWING NOTE DESIGNATION
	LIGHT FIXTURE DESIGNATION
	CONDUIT CONCEALED IN WALLS, CEILING OR FLOOR
	CONDUIT CONCEALED IN SLAB, UNDERGROUND OR UNDERFLOOR
	EXISTING CONDUIT
	GROUND WIRE
	ISOLATED GROUND CONDUCTOR
	EQUIPMENT GROUND CONDUCTOR
	PHASE CONDUCTOR
	NEUTRAL CONDUCTOR
	PHASE CONDUCTOR NEUTRAL CONDUCTOR PROVIDE GREEN GROUND WIRE SIZED PER NEC IN ALL RACEWAYS
	MECHANICAL EQUIPMENT DESIGNATION
	KITCHEN EQUIPMENT DESIGNATION

## ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AIC	AMP INTERRUPTING CURRENT (SYMMETRICAL)
C	CONDUIT
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED
CKT	CIRCUIT
CO	CONDUIT ONLY
CU	COPPER
EM	EMERGENCY
(E)	EXISTING
(F)	FUTURE
FA	FIRE ALARM
FLA	FULL LOAD AMPS
GFI	GROUND FAULT INTERRUPTER
GRD	GROUND
LTG	LIGHTING
MLO	MAIN LUGS ONLY
(N)	NEW
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NTS	NOT TO SCALE
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED OWNER INSTALLED
PNL	PANEL
(R)	RELOCATE
ST	SHUNT TRIP
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
(X)	DEMOLISH/DELETE
XFMR	TRANSFORMER

## DRAWING INDEX

EG100	SYMBOLS, ABBREVIATIONS AND DRAWING INDEX
ED101	ELECTRICAL DEMOLITION PLANS
EP101	ELECTRICAL PLANS
EX101	ELECTRICAL SCHEDULES
EX102	ELECTRICAL DETAILS

