



State of Utah

GARY R. HERBERT  
Governor

GREGORY S. BELL  
Lt. Governor

Department of Administrative Services

KIMBERLY K. HOOD  
Executive Director

Division of Facilities Construction and Management

DAVID G. BUXTON  
Director

## ADDENDUM NO. 1

Date: March 22, 2010

To: Contractors

From: Craig Wessman – Project Manager

Reference: Staff Restroom Upgrades – Bonneville and Fremont CCCs  
Division of Adult Probation and Parole – Salt Lake City, Utah  
DFCM Project No. 09199120

Subject: **Addendum No. 1**

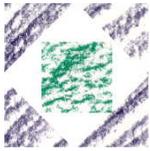
Pages	Addendum Cover Sheet	1 page
	<u>Architect's Addendum No. 1</u>	12 pages
	Total	13 pages

**Note: This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to Disqualification.**

While we contend that SB220 should only be potentially applicable to a contract issued after the effective date of said bill, this is to clarify that for purposes of this contract, regardless of the execution or effective dates of this contract, the status of Utah Law and remedies available to the State of Utah and DFCM, as it relates to any matter referred to or affected by said SB220, shall be the Utah law in effect at the time of the issuance of this Addendum.

1.1 **SCHEDULE CHANGES:** No Project Schedule changes.

1.2 **GENERAL ITEMS:** See attached Architect's Addendum No. 1 dated March 22, 2010.



**HFSARCHITECTS**

1484 South State Street  
Salt Lake City, Utah 84115  
801-596-0691 • Fax: 596-0693 • [www.hfsa.com](http://www.hfsa.com)

---

**Addendum No. 1**

Project: Staff Restroom Upgrades Bonneville & Fremont Date: 22 March 2010  
Address: 1141 S. 2475 W. & 2588 W. 2365 S. Project No.: DFCM 09199120 / HFSA 1004.01  
City, State: Salt Lake City, Utah Agency: Utah Department of Corrections

---

**To all Bidders of Record:**

This addendum forms a part of the contract documents and modifies the original specifications and drawings as noted below. Items of general information are included without reference to the plans and specifications. Revisions to the specifications are referenced by page number and paragraph heading on that page. Revisions to the drawings are reference by the drawing number. Unless otherwise stated, any changes herein offset only the specific drawings, words, or paragraphs mentioned, and the balance of the drawings and specifications remain in full force. Acknowledge receipt of this addendum in the space provided on the Bid form. Failure to do so will subject the Bidder to disqualification.

Item No.	Section or Sheet No.	Description
<b>GENERAL ITEMS</b>		
1 -1	General Question	Can both bathrooms in each building be worked on at the same time? <b>Answer: Yes. Both restrooms can be worked on and both job sites can be worked on at the same time. Provide temporary restrooms as part of the bid.</b>
1 -2	General Question	Do we need background checks on our employees? <b>Answer: Yes.</b>
1 -3	General Question	Are the fire sprinklers part of this project? <b>Answer: No.</b>
1 -4	General Question	Have the restrooms been tested for asbestos? <b>Answer: Yes. If not, the state will provide for their cleanup.</b>
1 -5	Question AE101	Bonneville: The existing toilets are too close to the walls to meet ADA and should be move. The floor will have to be chipped up and toilet rough in's moved. Should we bid as per plans and hookup to the existing rough-ins and then approach the move if the inspector requires it as a change order to the project? <b>Answer: The existing water closets are floor mounted tank type. Replace with Kohler model K-3427 Highline ADA height floor mounted water closet. Provide new supplies and stops. Locate the tank actuator on the wide side of the stall. Move the toilets to the new location based on the plans, which meet ADA. Modify the existing plumbing as necessary. See General Note 3 on AE101 for conditions of demolition and repair.</b>
1 -6	Question AE601	There is no plumbing spec calling for sink carriers, just a wall hung lav. Do we need a carrier or is wood blocking okay? If a carrier is required, which type, floor or wall type?

Item No.	Section or Sheet No.	Description
		<b><i>Answer: The existing wall mounted lavatories are supported off of wall brackets. Install the new fixtures on the wall brackets supplied with the fixtures. Provide backing in wall as required to support the fixture.</i></b>
1 -7	Question AE101 AE601	<p>Bonneville: The existing doors are 3'-0" x 6'-8". The new doors are called out as 3'-0" x 7'-0" doors. This will require some cutting and patching of the existing door headers. On the exterior side of the bathrooms (public side), how far are we required to paint? To the nearest corner or just do a paint patch? We could replace the existing doors with new doors of the same size, but this will still require patch and paint, but will be easier to do. The existing door frame width with trim is 3'-5". The new door frame will be 3'-4" wide. The height is 6'-11" to top of existing trim. The new door frame will be 6'-10" for new 6'-8" door or 7'-2" with a new 7'-0" door as per the plans.</p> <p><b><i>Answer: Supply a door and frame to match existing. See General Note 6 on AE101 for extent of repainting .</i></b></p>
1 -8	Question AE101 09310	<p>Bonneville: Are we glueing the new floor tile down to the concrete?</p> <p><b><i>Answer: No. The new floor tile will be thin set. See Spec Section 09310.</i></b></p>
1 -9	Question AE101 09310	<p>Bonneville: Do we really want to use a trap primer connection? It will require trenching the floor to install.</p> <p><b><i>Answer: Yes. See General Note 3 on AE101 and AE102 regarding means and methods.</i></b></p>
1 -10	Question AE101	<p>Bonneville: Are the door swings on the new doors switched?</p> <p><b><i>Answer: Yes. See plans on sheet AE101.</i></b></p>
1 -11	Question AE101	<p>Bonneville: Do we want to put in surface mounted fire alarms rather than the existing wall mounted fire alarms in the restrooms?</p> <p><b><i>Answer: No.</i></b></p>
1 -12	Question AE901	<p>Bonneville: How do you want the new hard lid ceiling framed for the second floor dorm room and break room?</p> <p><b><i>Answer: See existing ceiling plan legend and revised ceiling plan and soffit detail on revised sheet AE901, attached at the end of this addendum.</i></b></p>
1 -13	Question AE901	<p>Bonneville: Are we replacing the mechanical grills, smoke detectors and exit signs in the second floor dorm room and break room?</p> <p><b><i>Answer: Yes, Replace existing ceiling diffusers and return air grilles with new complete frame for mounting in solid ceiling. Field verify neck sizes. See revised ceiling plan on revised sheet AE901 and new schedules, plans and notes on new electrical sheet E-101, all attached at the end of this addendum.</i></b></p>
1 -14	Question AE901	<p>Bonneville: What type of lights are we using in the new hard lid ceiling for the second floor dorm room and break room?</p> <p><b><i>Answer: See the detail fixture schedule D3/E-101 and Partial Level 2 New Electrical Plan A2/E-101 and Keyed Notes E-101, attached at the end of this addendum.</i></b></p>

