



State of Utah

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Lt. Governor

Department of Administrative Services

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Executive Director

Division of Facilities Construction and Management

DAVID G. BUXTON
Director

Addendum No. 1

Date: March 6, 2013

To: Contractors

From: Matthias Mueller – Program Director

Reference: Bachelor Enlisted Quarters Facility
Utah National Guard – Camp Williams, Utah
DFCM Project No. 10281480

Subject: **Addendum No. 1**

Pages	Addendum Cover Sheet	4 pages
	<u>Architect's Pre-Bid Phase I Information</u>	<u>15 pages</u>
	Total	19 pages

Note: This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to Disqualification.

1.1 SCHEDULE CHANGES: There are no Project Schedule changes.

1.2 RFP FOR CONSTRUCTION SERVICES:

1.2.1 Description of Work – Introduction - Add the following paragraph:
“This is a LEED project and is required to be LEED Silver certified.”

1.2.2 Description of Work – Special Requirement - Delete the existing paragraph in the RFP and replace it with the following:

“Bid Bonds

A. All subcontractors providing bids to the Contractor for labor either with or without materials the total value of which is \$250,000 or more, must provide with their bid, a bid bond to the General Contractor for 5% of the bid amount. The bid bond shall be the latest AIA form and the bonding company shall have done a complete qualifying review – the financial underwriting shall be proven – of the subcontractor.

- B. All subcontractors providing bids to the Contractor for labor either with or without materials the total value of which is less than \$250,000 but \$100,000 or more, must provide with their bid, a bid bond to the General Contractor for 5% of the bid amount. The bid bond shall be the latest AIA form and the bonding company may perform a quicker, credit-based approach qualifying review customary in the industry for small bond users.
- C. All bid bonds shall be secured from a U.S. Treasury 570 listed surety company authorized to do business in the State of Utah. All subcontractors shall be deemed nonconforming and noncompliant who furnish anything (e.g. a letter from the subcontractor's surety, a check for 5% of the subcontractor's bid amount, cash, etc.) in lieu of the latest AIA Bid Bond Form at the time they submit their bid. Short-listed General Contractors shall provide copies of the applicable subcontractor's bid bonds to DFCM at the time required by the Project Schedule for them to submit their list of subcontractors.
- D. Notwithstanding any other provision of these special requirements, and to the extent allowed by law, the bid bond may name multiple General Contractors or all General Contractors to whom the principal is submitting bids."

1.3 SUPPLEMENTAL GENERAL CONDITIONS

- 1.3.1 In addition to the current DFCM Supplemental General Conditions, that are available on the DFCM web site, the following shall also apply:
 - A. The contract documents prepared by the AE include a submittal schedule. Should the Contractor fail to deliver the first submittal of shop drawings, product data, and samples by the deadline identified in the schedule, there shall be deducted from any amount due or that may become due under the Contract, a sum of \$100 per calendar day per submittal for each and every calendar day beyond said deadline. For each and every resubmittal, the resubmittal shall be furnished to the AE no later than 14 calendar days from the date that the submittal was returned by the AE, otherwise, the above stated rate shall be reapplied. It is understood that the Contractor may pass this deduction on to the applicable subcontractor(s). The damages are due the DFCM by reason of inconvenience and added costs of administration, engineering, supervision, delay of the project for the Owner/User, and other costs resulting from the Contractor's default. The damages are not a penalty and shall not prevent DFCM from maintaining other claims related to this Agreement.
 - B. During construction of the project, the Owner and/or Contractor will be holding mandatory pre-construction or coordination meetings. Any and each subcontractor required to attend such a meeting who fails to attend, shall be assessed a \$1,000 amount per meeting missed. This amount shall be deducted from any amount due or that may become due to the Contractor. It is understood that the Contractor may pass this deduction on to the applicable subcontractor(s). The damages are due the DFCM by reason of the inconvenience and added costs of administration, engineering, supervision, delay of the project for the Owner/User, and other costs resulting therefrom. The damages are not a penalty and shall not prevent DFCM from maintaining other claims related to this Agreement.