Seal



Revisions:  
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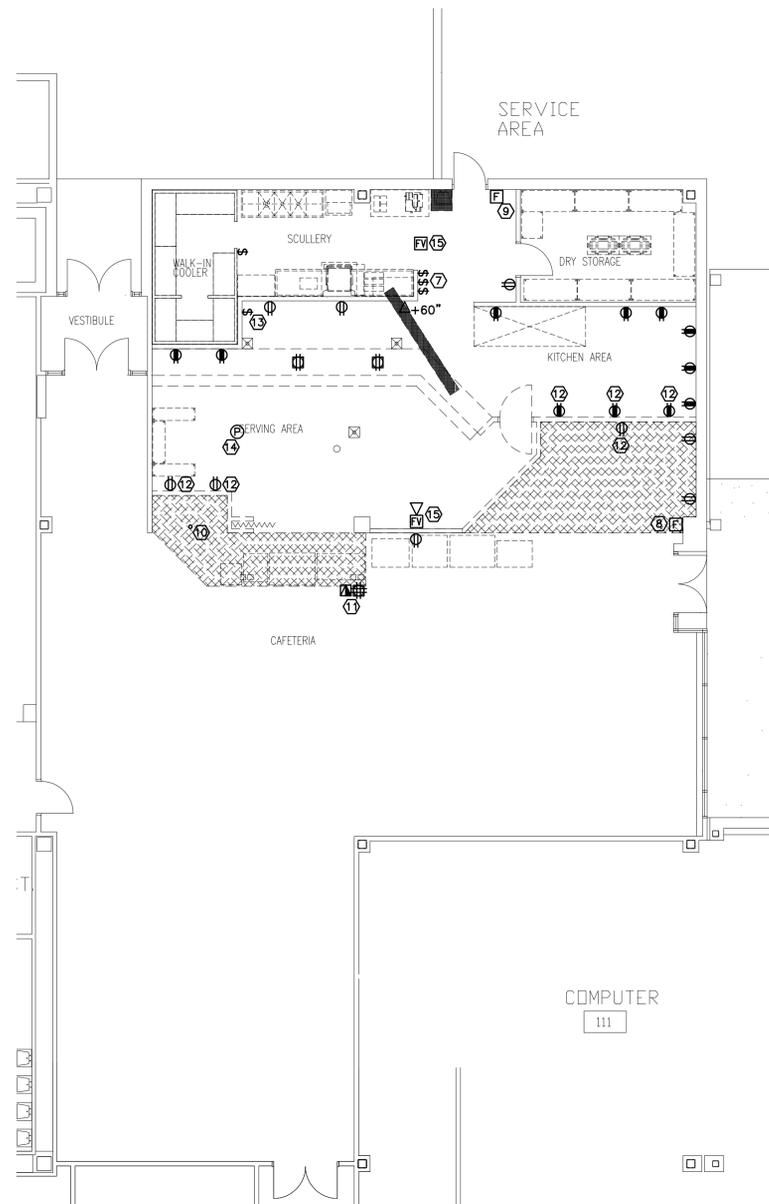
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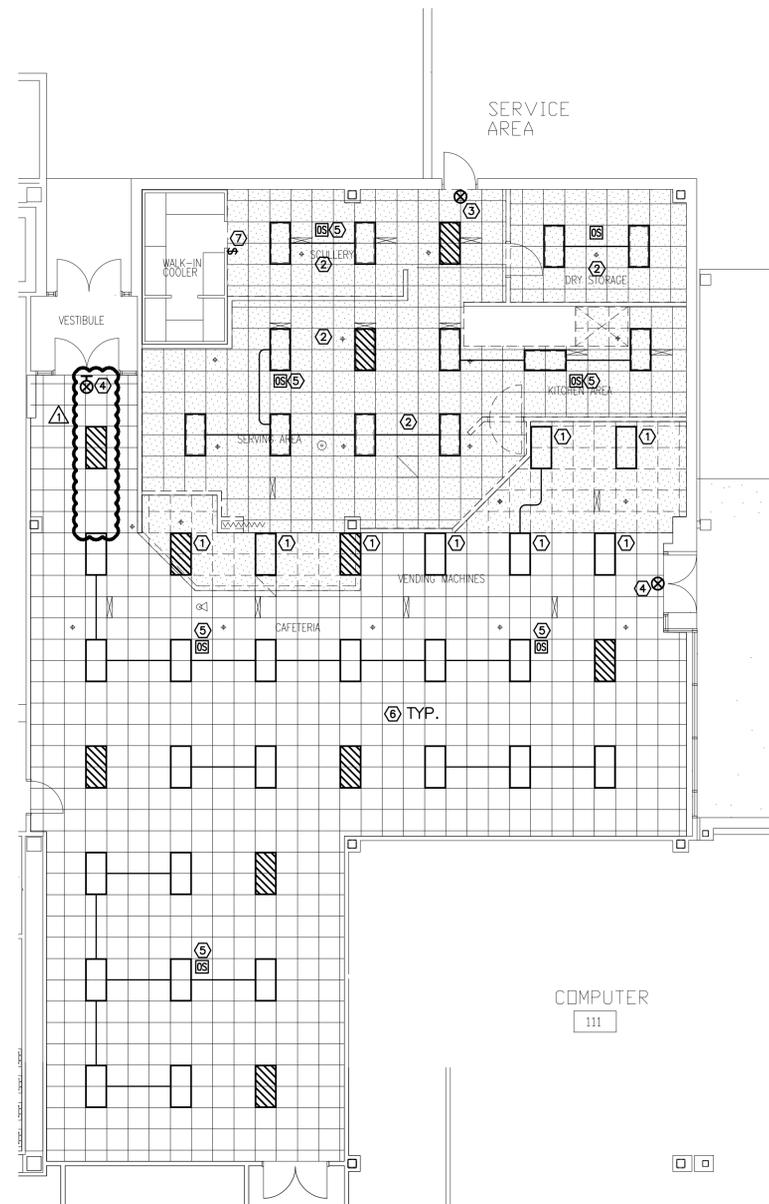
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EG100

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 Contact: Lance Mackie  
 Project #: 59027.00