Item No.	Section or Sheet No.	Description
1 -15	Question AE901	<p>Bonneville: Does the new hard lid ceiling for the second floor dorm room and break room need access panels?</p> <p><b>Answer: Yes. Provide 24" X 24" Babcock-Davis B-NW, or equal, Paintable Non-rated flush panel with drywall bead, key operated cylinder lock and stainless steel hinge. Provide all necessary blocking as required for installation of door. Provide one each in the break room and two each in the dorm room based on the locations of existing junction boxes in the ceiling.</b></p>
1 -16	Question AE102	<p>Fremont: The existing toilets are wall hung with a back to back single carrier. Plans call out to replace them with a floor mounted toilet. The existing walls and floor will have to be opened up and rough plumbing changed to install a floor mounted toilet. A new wall mount would make the job easier and less costly. However, the rough plumbing is too close to the wall to meet ADA requirements and needs to be moved east. Please advise. Changing the plumbing from a wall mounted fixture to a floor mounted one will require ceramic tile floor patch which could prove difficult at best to match the existing tile.</p> <p><b>Answer: Supply wall mounted toilets. Re-use the existing carriers for water closets. The toilets will be placed in there original locations which we believe meets ADA.</b></p>
1 -17	Question AE102	<p>Fremont: The new urinal will have to be moved 4 inches to the west to meet the new measurements. It is currently installed with a floor mount carrier and is called out to have another floor mount carrier used for the new urinal. The plumbing stack is right below the current location. It is questionable if it can be moved the 4 inches. It most likely can, but it will also require the wall to be opened up to get the new carrier in place.</p> <p><b>Answer: The urinal is to be placed in its original location. Install the new urinal on specified carrier. See existing plumbing schedule C2/AE601.</b></p>
1 -18	Question AE102	<p>Fremont: The existing sinks have floor mounted carriers holding them in place. They also have to be moved 4 inches to the west. This will require opening the wall to expose the plumbing and install carriers or blocking. Based on the type of sink called for , there needs to be adequate blocking or some kind of a carrier provided. There is no plumbing spec calling for carriers, just a wall hung lav. Do we need a carrier or is wood blocking okay? If a carrier is required, which type, floor or wall mounted?</p> <p><b>Answer: The sinks are to be placed in their original locations. Re-use the existing carriers for the lavatories. Adjust as necessary so that new sink meets ADA requirements.</b></p>
1 -19	Question AE102	<p>Fremont: With the need to open the walls, I would suggest taking down the plumbing wall on the men's side to expose everything and enable the new rough in plumbing for both bathrooms. You could cut the wall at r feet or at the nearest tile grout line and then when the plumbing is replaced, put back a new tile wainscot.. Matching the old tile might be difficult at best. There is only 11.5 inches in between the walls in the plumbing chase which is not enough room to get a man back inside to do the rough plumbing changes.</p> <p><b>Answer: Plumbing fixtures will be going back in their original locations. If the</b></p>

Item No.	Section or Sheet No.	Description
		<b><i>wall needs to be opened see General Note 3 on AE102 regarding means and methods.</i></b>
1 -20	Question AE102 09310	Fremont: The plans call out to remove the existing tile base and replace it with a new base. That is going to be an difficult considering there is ceramic tile on the walls and the floor. Are we going to try and match the wall tile? Getting the exact size and color may prove difficult at best. Do we know the manufacturer of the existing tile? All the various tile manufacturers tile sizes are different in width and height. <b><i>Answer: The new tile base we be an accent color to be determined by the architect. The same accent color will be used to patch behind the toilet in the men's restroom. See Spec Section 09310.</i></b>

#### DRAWING ITEMS

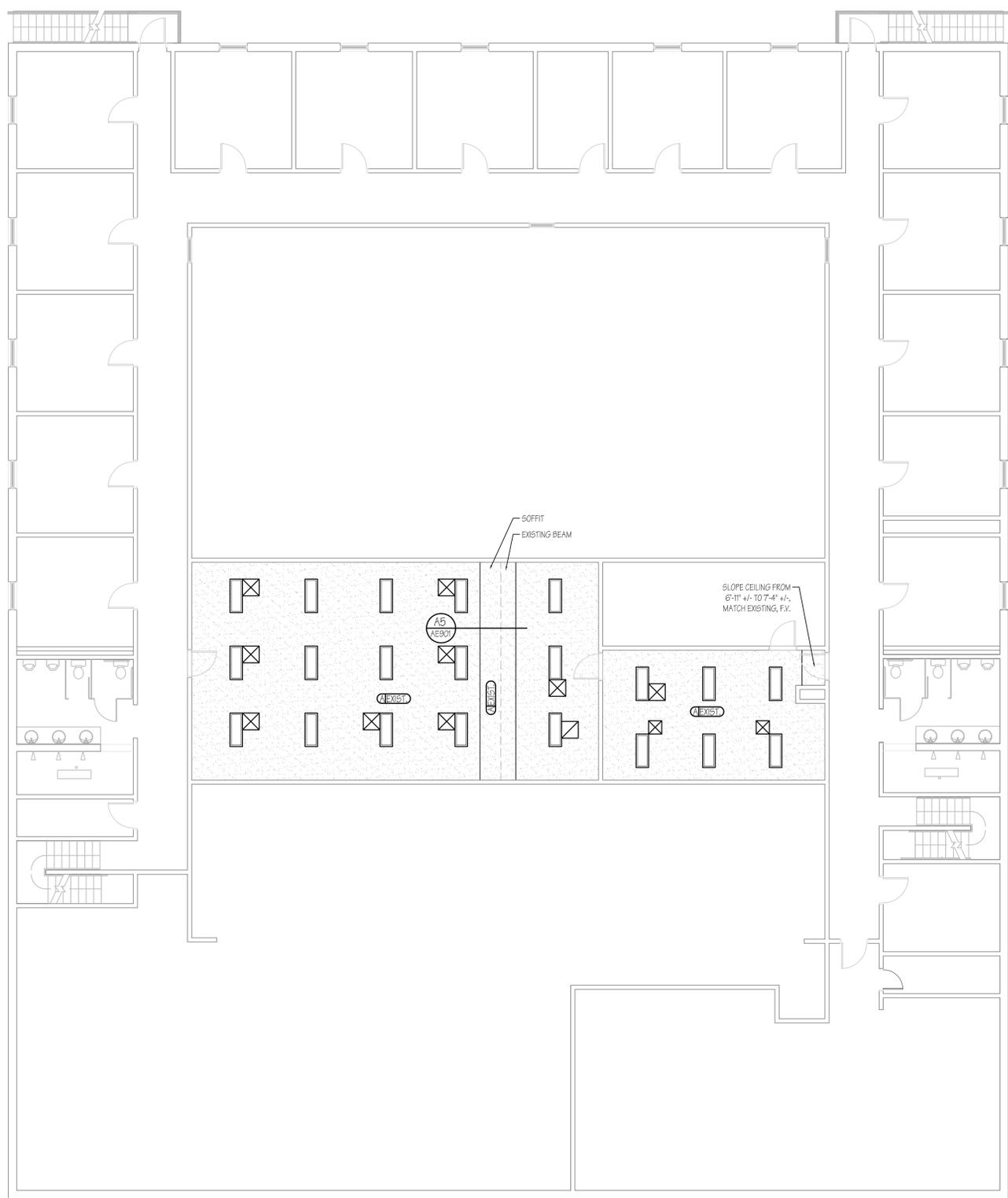
1 -21	GI001	Replace the 'Drawings Index' with the attached revised 'Drawing Index' SD-01.
1 -22	AE101	Restroom New Floor Plan A3: Change room M-1 elevation tag from 'B3/AE101' to 'B1/AE101'. See attached SD-02.
1 -23	AE101	Restroom New Floor Plan A3: Change room W-1 elevation tag from 'B1/AE101' to 'B3/AE101'. See attached SD-02.
1 -24	AE102	Men's Room Interior Elevations B1: Revise West and North Elevations per attached SD-03.
1 -25	AE102	Women's Room Interior Elevations B3: Revise West and South Elevations per attached SD-04.
1 -26	AE102	Restroom Demo Plan A1: Revise notation per attached SD-05.
1 -27	AE102	Restroom New Floor Plan A3: Revise fixtures per attached SD-06.
1 -28	AE901	Replace the sheet 'AE901 Alternate #1 Suspended Gyp. Bd. Ceiling Level 2 with the attached revised 'AE901 Alternate #1 Suspended Gyp. Bd. Ceiling Level 2'.
1 -29	E-101	Add the attached drawing: E-101 Alternate #1 Electrical Plans Level 2.