1.4 QUESTIONS/ANSWERS:

- 1.4.1 Question: Will a schematic plan of the existing utilities be issued prior to contractor shortlisting?
Answer: No.
- 1.4.2 Question: Can Academy Street be closed from Camp Williams Ave to Oregon Ave for the duration of construction?
Answer: Yes.
- 1.4.3 Question: Can 2nd Street be extended from Camp Williams Ave to Oregon Ave to allow for a detour while Academy Street is temporarily closed during the construction duration of the project?
Answer: Yes.
- 1.4.4 Question: Is the construction of the project required to comply with Department of Defense (DOD) antiterrorism standards for buildings and has this requirement been incorporated into the contract documents?
Answer: Yes and yes.
- 1.4.5 Question: Will contractors be given more consideration if they have extensive experience with the antiterrorism standards?
Answer: Points for experience will be awarded by the selection committee as stated in the Selection Criteria section of the RFP under the heading of "Strength of Contractor's Team." A given team's specific project type experience reflects positively for the team.
- 1.4.6 Question: Is the procurement of the project going to be in compliance with the federal acquisition regulations?
Answer: No. The project will be procured using the applicable State of Utah regulations.
- 1.4.7 Question: Is the project required to use WDOL wage rates and will this be verified on site and during construction with certified payroll and onsite inspections and audits?
Answer: No and no.
- 1.4.8 Question: Does the project include any SCIF areas required to comply with ICD/ICS 705?
Answer: No.
- 1.4.9 Question: Does the project reference federal standards such as the unified Facilities Criteria and the Unified Facilities Guide Specifications?
Answer: Any such references have already been designed into the project.
- 1.4.10 Question: Is the project design in BIM compatible software and will the electronic files be given to the successful contractor for use during construction?
Answer: Yes.
- 1.4.11 Question: Can we have access to the CAD files during the proposal phase in order to use them for our proposals and interview presentations?
Answer: No.
- 1.4.12 Question: Has the project been designed to according to progressive collapse requirements?
Answer: Yes.

- 1.4.13 Question: Are the liquidated damages excessive?
Answer: The liquidated damages shall be \$2,000 per calendar day.
- 1.4.14 Question: Because schematic drawings for the project were made available about a week after the mandatory registry meeting, will there be any extension of the date for submitting proposals?
Answer: No, because the schematic documents are very rudimentary.
- 1.4.15 Question: Will the schematic drawings include information for the existing utilities?
Answer: No.
- 1.4.16 Question: Will five or six buildings be demolished and please identify them?
Answer: There are six buildings that shall be demolished. The buildings are 8040, 8050, 8060, 8070, 8080, and 8090.
- 1.4.17 Question: Have the buildings scheduled for demolition been surveyed for hazardous materials? Have those that have tested positive been abated?
Answer: The hazmat survey and any needed abatement will be conducted by the Guard and DFCM.
- 1.4.18 Question: Will a copy of the geotech report be furnished prior to shortlisting?
Answer: No.

1.5 **ARCHITECT'S PRE-BID PHASE I INFORMATION:** Attached to this addendum is a schematic report regarding the project. This report is not part of the Contract Documents that will be issued at a later date. The schematic report contains limited project information that is not intended to define the project in sufficient detail for Contractor's to prepare bids. DFCM does not warrant the report.



