



State of Utah

GARY R. HERBERT
Governor

SPENCER J. COX
Lt. Governor

Department of Administrative Services

KIMBERLY K. HOOD
Executive Director

Division of Facilities Construction and Management

ERIC R. THOLEN
Director

Addendum No. 1

Date: June 16, 2016

To: Contractors

From: Mike Ambre – Project Manager, DFCM

Reference: Executive Business Education Building
University of Utah
DFCM Project No. 15365750

Subject: **Addendum No. 1**

Pages	Addendum Cover Sheet	1 page
	Revisions to the RFP	3 pages
	<u>Project Site Information</u>	<u>9 pages</u>
	Total	13 pages

Note: This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to Disqualification.

1.1 SCHEDULE: There are no project schedule changes.

1.2 GENERAL ITEMS:

1.2.1 Revisions to the Request for Proposal

1.2.2 Project Site Information

Revisions to the Executive Business Education Building Request for Proposal dated June 3, 2016

1. Page 3 where stated;

The Request for Proposals (RFP) documents, including the selection requirements and the selection schedule, will be available at 4:00 PM on Friday, February 18, 2016 on the DFCM web page at <http://dfcm.utah.gov>.

Shall be replaced with;

The Request for Proposals (RFP) documents, including the selection requirements and the selection schedule, will be available at 1:00 PM on Friday, June 3, 2016 on the DFCM web page at <http://dfcm.utah.gov>.

2. Page 5 where stated;

Please review the attached study for more detail regarding site location options, square footage and cost estimates. The scope of the project has evolved to a smaller budget in anticipation of simpler and efficient design. Additionally, it has been assumed that the adjacent building (Milton Bennion Hall) will be removed or incorporated into the project assuming the adjacent sites are selected.

Shall be replaced with;

The demolition and removal of Milton Bennion Hall will be included as part of this project. Please reference attached documents for additional project information regarding scope and location.

3. Page 5 where stated;

Project Risk Factors

- Significantly fewer funds appropriated compared to the feasibility study
- Location has not been selected yet
- Existing utilities in and around selected site
- The ability to increase capacity to the central plant
- Inaccurate estimates through pre-construction
- Tight schedule

Shall be replaced with;

Project Risk Factors

- Significantly fewer funds appropriated compared to the feasibility study
- Existing utilities in and around selected site
- The ability to increase capacity to the central plant
- Inaccurate estimates through pre-construction
- Tight schedule