#### PRIOR APPROVALS

1 -30	10801	Toilet and Bath Accessories 2.1.A Add Bradley Corporation
-------	-------	---

#### ATTACHMENTS

1 -31	1 Page	Revised Sheet AE901
1 -32	6 Page	Supplemental Drawings SD-01 thru SD-06
1 -33	1 Page	Electrical Addendum Sheet E-101



### CEILING PLAN LEGEND

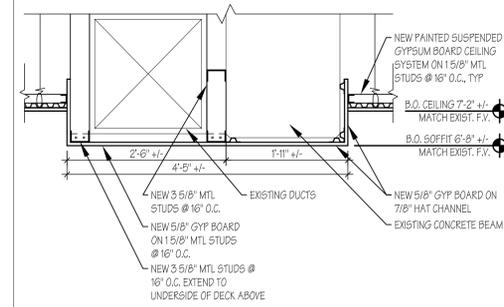
-  PAINTED SUSPENDED GYPSUM BOARD CEILING, TYPICAL
-  INSTALL NEW 4' x 3' LAMP SURFACE MOUNTED VANDAL RESISTANT WRAPAROUND FLUORESCENT FIXTURE
-  INSTALL NEW 2' x 2' CEILING DIFFUSER W/ NEW COMPLETE MOUNTING FRAME FOR MOUNTING IN SOLID CEILING. F.V. NECK SIZES. PROVIDE BLOCKING AS NEEDED
-  INSTALL NEW 19' x 19' CEILING DIFFUSER W/ NEW COMPLETE MOUNTING FRAME FOR MOUNTING IN SOLID CEILING. F.V. NECK SIZES. PROVIDE BLOCKING AS NEEDED
-  INSTALL NEW 2' x 2' RETURN AIR GRILL W/ NEW COMPLETE MOUNTING FRAME FOR MOUNTING IN SOLID CEILING. F.V. NECK SIZES. PROVIDE BLOCKING AS NEEDED

### GENERAL NOTES

1. ALL DIMENSIONS & EXISTING CONDITIONS IN AREAS OF WORK ARE TO BE FIELD VERIFIED PRIOR TO COMMENCING WORK - ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO COMMENCING WORK.
2. PROTECT ALL AREAS & SURFACES ADJACENT TO DEMOLITION & CONSTRUCTION. PATCH & REPAIR ANY DAMAGE OR HOLES IN WALLS, CEILINGS & FLOORS RESULTING FROM THE DEMOLITION OF EXISTING ITEMS OR THE CONSTRUCTION OF NEW ITEMS.
3. NOTED AREAS INDICATED THE GENERAL EXTENT OF DEMOLITION. THE CONTRACTOR'S CHOICE OF MEANS & METHODS OF CONSTRUCTION MAY REQUIRE MORE OR LESS DEMOLITION. THE MEANS & METHODS OF DEMOLITION & CONSTRUCTION MUST BE ACCOUNTED FOR IN THE CONTRACTORS BID. ANY DEMOLITION & REPAIR TO ADJACENT SURFACES BEYOND THE AREAS INDICATED IN THE CONTRACT DOCUMENTS WILL NOT BE COMPENSATED FOR AFTER THE BID OPENING.
4. PRIOR TO THE START OF DEMOLITION, THE CONTRACTOR IS TO MEET WITH THE OWNER & ARCHITECT TO IDENTIFY ALL ITEMS TO BE DEMOLISHED & REMOVED FROM SITE, ITEMS TO BE REMOVED & RETURNED TO THE OWNER, OR ITEMS TO BE REMOVED & REINSTALLED.
5. 72-HOUR NOTICE IS REQUIRED FOR ANY UTILITY SHUT DOWN.
6. ANY REPAINTING OF SURFACES REQUIRED DUE TO DAMAGE TO FINISHES DURING DEMOLITION AND CONSTRUCTION MUST BE COMPLETE FROM CORNER TO CORNER.
7. PRIOR TO BIDDING, THE CONTRACTOR IS TO SURVEY THE EXISTING WALL CONDITIONS. ALL EXISTING NAILS, SCREWS, ABANDONED FASTENERS & HARDWARE IN THE WALLS ARE TO BE REMOVED & THE HOLES PATCHED. DAMAGED GYPSUM BOARD IS TO BE REPAIRED & PATCHED.

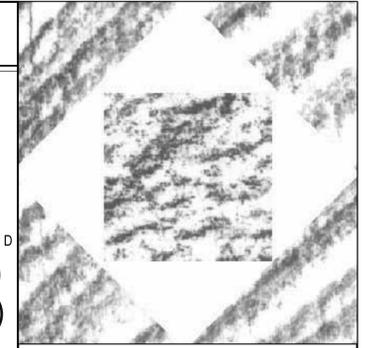
### CEILING DEMO NOTES

1. REMOVE AND SALVAGE ALL MECHANICAL FIXTURES TO OWNER:
  - (1) CEILING DIFFUSERS
  - (1) RETURN AIR GRILL



**A3** ALTERNATE #1 SUSPENDED GYP. BD. CEILING  
SCALE: 1/8" = 1'-0"

**A5** ALTERNATE #1 SOFFIT DETAIL  
SCALE: 1/8" = 1'-0"



**HFS Architects**  
ARCHITECTURE  
INTERIORS  
PLANNING

1484 South State Street  
Salt Lake City, Utah 84115  
801-596-0691/F: 596-0693  
www.hfsa.com

CONSULTANT

Staff Restroom Upgrades  
to the Bonneville & Fremont  
Community Correctional Centers

Utah Department of Corrections  
Bonneville - 1141 S. 2475 W.  
Fremont - 2588 W. 2365 S.

MARK	DATE	DESCRIPTION
1	03-19-10	REVISED GYP BD. CEILING
	03-19-10	NEW SOFFIT DETAIL
	03-19-10	REV. CEILING PLAN LEGEND
	03-19-10	NEW DEMO NOTES

DATE: 8 FEBRUARY 2010  
DFCM PROJECT NO: 09199120  
HFSA PROJECT NO: 1004.01  
CAD DWG FILE NO:  
DRAWN BY: RLS  
CHECKED BY: RLS  
DESIGNED BY: RLS  
DWG TYPE: ARCHITECTURAL  
ARCHITECTURAL PHASE:  
CONSTRUCTION DOCUMENT BID SET  
SHEET TITLE

**ALTERNATE #1  
SUSPENDED GYP. BD.  
CEILING LEVEL 2**

**AE901**  
SHEET 5 OF 5

# DRAWING INDEX

## ARCHITECTURAL DRAWINGS

GI001	TITLE SHEET, GENERAL INFO, & SHEET INDEX
AE101	BONNEVILLE FLOOR PLAN, DEMO PLAN & PHOTOS
AE102	FREMONT FLOOR PLAN, DEMO PLAN & PHOTOS
AE601	PLUMBING SCHEDULE, DOOR SCHEDULE & DETAILS
AE901	ALTERNATE #1 SUSPENDED GYP. BD. CEILING LEVEL 2
<b>ELECTRICAL DRAWINGS</b>	
E-101	ALTERNATE #1 ELECTRICAL PLANS LEVEL 2

1

C5  
GI001

REVISED DRAWING INDEX

N.T.S.