Bachelor Enlisted Quarters Facility

Camp Williams
Utah National Guard/DFCM
2/27/13

Rendering from the northeast

NOT FOR BIDDING OR CONSTRUCTION

Aerial Photograph – Camp Williams

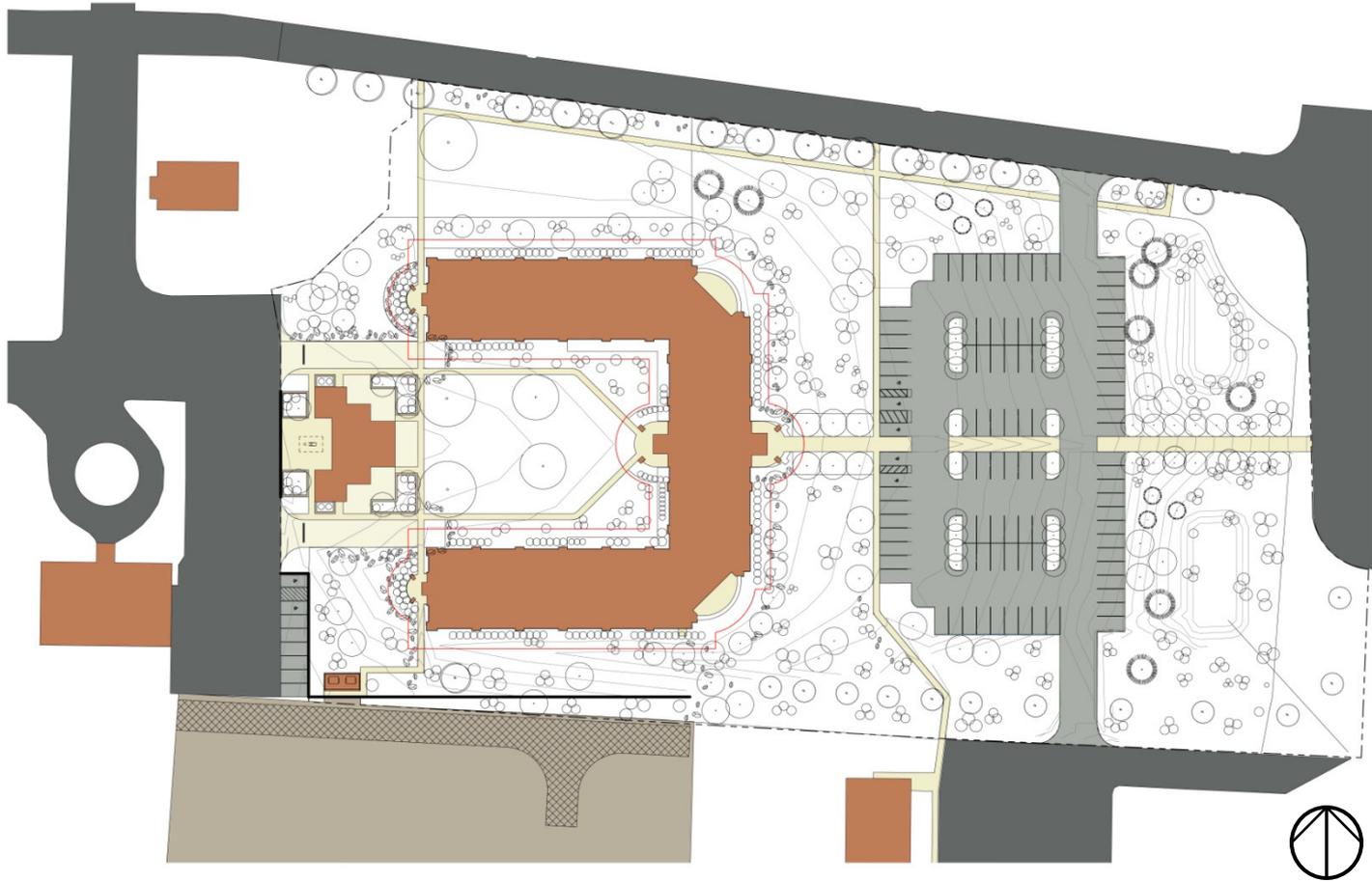


Aerial Photograph- Existing Site