**1 ELECTRICAL DEMOLITION PLAN**  
 ED101 SCALE: 1/8"=1'-0" 



**2 LIGHTING DEMOLITION PLAN**  
 ED101 SCALE: 1/8"=1'-0" 

**KEYED NOTES - SHEET ED101**

1. REMOVE LIGHT FIXTURE AND WIRING BACK TO NEAREST REMAINING LIGHT FIXTURE. RETURN FIXTURES TO OWNER FOR SALVAGE.
2. REMOVE LIGHT FIXTURES AND RETURN TO OWNER FOR SALVAGE. MAINTAIN EXISTING CIRCUIT AND LIGHTING CONTROL FOR NEW LIGHT FIXTURES. REFER TO LIGHTING PLAN ON EP101 FOR NEW LIGHT FIXTURE LAYOUT.
3. EXISTING TRITIUM EXIT SIGN TO BE REMOVED AND STORED IN A SAFE, DRY PLACE. EXIT SIGN SHALL BE RE-INSTALLED IN SAME LOCATION AFTER NEW CEILING IS INSTALLED.
4. EXISTING TRITIUM EXIT SIGN TO REMAIN.
5. EXISTING OCCUPANCY SENSOR TO REMAIN. MAINTAIN ALL EXISTING WIRING AND CONNECTIONS FOR FUTURE LIGHTING CONTROL.
6. EXISTING LIGHT FIXTURES AND WIRING TO REMAIN.
7. EXISTING LIGHT SWITCHES TO REMAIN.
8. EXISTING FIRE ALARM PULL STATION TO BE RELOCATED. REFER TO NEW POWER PLAN ON EP101 FOR NEW LOCATION.
9. EXISTING FIRE ALARM PULL STATION TO REMAIN.
10. EXISTING FIRE SPRINKLER HEAD TO BE RELOCATED AND EXTENDED DOWN TO NEW CAFE CEILING HEIGHT. REFER TO NEW POWER PLAN ON EP101 FOR NEW LOCATION.
11. EXISTING POWER AND DATA FLOOR BOXES SHALL BE REMOVED AND DISCARDED. MAINTAIN POWER CIRCUIT FOR CONVENIENCE OUTLETS IN NEW WALL WHICH WILL BE LOCATED DIRECTLY OVER EXISTING BOXES.
12. EXISTING CONVENIENCE OUTLET TO BE REMOVED AND DISCARDED. REUSE EXISTING CIRCUIT FOR CONVENIENCE OUTLETS IN NEW WALLS.
13. EXISTING 208V SWITCH FOR ICE MACHINE TO REMAIN. MAINTAIN ALL CIRCUITING FOR EXISTING ICE MACHINE WHICH WILL REMAIN.
14. EXISTING SMOKE DETECTOR TO BE REMOVED AND STORED IN A SAFE, DRY PLACE. DETECTOR SHALL BE RE-INSTALLED IN LOCATION SHOWN ON EP101 AFTER NEW CEILING IS INSTALLED.
15. EXISTING FIRE ALARM HORN STROBE TO REMAIN.

**GENERAL NOTES - SHEET ED101**

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, MATERIALS, FINISHES, AND DIMENSIONS BEFORE AND AFTER DEMOLITION.
- B. CONTRACTOR TO ENSURE THAT ALL CORRIDORS OUTSIDE OF CONSTRUCTION AREA ARE KEPT CLEAN AND CLEAR OF DEBRIS AND OBSTRUCTIONS AT ALL TIMES.
- C. PROTECT ALL ITEMS TO REMAIN FROM DAMAGE.
- D. THERE MAY BE ADDITIONAL OUTLETS OR CONNECTIONS NOT SHOWN ON THE DEMO PLAN. MAINTAIN ANY ELECTRICAL CONNECTION NOT SHOWN ON THE PLANS.
- E. REFER TO THE EXISTING ELECTRICAL PANEL SCHEDULES FOR KP-1 AND KP-2 ON SHEET EX101 FOR THE ASSUMED CIRCUITING OF KITCHEN EQUIPMENT. CONTRACTOR IS RESPONSIBLE FOR TRACING OUT THE CORRECT CIRCUITS AND PROVIDING ACCURATE AS-BUILT DRAWINGS WITH UPDATED CIRCUITING INFORMATION FOR THESE TWO PANELS.
- F. ALL EXISTING OUTLETS IN THE KITCHEN AREA THAT WILL REMAIN SHALL BE REMOVED AND DISCARDED. A NEW GFCI OUTLET WILL BE INSTALLED IN IT'S PLACE.



Revisions:

No.	Date	Description
1	7/14/09	DFCM Review



**KITCHEN REMODEL**  
**UTAH STATE TAX COMMISSION BUILDING**  
**DFCM PROJECT NO. 09134310**  
**210 North 1950 West, Salt Lake City, Utah**