REF. SHEET:GI001

**HFS**Architects



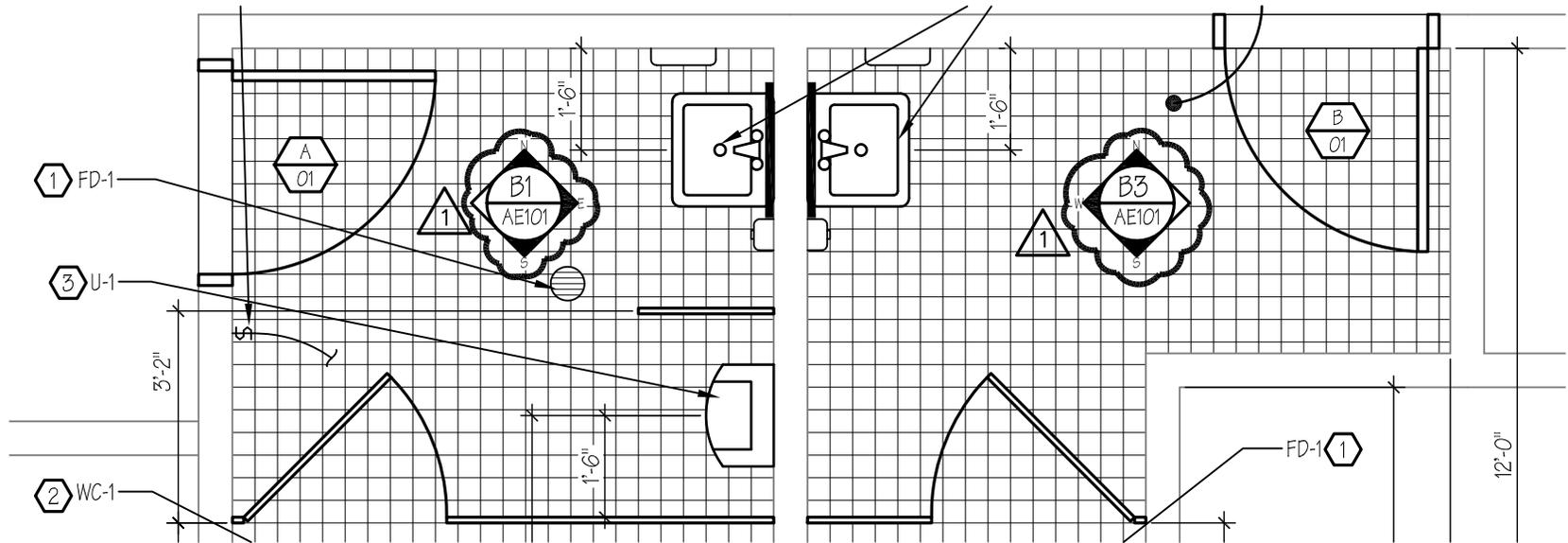
ARCHITECTURE  
INTERIORS  
PLANNING

**BONNEVILLE & FREMONT COMMUNITY CORRECTIONAL CENTERS**

**ADDENDUM #1 STAFF RESTROOM UPGRADES**

SD-01

SCALE: N.T.S.  
DATE: MAR 19, 2010  
CLIENT PROJ No 09199120  
HFSA PROJ No 1004.01



A3  
AE101

REV. RESTROOM NEW FLOOR PLAN

3/8"=1'-0"



REF. SHEET:AE101

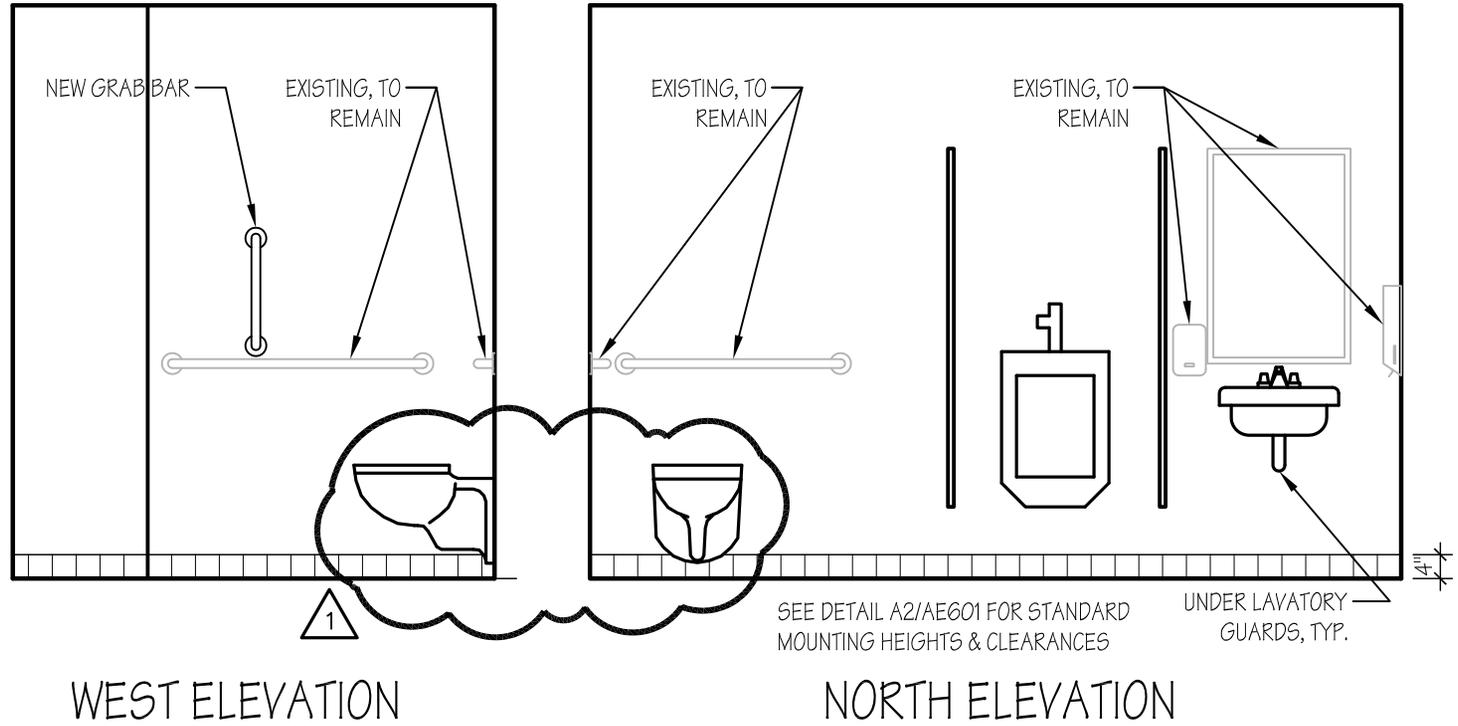
**HFS**Architects

ARCHITECTURE  
INTERIORS  
PLANNING

**ADDENDUM #1 STAFF RESTROOM UPGRADES**  
**BONNEVILLE & FREMONT COMMUNITY CORRECTIONAL CENTERS**

SD-02

SCALE: 3/8"=1'-0"  
DATE: MAR 19, 2010  
CLIENT PROJ No 09199120  
HFSA PROJ No 1004.01



B1 REV. MEN'S ROOM INTERIOR ELEVATIONS  
 AE102 3/8"=1'-0"



REF. SHEET:AE102

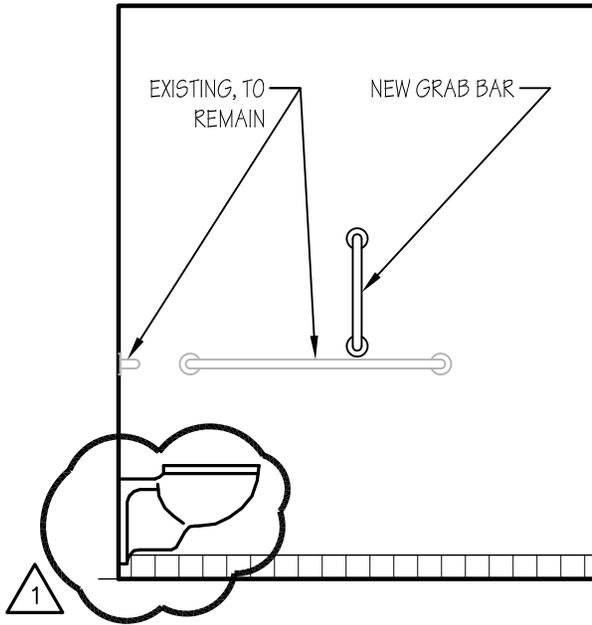
**HFS**Architects

ARCHITECTURE  
INTERIORS  
PLANNING

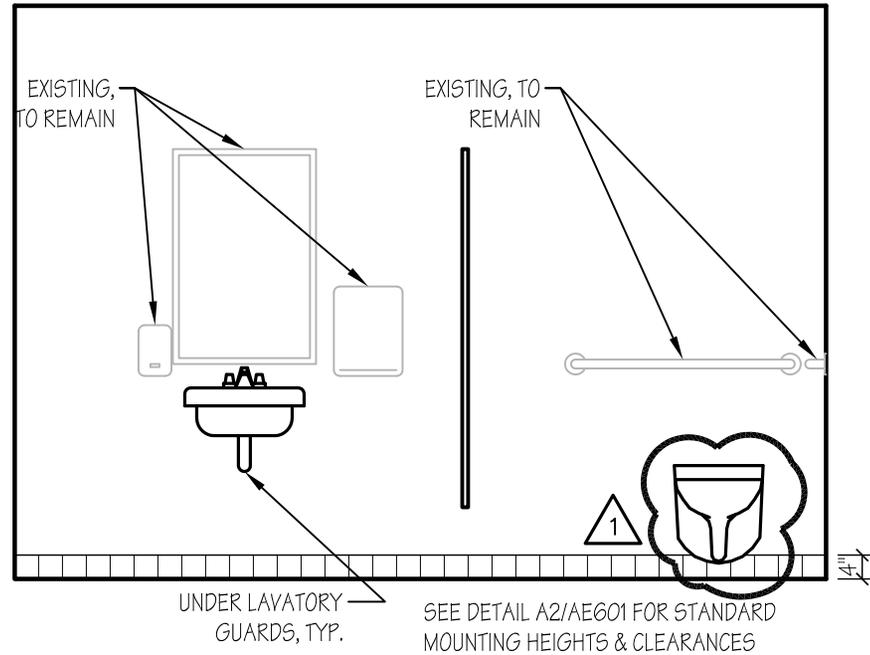
**ADDENDUM #1 STAFF RESTROOM UPGRADES**  
**BONNEVILLE & FREMONT COMMUNITY CORRECTIONAL CENTERS**