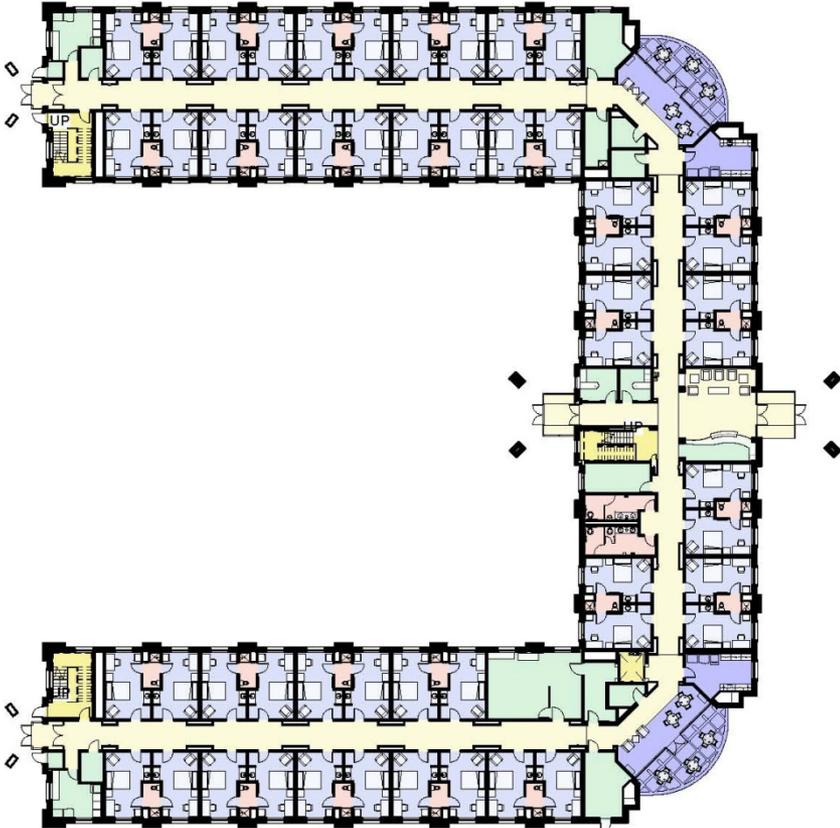


NOT FOR BIDDING OR CONSTRUCTION

Site Plan



Floor Plans – level 1



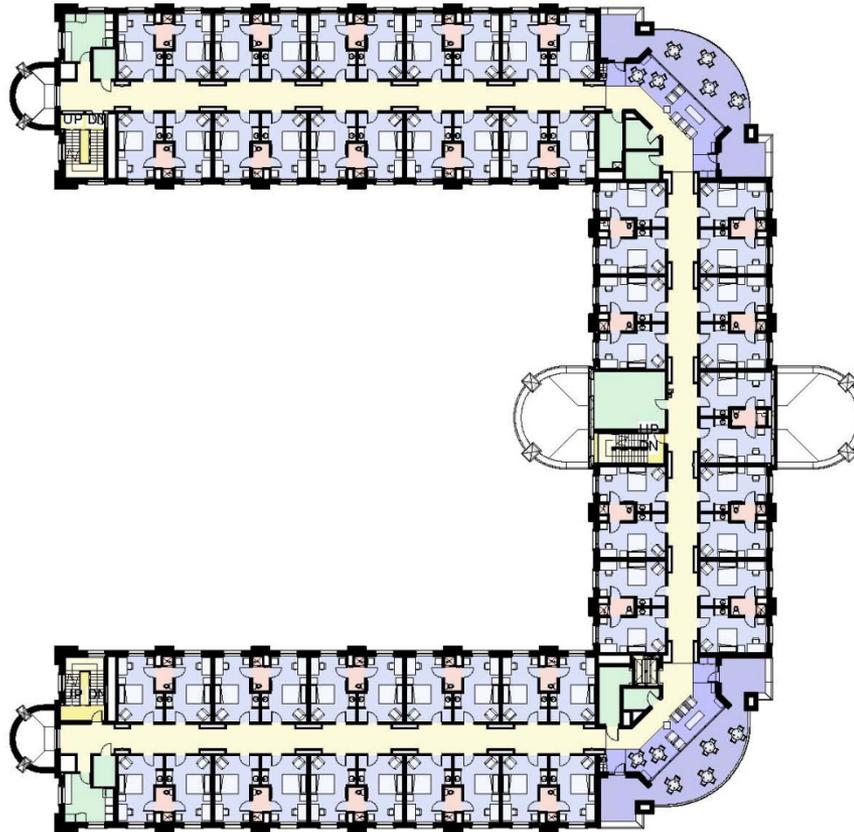
Rooms

- Billet
- Chase
- Circulation
- Day Room
- Elevator
- House Support
- Latrine
- Stair