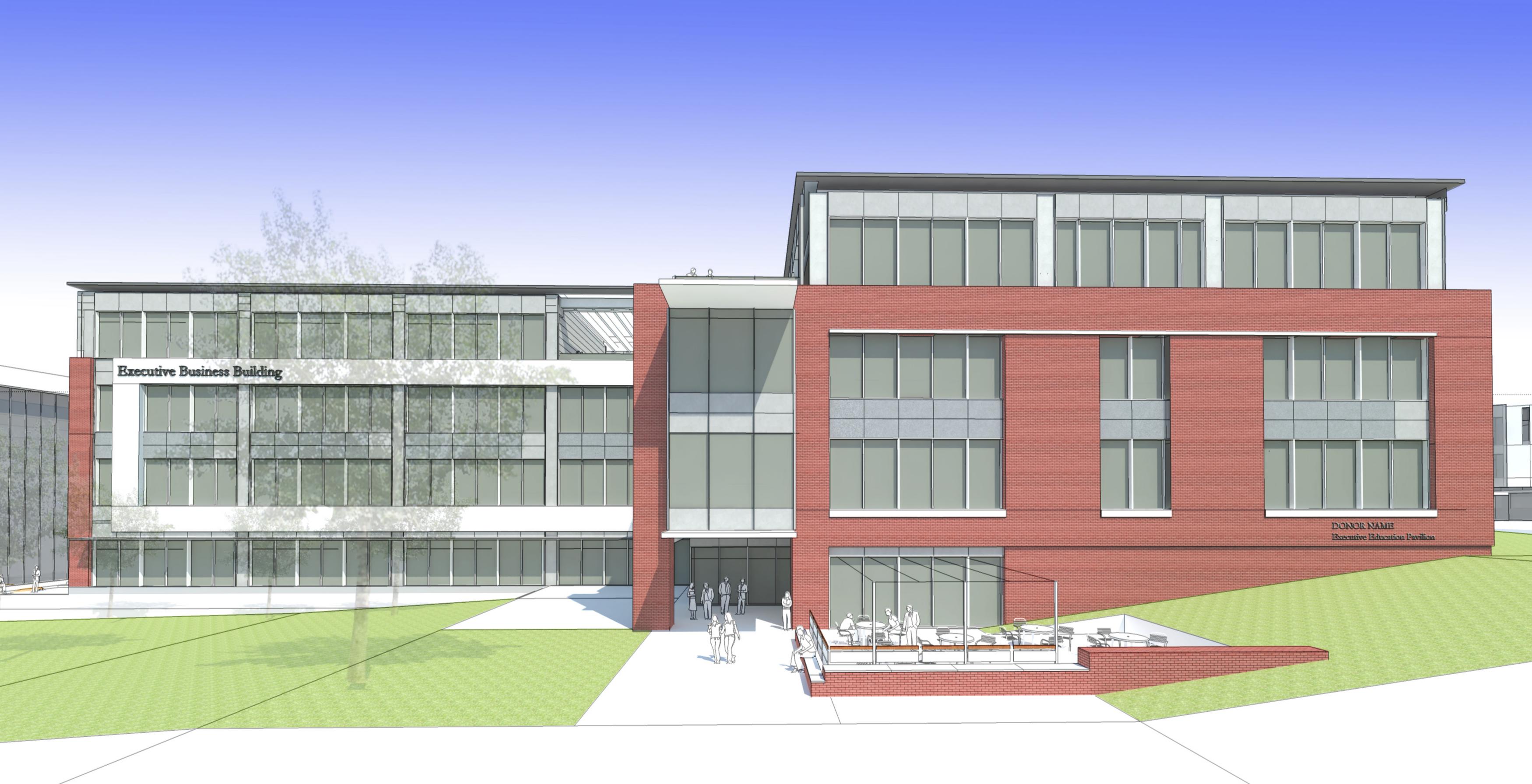
4. Page 11, section 13-E should be revised to the following;

- E. **Temporary Construction Cost** (General Conditions). The CM/GC shall be compensated for temporary construction costs (commonly referred to in the industry as "general, conditions") and reimbursed at actual cost incurred up to the line item amount for such costs in the approved GMP. The total amount of the Temporary Construction Costs shall not exceed the amount submitted in the Cost Proposal Form. Temporary Construction Costs means such items, to the extent used and necessary for the construction of the Project:

Office Trailer
Storage Trailer
Conex/Van Storage 20'
Project Sign
Mobilization/ Demobilization
Security Equipment or Video Monitoring (Basic Security)
Telephone Service per line
Cell Phones per Person
DSL Line
BIM 360 (iPads, equipment)
BIM 360 (Software, fees, ets)
Computer/Software/Network/Email/License/Server/Maintenance
Copier/Fax/Scanner
Office Furnishings
Office Supplies
Primavera Schedule Software
Prolog Manager Software
Project Collaboration Software Website (Unifier,etc.)
Chemical Toilets
Banners
Water Cooler & Water
Water/Thermos/Ice/Cups
Jobsite Radio Communications
Progress Clean-Up
Safety Training
Safety Awards
Safety & Productivity Incentives
First Aid/Safety Supply
Bulletin Board & Safety Signs/all Safety Supplies
Drug Testing
PPE (personal safety equipment)
Fire Extinguishers
Small Tools