SD-03

SCALE: 3/8"=1'-0"  
 DATE: MAR 19, 2010  
 CLIENT PROJ No 09199120  
 HFSa PROJ No 1004.01



WEST ELEVATION



SOUTH ELEVATION

**B3** REV. WOMEN'S ROOM INTERIOR ELEVATIONS  
**AE102** 3/8"=1'-0"



REF. SHEET:AE102

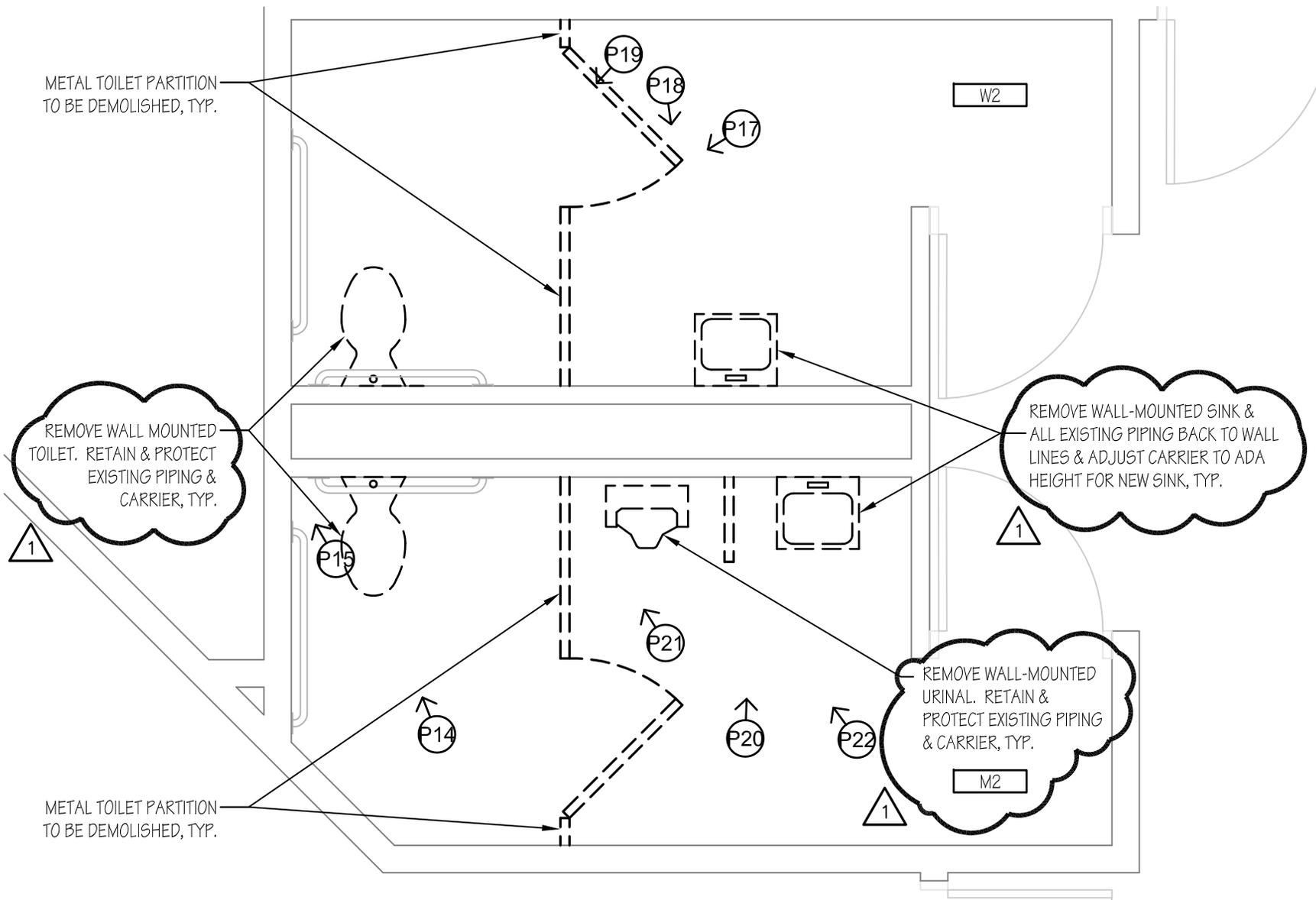
**HFS**Architects

ARCHITECTURE  
 INTERIORS  
 PLANNING

**ADDENDUM #1 STAFF RESTROOM UPGRADES**  
**BONNEVILLE & FREMONT COMMUNITY CORRECTIONAL CENTERS**

SD-04

SCALE: 3/8"=1'-0"  
 DATE: MAR 19, 2010  
 CLIENT PROJ No 09199120  
 HFSA PROJ No 1004.01



A1 REV. RESTROOM DEMO PLAN  
AE102 3/8"=1'-0"