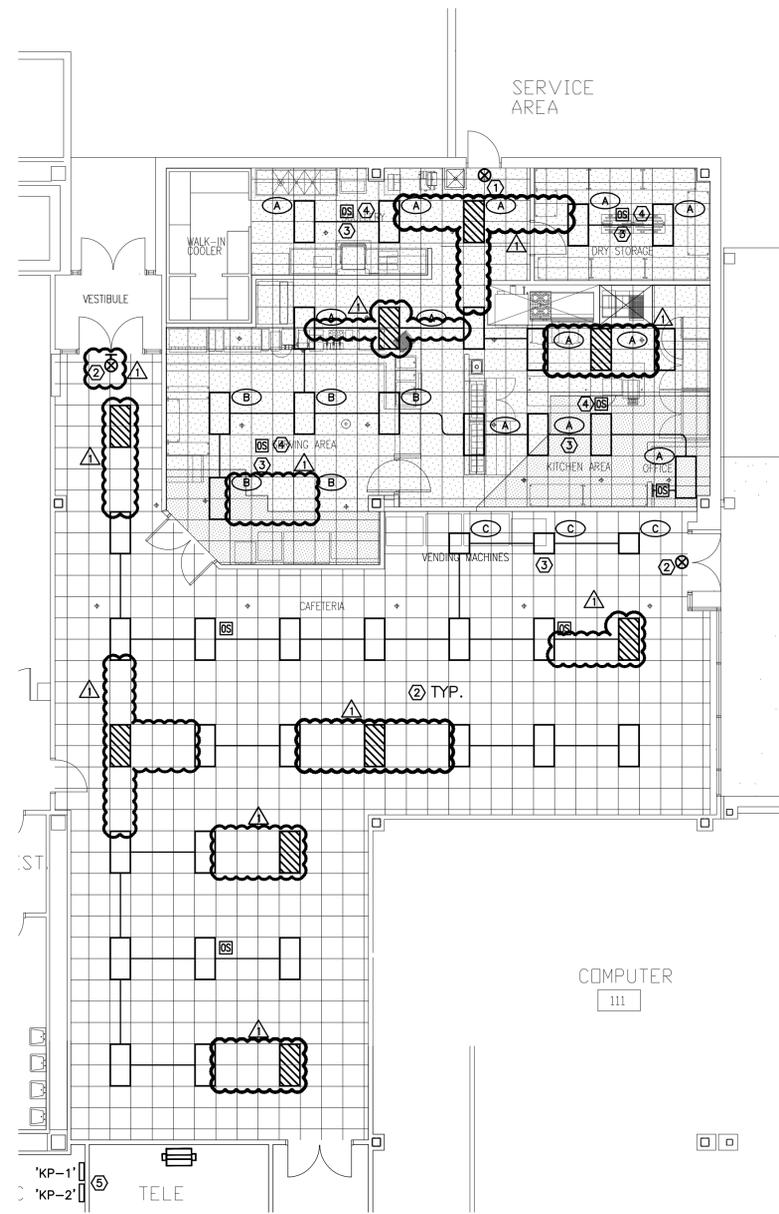
Date: 07/03/09  
 Drawn: KGE  
 Checked: LM

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 Contact: Lance Mackie  
 Project #: 59027.00