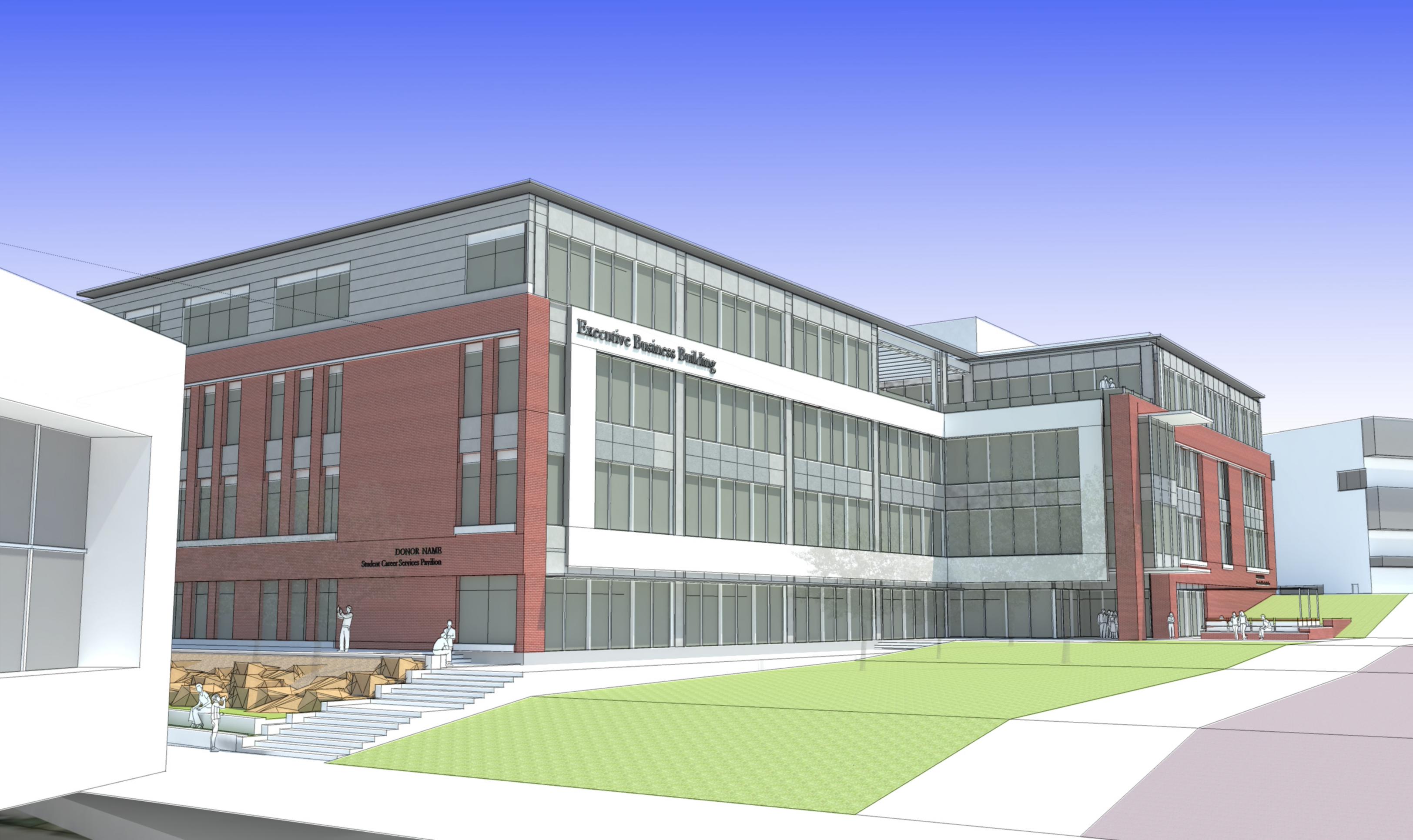
Pick-Up Truck
Pick-up/Equip Gas, Oil, & Repairs
Submittals Expressage/Shipping
Progress Photos
As-Built Drawings & O&M manuals
Electronic Contract Document Storage
Punchlist Administration
LEED Management