REF. SHEET:AE 102

SD-05

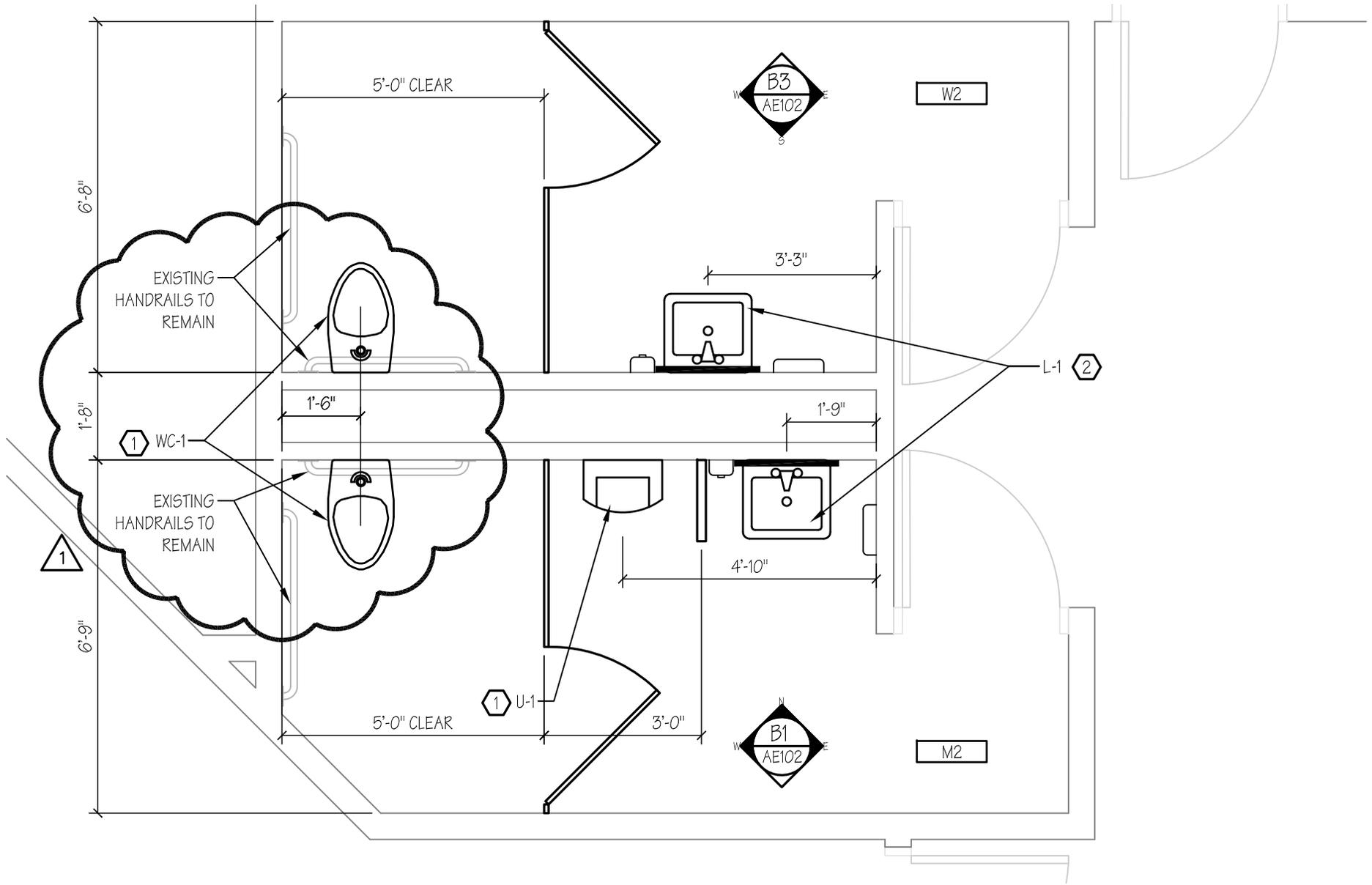
**HFS Architects**

**ADDENDUM #1 STAFF RE I UPGRADES**

**BONNEVILLE & FREMONT COMMUNITY CORRECTIONAL CENTERS**

ARCHITECTURE  
INTERIORS  
PLANNING

SCALE: 3/8"=1'-0"  
DATE: MAR 19, 2010  
CLIENT PROJ No 09199120  
HFSA PROJ No 1004.01



**A3** REV. RESTROOM NEW FLOOR PLAN  
**AE102** 3/8"=1'-0"



REF. SHEET:AE102

SD-06

**HFS**Architects

**ADDENDUM #1 STAFF RESTROOM UPGRADES**

**BONNEVILLE & FREMONT COMMUNITY CORRECTIONAL CENTERS**

ARCHITECTURE  
INTERIORS  
PLANNING

SCALE: 3/8"=1'-0"  
DATE: MAR 19, 2010  
CLIENT PROJ No 09199120  
HFSA PROJ No 1004.01

**ELECTRICAL SPECIFICATION NOTES:**

- INSTALL ALL ELECTRICAL WORK IN ACCORDANCE WITH 2009 NATIONAL ELECTRICAL CODE, ANY APPLICABLE LOCAL ORDINANCES AND IN A NEAT AND WORKMANLIKE MANNER.
- PROVIDE APPROVED TYPES OF COPPER BUILDING WIRE AND CABLE WITH TYPE THHN, THUN OR XHHW 600 VOLT INSULATION INSTALLED IN APPROVED METAL RACEWAYS. DO NOT USE ALUMINUM CONDUCTORS.
- INSTALL ALL WIRING IN MINIMUM 1/2" TRADE DIAMETER RACEWAYS. PROVIDE ELECTRICAL METALLIC TUBING (EMT) WHERE RACEWAYS ARE NOT SUBJECT TO PERMANENT MOISTURE OR DAMAGE.
- PROVIDE STEEL SET SCREW OR COMPRESSION TYPE CONDUIT FITTINGS. DO NOT USE CAST METAL OR INDENTER TYPE FITTINGS.
- DO NOT USE ALUMINUM CONDUIT, IMC CONDUIT, BX CABLE, METAL CLAD (MC) CABLE, NONMETALLIC TUBING, NM CABLE, ETC.
- SUPPORT RACEWAYS WITH APPROVED CONDUIT CLAMPS OR HANGERS AT 5'-0" ON CENTER AND WITHIN 12" OF ALL BOXES, BENDS AND FITTINGS. DO NOT USE TIE WIRE FOR CONDUIT SUPPORT.
- CONCEAL ALL RACEWAYS WITHIN FINISHED WALLS, FLOORS OR CEILING, EXCEPT WHERE EXPOSED RACEWAYS ARE SPECIFICALLY SHOWN ON THE DRAWINGS OR PERMITTED BY THE ARCHITECT. PAINT ALL EXPOSED CONDUIT TO MATCH SURROUNDING SURFACES.
- FIRE SEAL ALL CONDUIT PENETRATIONS THROUGH FIRE RATED CEILING, WALLS AND FLOORS WITH A TESTED MATERIAL PRODUCT SUITABLE FOR THE REQUIRED INSTALLATION.  
PROVIDE APPROVED STEEL OUTLET BOXES, MINIMUM 4" 6Q. x 1-1/2" DEEP, INSTALLED FLUSH WITH FINISHED SURFACES.
- PROVIDE "SPECIFICATION GRADE" WIRING DEVICES WITH APPROPRIATE IMPACT RESISTANT THERMOPLASTIC OR NYLON COVER PLATE. COLOR OF DEVICES AND COVER PLATES SHALL MATCH EXISTING DEVICES.
- DO NOT CUT ANY STRUCTURAL ELEMENT OR BEAM WITHOUT PERMISSION OF THE ARCHITECT.
- ELECTRICAL SYSTEMS OUTAGES WILL NOT BE ALLOWED EXCEPT ON WEEKENDS, HOLIDAYS AND/OR AS DIRECTED BY THE OWNER. SUBMIT WRITTEN REQUEST FOR OUTAGES TO THE OWNER AT LEAST SEVEN (7) DAYS PRIOR TO ANY PROPOSED OUTAGES. DO NOT TAKE OUTAGES WITHOUT OWNER'S PERMISSION.
- SUBMIT SIX (6) SETS OF SHOP DRAWINGS FOR REVIEW BY ARCHITECT AND/OR ENGINEER PRIOR TO ORDERING THE FOLLOWING NEW ELECTRICAL EQUIPMENT.  
A. WIRING DEVICES AND COVERPLATES  
B. LIGHT FIXTURES  
C. EMERGENCY BATTERY PACKS
- PROVIDE TWO SETS OF RED-LINED "AS-BUILT" PRINTS TO THE OWNER UPON COMPLETION OF THE PROJECT.
- PROVIDE TWO SETS OF COMPLETE OPERATION & MAINTENANCE MANUALS TO THE OWNER UPON COMPLETION OF THE PROJECT. INCLUDE WARRANTY INFORMATION FOR ALL EQUIPMENT WITH WARRANTY IN EXCESS OF 12 MONTHS.

FIXTURE SCHEDULE				
SYMBOL	MANUFACTURER	CATALOG NO.	DESCRIPTION	LAMP
F-1	DAY-BRITE LIGHTOLIER	VCAW332-UNV-1/21-EB10R GV42WB332-UNV-P2	4 FT. 3 LAMP, SURFACE MOUNTED VANDAL RESISTANT "WRAPAROUND" FLUORESCENT FIXTURE WITH HIGH IMPACT DR ACRYLIC LENS SECURED TO HOUSING WITH TAMPER RESISTANT SCREWS, ONE 2 LAMP & ONE 1 LAMP, 110V THD, PROGRAMMED START ELECTRONIC BALLASTS WIRED FOR INBOARD/OUTBOARD LAMP OPERATION. MAXIMUM 3" DEEP HOUSING.	3F3218/TL835