1 1ST LEVEL
1/32" = 1'-0"



Floor Plans – level 2



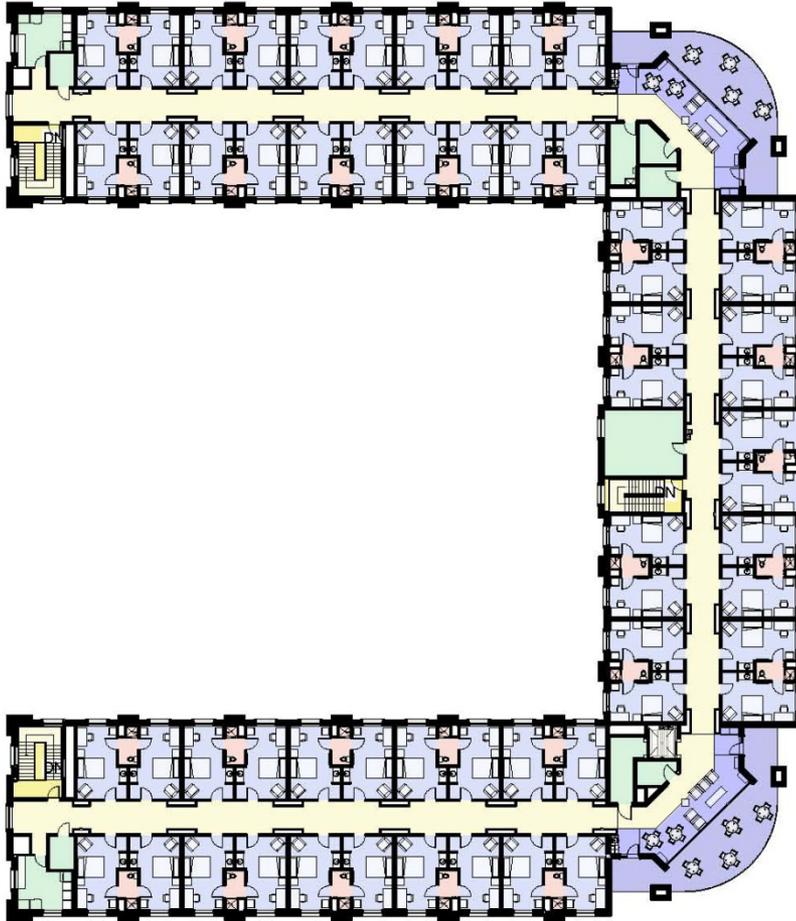
Rooms

- Billet
- Chase
- Circulation
- Day Room
- Elevator
- House Support
- Latrine
- Stair

2 2ND LEVEL
1/32" = 1'-0"