ED101



**1 SYSTEMS/POWER PLAN**  
 EP101 SCALE: 1/8"=1'-0"  
 N



**2 LIGHTING PLAN**  
 EP101 SCALE: 1/8"=1'-0"  
 N

**KEYED NOTES - SHEET EP101**

1. EXISTING TRITIUM EXIT SIGN TO BE RE-INSTALLED IN LOCATION SHOWN AFTER NEW CEILING IS INSTALLED.
2. EXISTING LIGHT FIXTURES TO REMAIN.
3. CONNECT NEW LIGHT FIXTURES TO THE SAME CIRCUIT AS THE OLD FIXTURES.
4. RE-CONNECT EXISTING OCCUPANCY SENSORS TO CONTROL LIGHTING IN EACH AREA.
5. LOCATION OF ELECTRICAL PANELS KP-1 AND KP-2 THAT FEED THE MAJORITY OF KITCHEN EQUIPMENT. OTHER PANELS IN THIS ELECTRICAL ROOM FEED THE LIGHTING AND CONVENIENCE OUTLETS IN THE CAFE.
6. NEW LOCATION OF EXISTING FIRE ALARM PULL STATION.
7. NEW LOCATION OF FIRE SPRINKLER HEAD THAT MUST BE EXTENDED DOWN TO NEW CAFE CEILING HEIGHT.
8. PROVIDE DEDICATED 20A, 120V CIRCUIT FOR OUTLET, COOLER, SKULLERY, AND DRY STORAGE AREAS.
9. MAINTAIN ALL EXISTING ELECTRICAL DEVICES IN WALK-IN COOLER, SKULLERY, AND DRY STORAGE AREAS.
10. PROVIDE DROP CORD IN CEILING OVER PREP TABLE.
11. EXISTING SWITCHES CONTROL THE HOOD LIGHTS, HOOD FAN, AND DISHWASHER HOOD, FROM LEFT TO RIGHT.
12. NEW EXHAUST HOOD OVER DEEP FRYER. CONNECT LIGHTING TO THE ADJACENT EXISTING HOOD FOR POWER AND CONTROL. WALL SWITCHES IN NOTE #11 SHALL CONTROL THE LIGHTING AND FAN FOR THE EXISTING AND NEW HOODS. INTERCONNECT THE FIRE SUPPRESSION SYSTEM (FM300 TANK) WITH THE EXISTING HOOD.
13. RUN (2) 20A, 120V CIRCUITS FROM EXISTING WALL TO NEW ISLAND WALL USING THE SAME SAWCUT TRENCH USED TO RUN WATER PIPING OVER TO THE NEW HAND SINK.
14. CONTRACTOR SHALL ROUGH-IN FOR TELEPHONE/DATA WIRING ONLY. RUN CONDUIT FROM JUNCTION BOX AND STUB UP INTO ACCESSIBLE CEILING SPACE. OWNER WILL RUN ALL WIRING, INSTALL OUTLETS AND COMPLETE ALL TERMINATIONS.
15. USE EXISTING CIRCUIT FOR NEW EF-6 EXHAUST FAN.
16. PROVIDE DISCONNECT SWITCH FOR THIS PIECE OF EQUIPMENT.
17. LOCATION OF FUSED DISCONNECT SWITCHES FOR DEEP FRYERS.
18. LOCATION OF FUSED DISCONNECT SWITCH FOR DROP-IN HOT WELLS.
19. PROVIDE NEW CONVENIENCE OUTLETS FOR ICE CUBE MACHINES LOCATED ABOVE BEVERAGE DISPENSERS. OUTLETS SHALL BE MOUNTED AT 18" ABOVE COUNTER.

**GENERAL NOTES - SHEET EP101**

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, MATERIALS, FINISHES, AND DIMENSIONS BEFORE AND AFTER DEMOLITION
- B. CONTRACTOR TO ENSURE THAT ALL CORRIDORS OUTSIDE OF CONSTRUCTION AREA ARE KEPT CLEAN AND CLEAR OF DEBRIS AND OBSTRUCTIONS AT ALL TIMES.
- C. PROTECT ALL ITEMS TO REMAIN FROM DAMAGE.
- D. THERE MAY BE ADDITIONAL OUTLETS OR CONNECTIONS NOT SHOWN ON THE POWER PLAN. MAINTAIN ANY ELECTRICAL CONNECTION NOT SHOWN ON THE PLANS.
- E. REFER TO THE EXISTING ELECTRICAL PANEL SCHEDULES FOR KP-1 AND KP-2 ON SHEET EX101 FOR THE ASSUMED EXISTING CIRCUITING OF KITCHEN EQUIPMENT. CONTRACTOR IS RESPONSIBLE FOR TRACING OUT THE CORRECT CIRCUITS AND PROVIDING ACCURATE AS-BUILT DRAWINGS WITH UPDATED CIRCUITING INFORMATION FOR THESE TWO PANELS. ANY SPARE EXISTING CIRCUITS CAN BE RE-USED FOR THE NEW KITCHEN EQUIPMENT OR OUTLETS. IF THERE IS NOT SUFFICIENT ROOM IN THE TWO KITCHEN PANELS, OTHER PANELS LOCATED IN THE SAME ELECTRICAL ROOM SHALL BE USED.
- F. ALL NEW AND EXISTING OUTLETS IN THE KITCHEN AREA SHALL BE GFCI.



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**KITCHEN REMODEL**  
**UTAH STATE TAX COMMISSION BUILDING**  
**DFCM PROJECT NO. 09134310**  
**210 North 1950 West, Salt Lake City, Utah**

Date: 07/03/09  
 Drawn: KGE  
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EP101