5. BIM requirements for this project will be identified in the next addendum.



Executive Business Building

DONOR NAME
Executive Education Pavilion



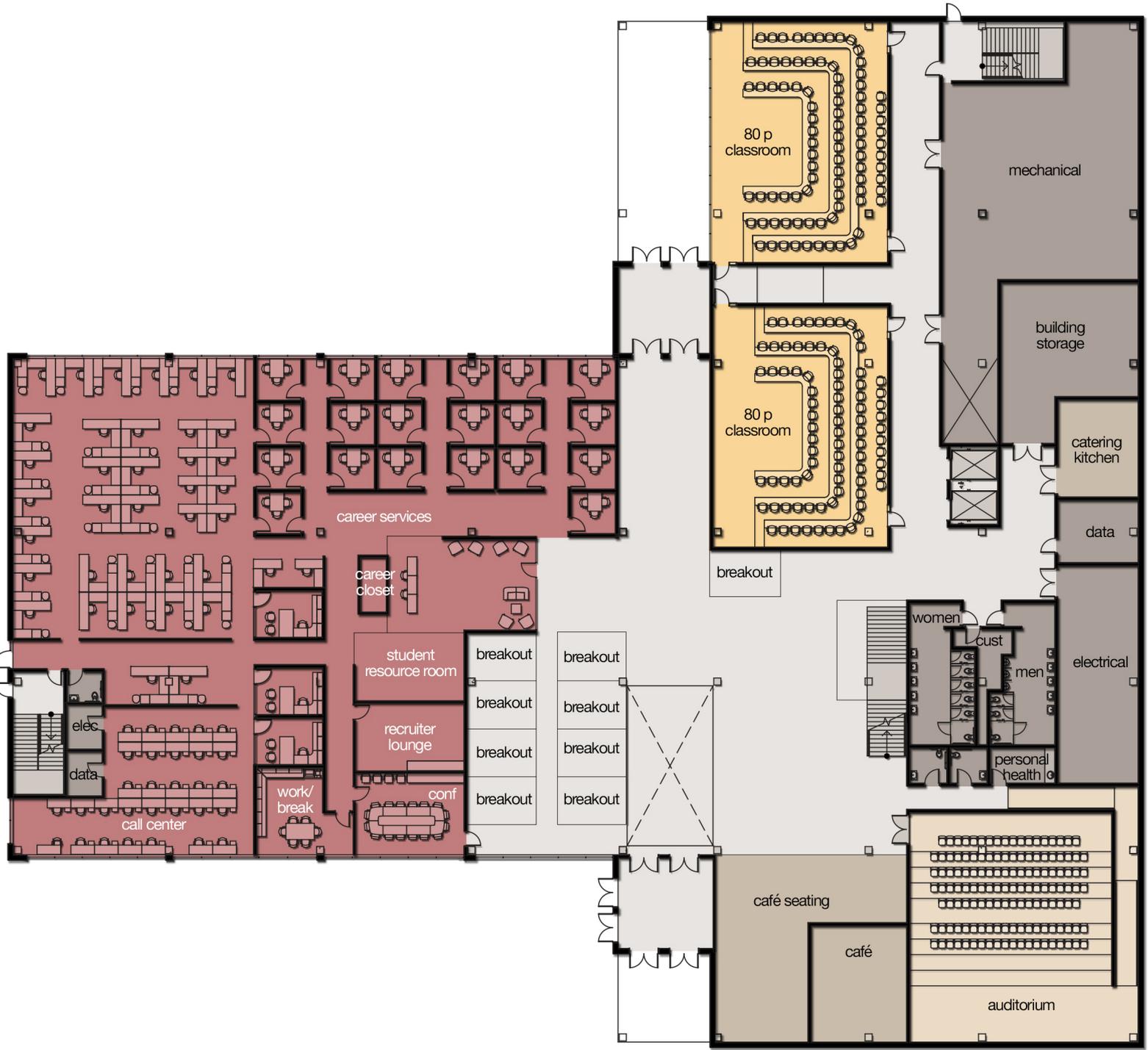
Executive Business Building

DONOR NAME
Student Career Services Pavilion

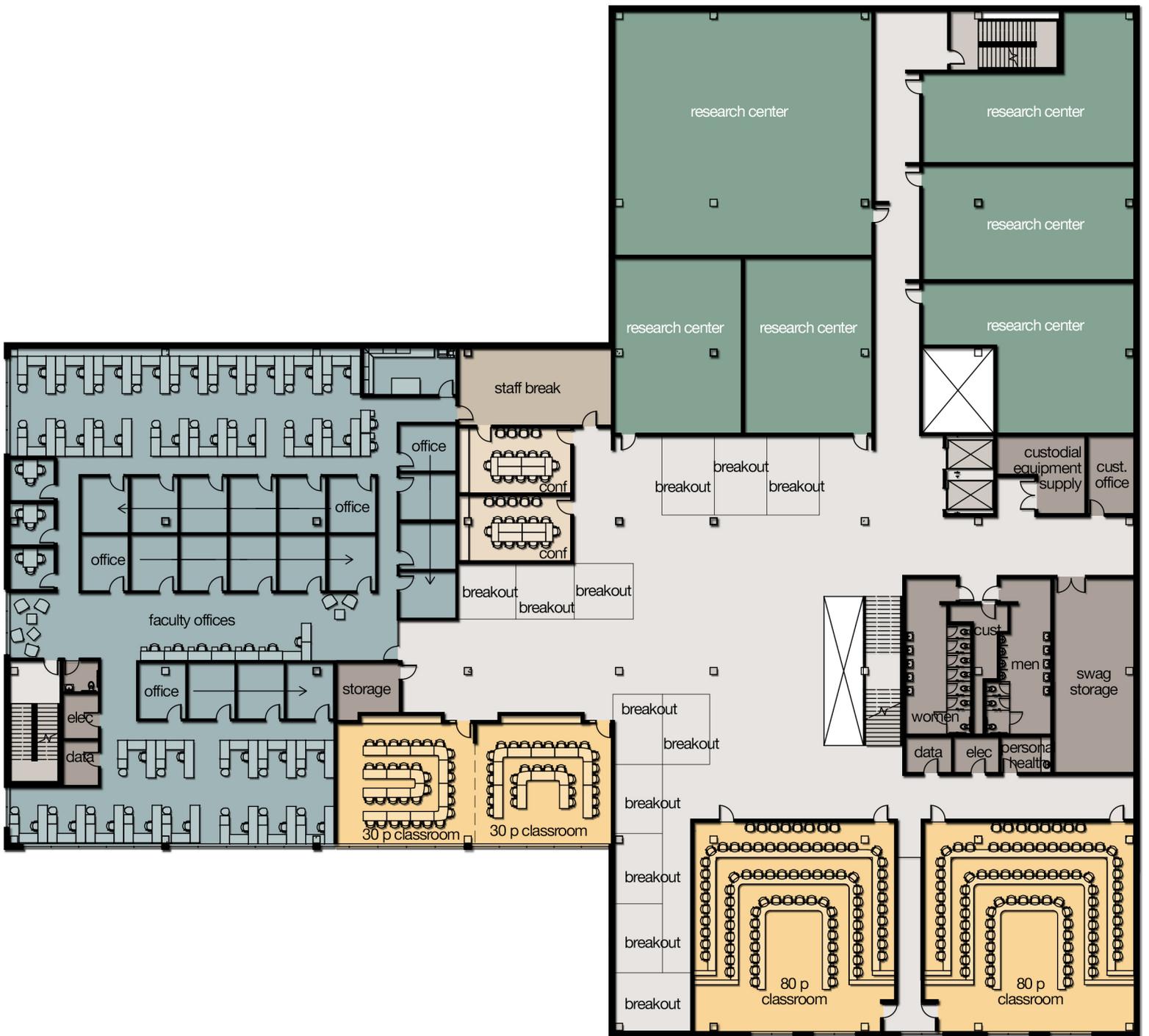
Legend

- 1 existing Spencer Eccles Business Building
 - 2 central park structure
 - 3 existing Sorenson Art and Ed Building
 - 4 ada access
 - 5 steps
 - 6 red sandstone retaining walls
 - 7 red sandstone benches to match retaining walls, on same grid as retaining walls and into the existing grove of trees
 - 8 score pattern in the hardscape created by retaining walls and benches
 - 9 patio with movable table and chairs
 - 10 bike racks
 - 11 utility yard
 - 12 drop off and pickup
 - 13 rock mulch detention basin
 - 14 future building expansion
 - 15 existing large specimen tree
 - 16 existing tree grove
 - 17 columnar trees in planting bands and rock mulch mimicking sandstone wall layout
-  building entrances