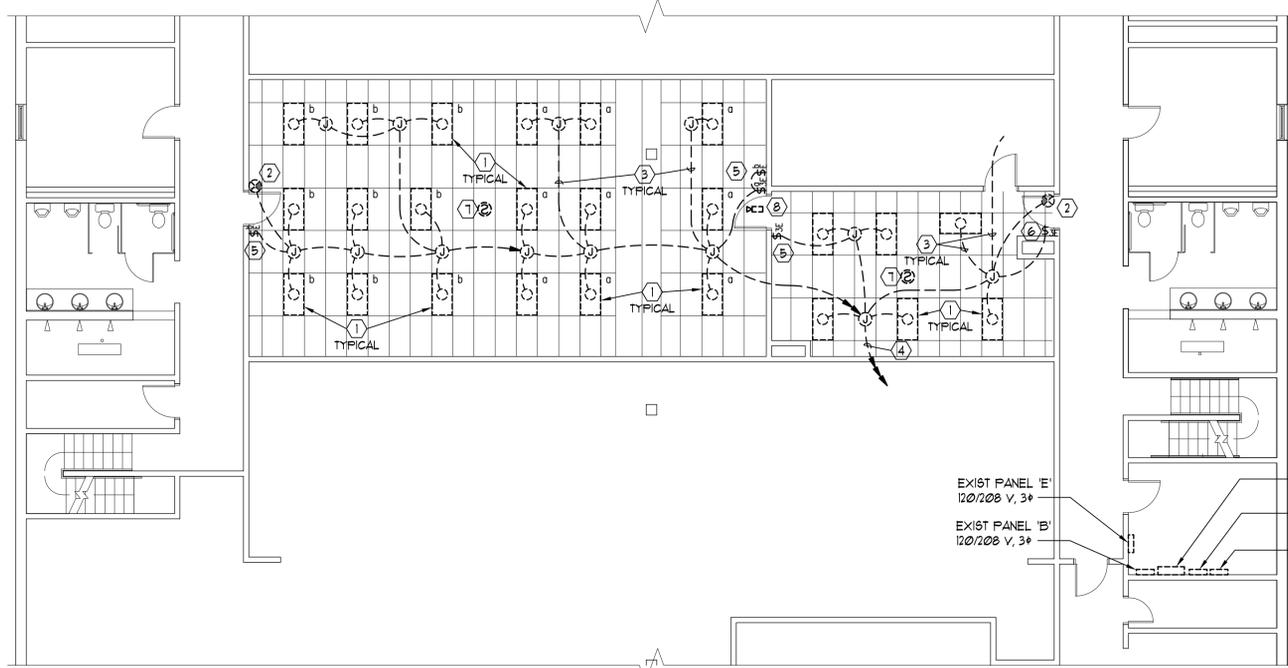
NOTES:  
1. PROVIDE EXTRA MATERIAL STOCK OF 6 LAMPS AND 1 LENS.

**GENERAL NOTES:**

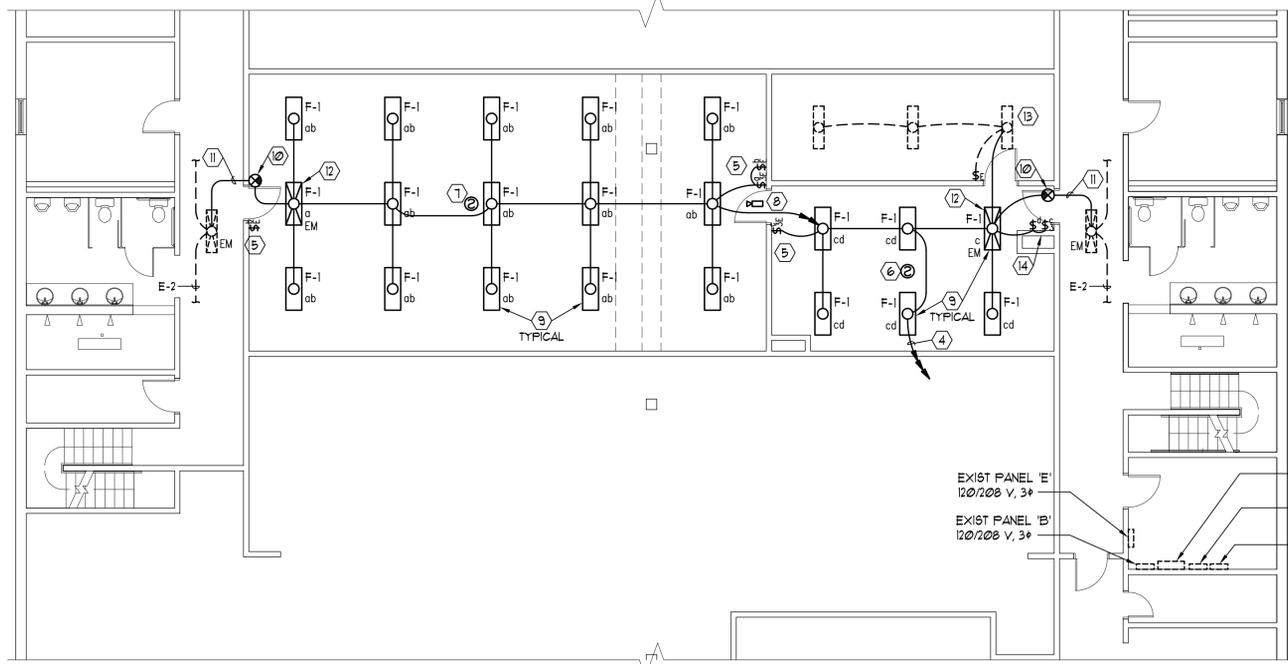
- LOCATIONS OF EXISTING ELECTRICAL EQUIPMENT, LIGHTING, SWITCHES, OUTLETS, BRANCH CIRCUIT WIRING, ETC. ARE BASED ON EXISTING BUILDING ELECTRICAL DRAWINGS AND FIELD OBSERVATION OF EXISTING SURFACE CONDITIONS. FIELD VERIFY EXISTING LOCATIONS AND CIRCUITING AND IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WHICH MAY ADVERSELY AFFECT COMPLETION OF THE WORK.
- DEMOLITION PLAN IS SHOWN FOR CONTRACTORS REFERENCE ONLY. FIELD VERIFY QUANTITIES AND LOCATIONS OF ALL EXISTING MATERIAL AND EQUIPMENT TO BE REMOVED. REMOVE ALL ABANDONED WIRING, CONDUIT, BOXES, OUTLETS, FIXTURES, EQUIPMENT, ETC. WHETHER SPECIFICALLY SHOWN OR NOT.
- CONTRACTOR MAY USE EXISTING BRANCH CIRCUIT WIRING AND RACEWAYS WHERE CONVENIENT TO CONNECT TO NEW ELECTRICAL DEVICES ONLY IF THE EXISTING WIRING AND RACEWAYS ARE IN GOOD CONDITION AND MEET REQUIREMENTS FOR NEW WIRING AND RACEWAYS.
- WHERE REMOVAL OF EXISTING ELECTRICAL EQUIPMENT INTERRUPTS EXISTING BRANCH CIRCUITS TO REMAIN, PROVIDE NEW CONDUIT AND WIRING AS REQUIRED TO RECONNECT THE EXISTING CIRCUITS.
- ALL MATERIALS AND EQUIPMENT REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE TURNED OVER TO THE OWNER FOR STORAGE OR BE DISPOSED OF BY THE CONTRACTOR AS DIRECTED BY THE OWNER.
- COORDINATE NEW FIXTURE LOCATIONS WITH ARCHITECT'S REFLECTED CEILING PLAN, CEILING CONTRACTOR, BUILDING STRUCTURE, MECHANICAL EQUIPMENT & DUCTWORK LOCATIONS, ETC.
- CONNECT F-1 FIXTURES WITH TWO OUTSIDE LAMPS CONTROLLED BY 3-WAY SWITCHES AND INSIDE LAMP CONTROLLED BY SINGLE POLES SWITCH.
- PROVIDE A SEPARATE NEUTRAL FOR EACH NEW BRANCH CIRCUIT. NEW MULTI-WIRE BRANCH CIRCUITS WILL NOT BE ALLOWED. COMMON NEUTRAL MAY BE USED WHERE REQUIRED TO EXTEND OR RECONNECT EXISTING MULTI-WIRE CIRCUITS.
- PROVIDE AN INSULATED GREEN EQUIPMENT GROUND CONDUCTOR IN EACH NEW RACEWAY WHETHER SPECIFICALLY NOTED OR NOT.
- SECURE NEW CEILING MOUNTED FIXTURES TO NEW CEILING SUPPORT CHANNEL WITH MINIMUM OF FOUR #8 SCREWS. TOGGLE BOLT OR MOLY ANCHORS USING GYPSUM BOARD AS SUPPORT ARE NOT ACCEPTABLE. COORDINATE WITH CEILING CONTRACTOR TO PROVIDE PROPER BACKING FOR FIXTURE SUPPORTS.
- TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO THE EXISTING BUILDING. REPAIR ALL DAMAGE INCURRED BY DEMOLITION AND NEW CONSTRUCTION TO EXACTLY MATCH SURROUNDING SURFACES AND/OR CONDITIONS WITHOUT ADDITIONAL COST TO THE OWNER. COORDINATE REPAIRS WITH THE GENERAL CONTRACTOR.