LUMINAIRE SCHEDULE - SHEET EX101				
TYPE	DESCRIPTION	LAMP(S) AND BALLASTS	INPUT (VA)	MANUFACTURER(S)
A	DESCRIPTION: RECESSED 2' X 4' FLUORESCENT TROFFER SIZE: 24 IN. X 48 IN. HOUSING: STEEL FINISH: BAKED WHITE ENAMEL LENS: .125" THICK, PATTERN #12, PRISMATIC ACRYLIC, INVERTED LENS DOOR: HINGE AND LATCH, FLUSH STEEL, TRIPLE GASKETING MOUNTING: RECESSED, LAY-IN	(3) F32T8/835 (1) 3-LAMP ELECTRONIC BALLAST	93	LITHONIA 2SP8-G--332-RA125-MVOLT-1/3-GE10RS
B	DESCRIPTION: RECESSED 2' X 4' FLUORESCENT DIRECT/INDIRECT SIZE: 24 IN. X 48 IN. HOUSING: STEEL FINISH: BAKED WHITE ENAMEL LENS: PERFORATED METAL HOLES LENS DOOR: HINGE AND LATCH MOUNTING: RECESSED, LAY-IN	(3) F32T8/835 (1) 3-LAMP ELECTRONIC BALLAST	93	LITHONIA 2AV-G--332-MDR-MVOLT-GE10RS
C	DESCRIPTION: RECESSED 2' X 2' FLUORESCENT PARABOLIC SIZE: 24 IN. X 24 IN. HOUSING: STEEL FINISH: BAKED WHITE ENAMEL LENS: PERFORATED METAL HOLES LENS DOOR: HINGE AND LATCH MOUNTING: RECESSED, LAY-IN	(3) F17T8/835 (1) 3-LAMP ELECTRONIC BALLAST	53	LITHONIA 2AV-G--317-MDR-MVOLT-GE10RS

**MECHANICAL EQUIPMENT LIST**

DESCRIPTION	V	PH	HP	KVA	AMPS	CIRC. #	DISCONNECT		STARTER	FEEDER	LOCATION	REMARKS
							SIZE	FUSED				
EXHAUST FAN EX-6	480	3	3		4.80			12.00	YES		ROOF	

DESCRIPTION	LOAD	120 208 3 PH 4 W				400 A BUS				DESCRIPTION
		BKR	P			BKR	P			
FREEZER REF	K	20	2	1	A	2	20	1	K	NW KITCHEN CORNER OUTLET
WALK-IN COOLER	K	20	1	5	C	6	20	1	M	FANS-FITNESS CENTER
COOLER REF	K	20	2	7	A	8	20	1	K	MICROWAVE
DISPOSAL	K	20	3	11	C	12	20	1	K	MIXER
ICE MAKER	K	20	1	17	C	18	20	1	K	PREP. TABLE
SLICER	K	20	1	19	A	20	20	1	K	PROOF BOX
CONV OUTLET WEST WALL	R	20	1	21	B	22	20	1	K	REF COLD PAN
BOOSTER HEATER	K	50	3	23	C	24	20	1	K	HOT DOG GRILL
DISHWASHER	K	30	3	29	C	30	30	2	K	HEATED DISPLAY
FREEZER	K	20	1	35	C	36	20	1	K	HOT FOOD UNIT
CONVECTION OVEN	K	20	1	37	A	38	20	1	K	HOT FOOD UNIT
HOOD LIGHTING	K	20	1	39	B	40	20	1	K	HOT FOOD UNIT
UPRIGHT FREEZER	K	20	1	41	C	42	20	1	K	HOT WATER DISP
CONNECTED LOAD		KVA				AMPS				
NEC DEMAND LOAD		KVA				AMPS				

DESCRIPTION	LOAD	120 208 3 PH 4 W				400 A BUS				DESCRIPTION
		BKR	P			BKR	P			
ICE CREAM	K	30	2	43	A	44	20	3	K	EF-6 EXHAUST FAN
DISPLAY FREEZER	K	20	1	47	C	48	20	1	K	
DISPLAY REFRIGERATOR	K	20	1	49	A	50	20	1	K	EF-7 DISH EXHAUST FAN
SALAD BAR	K	20	1	51	B	52	20	1	K	CONV. OUTLET ROOF
POPCORN POPPER	K	20	1	53	C	54	20	1	K	HEAT TRACE
CASH REGISTER	K	20	1	55	A	56	20	1	K	NORTH CAFE COKE OUTLET
VENDING MACHINE	K	20	1	57	B	58	20	1	K	KITCHEN UNDER SIGN OUTLET
VENDING MACHINE	K	20	1	59	C	60	20	1	K	NORTH CAFE COKE OUTLET
EF-6 FIRE BYPASS	K	20	1	61	A	62	20	1	K	OUTSIDE LIGHT WEST KITCHEN
IRS EAST WALL IN TOWER CO	K	20	1	63	B	64	20	2	K	TOASTER
IRS SOUTH WALL EAST CO'S	K	20	1	65	C	66	20	1	K	
IRS SOUTH WALL WEST CO'S	K	20	1	67	A	68	20	1	K	CONF 1030 CLOSET 4-PLEX CO
IRS CLOSET SOUTH CO'S	K	20	1	69	B	70	20	1	K	CONF 1030 PROJECTOR
IRS CLOSET NORTH CO'S	K	20	1	71	C	72	20	1	K	TREADMILL
IRS OUTSIDE CLOSET SO CO'S	K	20	1	73	A	74	20	1	K	TREADMILL
IRS CLOSET FAN	K	20	1	75	B	76	20	1	K	GFI OUTLET IN WOMENS REST
IRS OUTSIDE CLOSET NO CO'S	K	20	1	77	C	78	20	1	K	
ROOM 1110 HERMAN MILLER W	K	20	1	79	A	80	20	2	K	ICE MACHINE
ROOM 1110 HERMAN MILLER W	K	20	1	81	B	82	20	1	K	
ROOM 1110 HERMAN MILLER W	K	20	1	83	C	84	20	1	K	ROOM 1110 OUTLETS (3)
CONNECTED LOAD		KVA				AMPS				
NEC DEMAND LOAD		KVA				AMPS				