Floor Plans – level 3



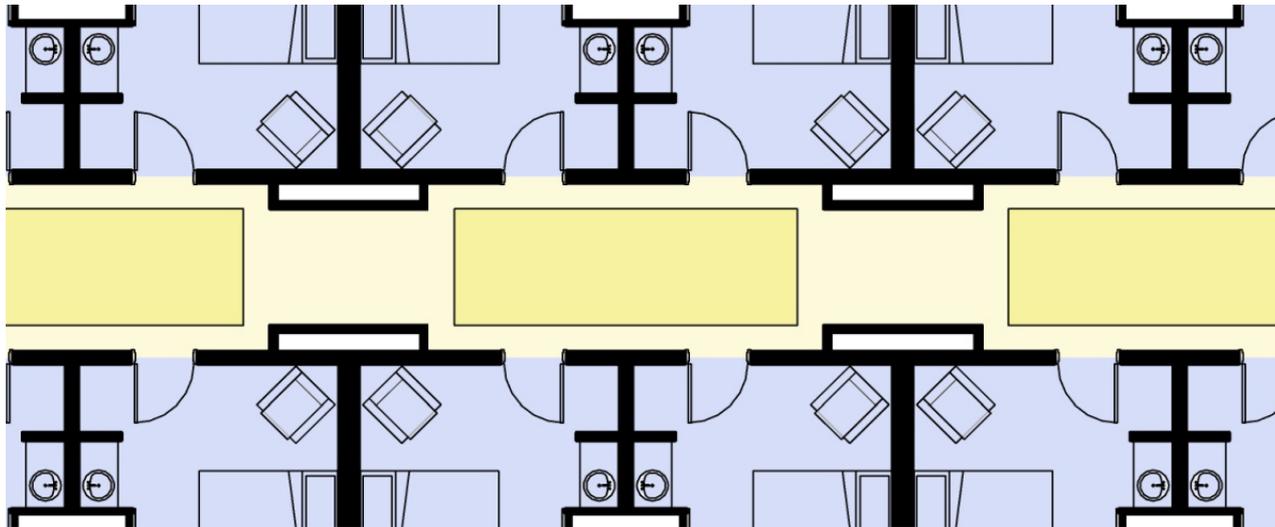
Rooms

-  Billet
-  Chase
-  Circulation
-  Day Room
-  Elevator
-  House Support
-  Latrine
-  Stair

3 3RD LEVEL
1/32" = 1'-0"



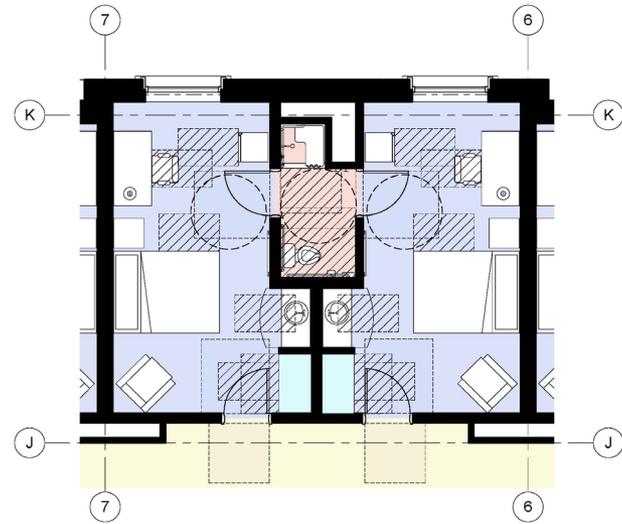
Billet details



Corridor Plan Detail

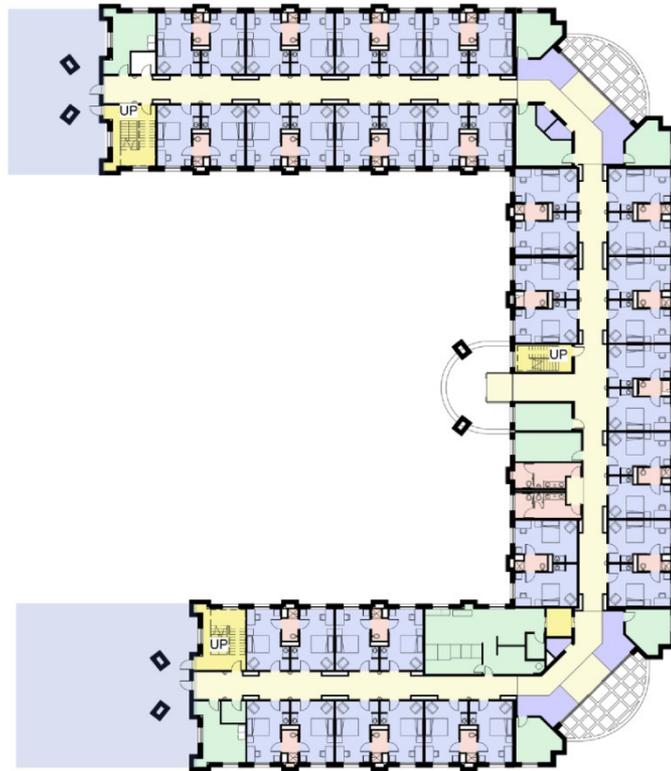


Corridor Rendering



Typical Billet Plan Detail

Floor Plans – Base Bid



Rooms

- Billet
- Circulation
- Day Room
- Elevator
- House Support
- Latrine
- Stair

Alternate Bid Diagram – Base Bid

This diagram shows the base bid for the BEQ.