**KEYED NOTES:**

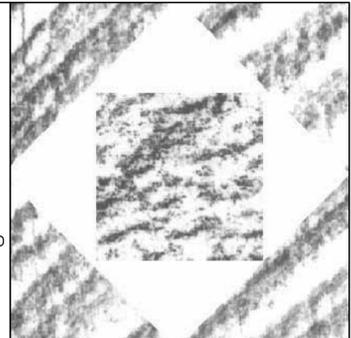
- REMOVE EXISTING 2' x 4', 3 LAMP, LAY-IN FLOURESCENT FIXTURE AND SALVAGE FOR OWNER. PLACE SALVAGED FIXTURES IN STORAGE AT PROJECT SITE AS DIRECTED BY OWNER.
- REMOVE EXISTING EXIT LIGHT WITH BATTERY BACK-UP AND SALVAGE FOR INSTALLATION IN NEW CEILING.
- REMOVE ALL EXISTING BRANCH CIRCUITS FOR EXISTING LIGHTING AS REQUIRED SUCH THAT EXISTING JUNCTION BOXES WILL NOT BE LOCATED ABOVE NEW GYPSUM BOARD CEILING. REMOVE ANY EXISTING JUNCTION BOXES FOR POWER, FIRE ALARM, ETC. FROM EXISTING ACCESSIBLE CEILING SPACE AND RECONNECT EXISTING BRANCH CIRCUITS TO NEW JUNCTION BOXES NOT LOCATED ABOVE NEW GYPSUM BOARD CEILING OR PROVIDE NEW LOCKABLE CEILING ACCESS DOORS FOR ACCESS TO ANY JUNCTION BOXES WHICH REMAIN AS REQUIRED BY NEC 314.29. FIELD VERIFY REQUIREMENTS WITH EXISTING CONDITIONS, CEILING CONTRACTOR AND GENERAL CONTRACTOR.
- EXISTING LIGHTING CIRCUIT INFORMATION IS NOT AVAILABLE FROM EXISTING BUILDING ELECTRICAL PLANS. FIELD VERIFY EXISTING CIRCUITS. FIELD VERIFY EXISTING PANEL AND CIRCUIT NUMBERS. REPLACE EXISTING HOMERUN BRANCH CIRCUIT WIRING IN EXISTING 3/4" CONDUIT WITH NEW WIRING TO INCLUDE SEPARATE NEUTRAL FOR EACH CIRCUIT AND AN INSULATED EQUIPMENT GROUNDING CONDUCTOR.
- EXISTING SWITCHES TO REMAIN. RECONNECT TO CONTROL NEW LIGHTING AS INDICATED.
- REMOVE EXISTING SWITCH AND WIRING. EXISTING OUTLET BOX TO REMAIN FOR INSTALLATION OF NEW SWITCH AS SHOWN ON NEW LIGHTING PLAN.
- REMOVE EXISTING SMOKE DETECTOR FROM EXISTING CEILING. INSTALL IN NEW GYPSUM BOARD CEILING AND RECONNECT EXISTING FIRE ALARM SYSTEM CIRCUITS. PROVIDE TEMPORARY CONNECTIONS AND SUPPORTS AS REQUIRED TO KEEP EXISTING FIRE ALARM SYSTEM COMPLETELY OPERATIONAL THROUGHOUT DEMOLITION AND NEW CONSTRUCTION. CLEAN DETECTORS UPON COMPLETION OF CONSTRUCTION AND TEST FOR PROPER OPERATION. TESTING SHALL BE DONE BY A NICET LEVEL II CERTIFIED FIRE ALARM SYSTEM TECHNICIAN.
- REMOVE EXISTING CCTV CAMERA FROM EXISTING CEILING. INSTALL IN NEW GYPSUM BOARD CEILING. RECONNECT EXISTING CIRCUITS, AND LEAVE IN PROPER WORKING ORDER. FIELD VERIFY REQUIREMENTS WITH OWNER PRIOR TO BEGINNING WORK.
- PROVIDE NEW FIXTURES AND NEW BRANCH CIRCUIT WIRING ON NEW GYPSUM BOARD CEILING AS INDICATED. SECURE FIXTURES TO CEILING SUPPORT METAL CHANNELS WITH FOUR SCREWS OF PROPER SIZE. TOGGLE BOLT OR MOLY ANCHORS ARE NOT ACCEPTABLE. CONNECT OUTBOARD LAMPS TO 3-WAY SWITCHES. CONNECT INBOARD LAMP TO SINGLE POLE SWITCH.
- INSTALL EXIT LIGHT WITH BATTERY BACK-UP SALVAGED FROM DEMOLITION. PROVIDE NEW OUTLET BOX AND BRANCH CIRCUIT AS INDICATED.
- EXISTING FIXTURE AND CIRCUIT TO EXISTING EMERGENCY PANEL 'E' TO REMAIN. EXTEND EXISTING EMERGENCY CIRCUIT TO EXIT LIGHT AND FIXTURE IN AREA OF REMODEL AS INDICATED. FIELD VERIFY REQUIREMENTS. FIRE SEAL NEW CONDUIT PENETRATION THROUGH EXISTING CORRIDOR WALL.
- PROVIDE MINIMUM 1100 LUMEN EMERGENCY BATTERY PACK EQUAL TO BODINE B50 IN FLUORESCENT FIXTURES INDICATED. CONNECT BATTERY PACK AND INBOARD LAMP OF EMERGENCY FIXTURE TO THE UNSWITCHED EMERGENCY LIGHT BRANCH CIRCUIT. CIRCUIT AND SWITCH OUTBOARD LAMPS WITH GENERAL ROOM LIGHTING.
- EXISTING FIXTURES, SWITCH, ETC. IN STORAGE ROOM TO REMAIN. RECONNECT EXISTING CIRCUIT AS INDICATED.
- PROVIDE NEW LEVITON 5641 COMBINATION DEVICE WITH SINGLE POLE AND THREE-WAY SWITCH, AND NEW COVERPLATE IN EXISTING OUTLET BOX. MATCH COLOR OF EXISTING SWITCHES.



**B2 PARTIAL LEVEL 2 ELECTRICAL DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



**A2 PARTIAL LEVEL 2 NEW ELECTRICAL PLAN**  
SCALE: 1/8" = 1'-0"



**HFSArchitects**  
ARCHITECTURE  
INTERIORS  
PLANNING  
1484 South State  
Salt Lake City, Utah 84115  
801-596-0631/F: 596-0693  
www.hfsa.com

CONSULTANT  
**ELECTRICAL**  
THOMAS & KOLKMAN ENG. CO. INC.  
64 West 1700 South  
Salt Lake City, Utah 84115  
801-484-8161/ F. 484-3538

**Staff Restroom Upgrades  
to the Bonneville & Fremont  
Community Correctional Centers**  
Utah Department of Corrections  
Bonneville - 1141 S. 2475 W.  
Fremont - 2588 W. 2365 S.

MARK	DATE	DESCRIPTION

DATE: 19 MARCH, 2010  
AGENCY PROJECT NO: 09199120  
HFSa PROJECT NO: 1004.01  
CAD DWG FILE NO: E-101.dwg  
DRAWN BY: W.B.G.  
CHECKED BY: R.G.K.  
DESIGNED BY: W.B.G.  
DWG TYPE: ELECTRICAL  
ARCHITECTURAL PHASE:  
**CONSTRUCTION DOCUMENT BID SET**  
SHEET TITLE

**ALTERNATE #1  
ELECTRICAL PLANS  
LEVEL 2  
E-101**