**KITCHEN EQUIPMENT LIST**

ITEM #	DESCRIPTION	V	PH	HP	KVA	AMPS	CIRC. #	DISCONNECT		STARTER	FEEDER	LOCATION	REMARKS
								SIZE	FUSED				
3	Beverage Station	120	1			4.0						Kitchen	2. 5.
5	Capuccino Dispenser	120	1			14.2						Kitchen	1. 5.
6	Coffee Machine	120	1			14.2						Kitchen	1. 5.
7	Coffee/Tea Machine	120	1			14.2						Kitchen	1. 5.
9	Display Case, Heated	120	1									Kitchen	1. 5.
10	Ice Maker with Bin	120	1			8.9						Kitchen	4.
15	Hot Dog Grill	120	1									Kitchen	1. 5.
16	Drop-In Hot Wells/Sneeze	208	3		3600	10.0			17.50			Kitchen	2.
17	Refrigerator	120	1									Kitchen	1. 5.
18	Exhaust Hood	120	1									Kitchen	3.
19	Exhaust Hood Fire System	120	1									Kitchen	3.
20	Convection Oven	120	1									Kitchen	4.
22	Freezer, Shortly	120	1									Kitchen	2.
24	Fryer, Deep Fat, Elec	208	3		17.0	47.0			80.00			Kitchen	2.
24	Fryer, Deep Fat, Elec Controls	120	1									Kitchen	2.
24.1	Fryer, Dump Station	120	1	1/3		5.0						Kitchen	2.
25	Warming Cabinet	120	1									Kitchen	1. 5.
26	Freezer, Reach-In	120	1			14.9						Kitchen	1. 5.
27	Refrigerator, Reach-In	120	1			7.3						Kitchen	1. 5.
28	Oven, Microwave	120	1			13.4						Kitchen	1. 5.
29	Toaster, Conveyor Type	120	1									Kitchen	1. 5.
32	Refrigerator, Sandwich/Salad Prep	120	1									Kitchen	1. 5.
35	Vending Machine, Refrig.	120	1									Kitchen	1. 5.
36	Cashier Station, Mobile	120	1									Kitchen	1. 5.

**Notes:**

1. Provided and installed by tenant
2. Provided by tenant and installed by contractor
3. Provided by tenant and installed by contractor (MFR. Captive Aire or Equal)
4. Existing
5. Plug-In Device