132 Billets

71,845GSF

Note: the light blue area indicates future alternates

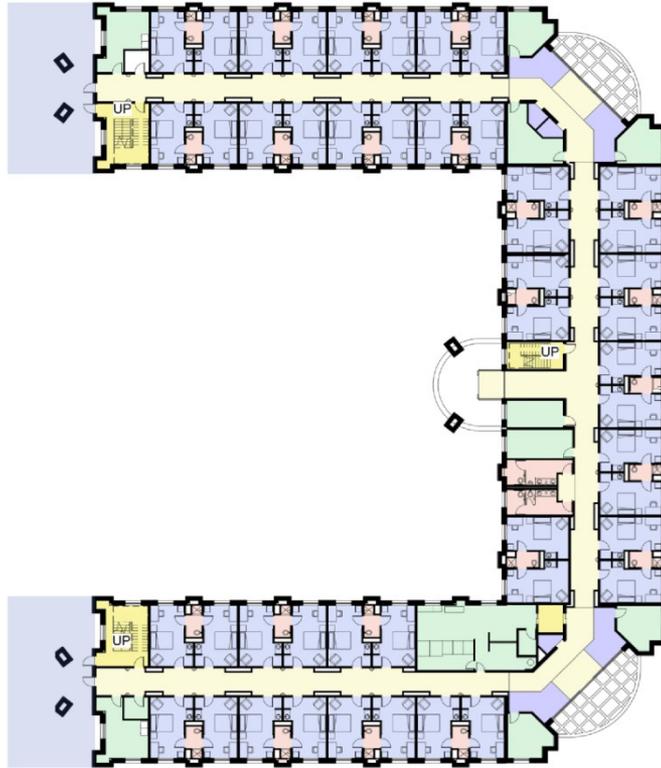
***ASSUMPTIONS:**

COSTS INDICATED ARE BEFORE THE CONTINGENCY

ALLOWANCE AND SUPERVISION, INSPECTION AND OVERHEAD.

Cost estimates assume bidding the project by March 2013

Floor Plans – Alternate No.1



Rooms

-  Billet
-  Circulation
-  Day Room
-  House Support
-  Latrine
-  Stair

Alternate Bid Diagram – Alternate No.1

This diagram shows the BEQ configuration for Alternate no.1

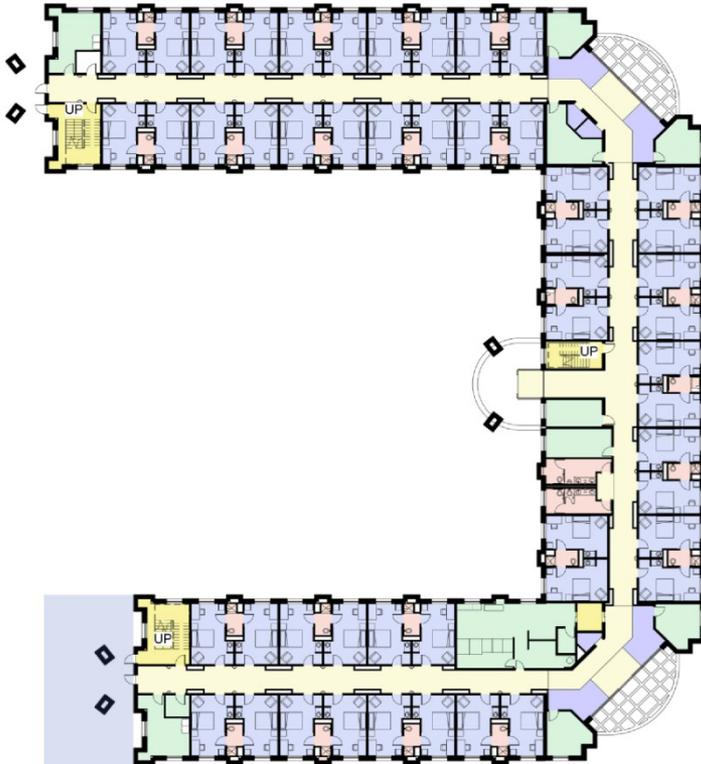
144 Billets

76,253 GSF

***ASSUMPTIONS:**

COSTS INDICATED ARE BEFORE THE CONTINGENCY ALLOWANCE AND SUPERVISION, INSPECTION AND OVERHEAD. Cost estimates assume bidding the project by March 2013

Floor Plans – Alternate No.2* and No.3



**Note: Alt 2 is for solar hot water panels*

Rooms

- Billet
- Circulation
- Day Room
- Elevator
- House Support
- Latrine
- Stair

Alternate Bid Diagram – Alternate No.3

This diagrams shows the BEQ configuration for Alternate no.3

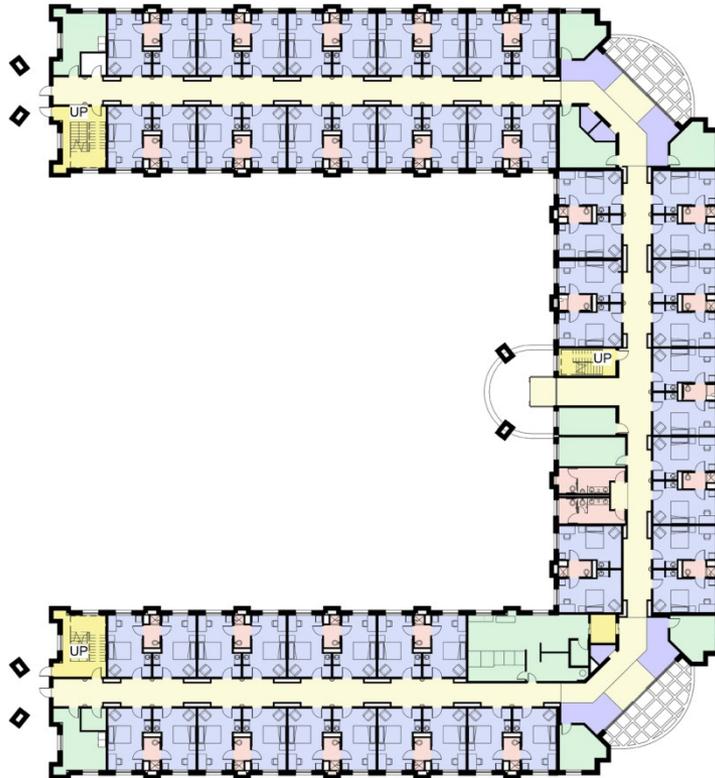
156 Billets
80,661 GSF

Note: Construction cost includes Alt 1, Alt 3 and Alt 2 (for solar hot water panels).

***ASSUMPTIONS:**

COSTS INDICATED ARE BEFORE THE CONTINGENCY ALLOWANCE AND SUPERVISION, INSPECTION AND OVERHEAD. Cost estimates assume bidding the project by March 2013

Floor Plans – Alternate No.4



Rooms

- Billet
- Circulation
- Day Room
- Elevator
- House Support
- Latrine
- Stair

Alternate Bid Diagram – Alternate No.4

This diagrams shows the BEQ configuration for Alternate no.4

168 Billets

85,064 GSF

Note: Includes costs for Alt1, Alt2, Alt 3 and Alt 4.
 Alternates 1 thru 3 must be taken prior to
 Alternate 4

ASSUMPTIONS:

COSTS INDICATED ARE BEFORE THE CONTINGENCY ALLOWANCE AND SUPERVISION, INSPECTION AND OVERHEAD. Cost estimates assume bidding the project by March 2013



Rendering from the northwest

NOT FOR BIDDING OR CONSTRUCTION



Billet Interior Rendering



Day Room Interior Rendering



Day Room Exterior Deck Rendering

NOT FOR BIDDING OR CONSTRUCTION