**1 ELECTRICAL SCHEDULES**  
EX101 SCALE: NTS

Seal



Revisions:  
No. Date Description  
1 7/1/09 DFCM Review



2 PEPPERWOOD POINTE  
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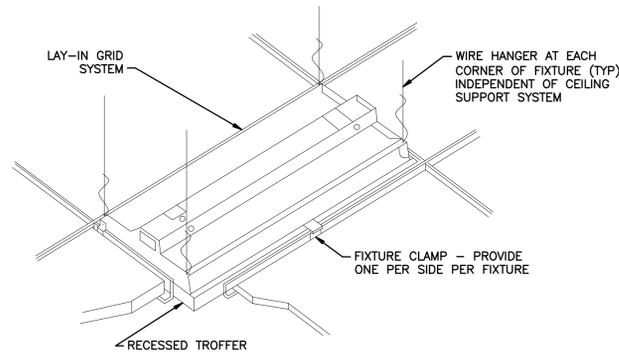
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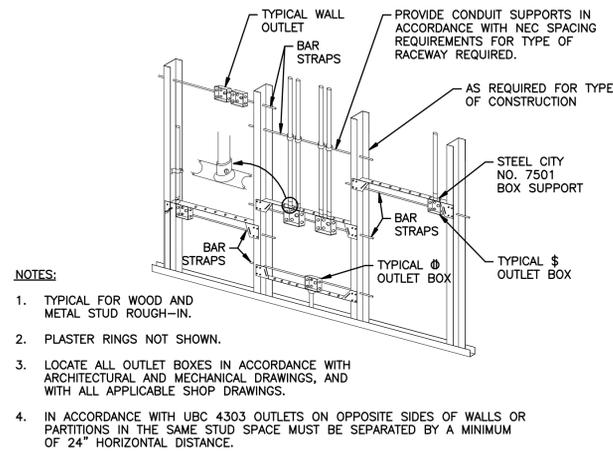
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EX101



**TYPICAL RECESSED  
FIXTURE MOUNTING DETAIL**

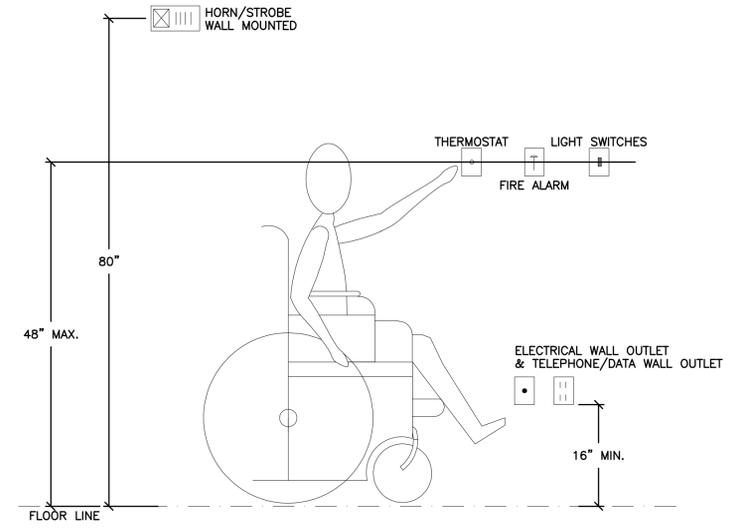
1  
EX102 SCALE: NTS



**NOTES:**

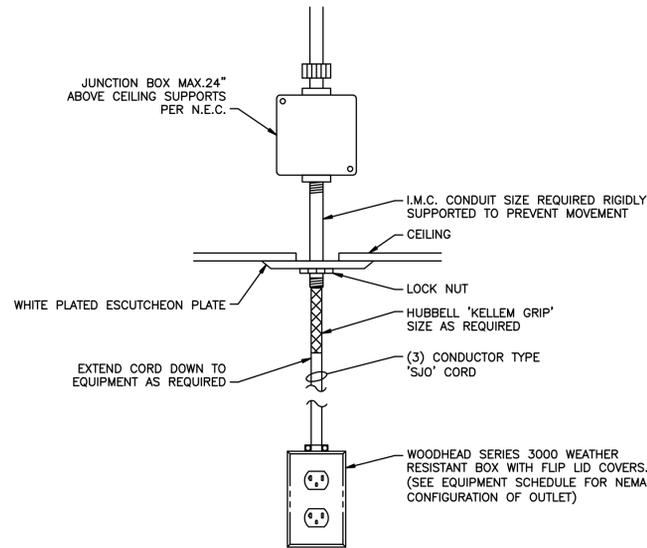
1. TYPICAL FOR WOOD AND METAL STUD ROUGH-IN.
2. PLASTER RINGS NOT SHOWN.
3. LOCATE ALL OUTLET BOXES IN ACCORDANCE WITH ARCHITECTURAL AND MECHANICAL DRAWINGS, AND WITH ALL APPLICABLE SHOP DRAWINGS.
4. IN ACCORDANCE WITH UBC 4303 OUTLETS ON OPPOSITE SIDES OF WALLS OR PARTITIONS IN THE SAME STUD SPACE MUST BE SEPARATED BY A MINIMUM OF 24" HORIZONTAL DISTANCE.

2  
EX102 SCALE: NTS



**HANDICAPPED MOUNTING HEIGHTS  
FOR ELECTRICAL DEVICES**

3  
EX102 SCALE:



4  
EX102 SCALE: NTS



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EX102