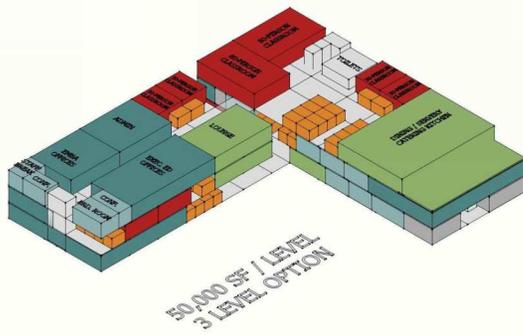




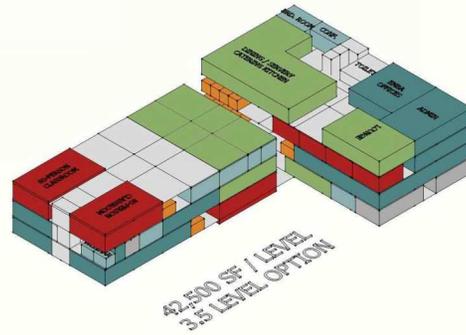
EBEB CONCEPT DEVELOPMENT COMPARATIVE MATRIX

	CONCEPT A (3 Levels)		CONCEPT B (3.5 Levels)		CONCEPT C (4 Levels)		CONCEPT D (5 Levels)	
AREA								
Total Levels	3		3.5		4		5	
Net (Sqft)	100,000		100,000		100,000		100,000	
Non-Net SF	50,000		50,000		50,000		50,000	
SF per Floor	50,000		42,500		37,500		30,000	
Gross Factor	67%		67%		67%		67%	
Total Gross SF	150,000		150,000		150,000		150,000	
Total Bldg Perimeter Length (LF)	1,160		1,030		950		800	
Total Exterior Skin - Bldg Surface Area (SF)	52,200		54,000		54,960		59,400	
INITIAL CONSTRUCTION COSTS								
Footings	\$1,125,000	\$7.50	\$1,162,500	\$7.75	\$1,200,000	\$8.00	\$1,275,000	\$8.50
Structure	\$4,950,000	\$33.00	\$5,025,000	\$33.50	\$5,100,000	\$34.00	\$5,250,000	\$35.00
Exterior	\$3,301,650	\$22.01	\$3,453,000	\$23.02	\$3,605,250	\$24.04	\$3,795,000	\$25.30
Roofing	\$400,000	\$2.67	\$345,000	\$2.30	\$300,000	\$2.00	\$240,000	\$1.60
Interior Finishes	\$5,250,000	\$35.00	\$5,250,000	\$35.00	\$5,250,000	\$35.00	\$5,250,000	\$35.00
Conveying	\$420,000	\$2.80	\$420,000	\$2.80	\$420,000	\$2.80	\$525,000	\$3.50
Specialties	\$300,000	\$2.00	\$300,000	\$2.00	\$300,000	\$2.00	\$300,000	\$2.00
Mechanical	\$6,900,000	\$46.00	\$6,675,000	\$44.50	\$6,450,000	\$43.00	\$6,000,000	\$40.00
Fire Protection	\$525,000	\$3.50	\$507,000	\$3.38	\$487,500	\$3.25	\$450,000	\$3.00
Electrical	\$5,100,000	\$34.00	\$4,950,000	\$33.00	\$4,800,000	\$32.00	\$4,500,000	\$30.00
Soft Costs	\$2,120,374	\$14.14	\$2,107,500	\$14.05	\$2,093,456	\$13.96	\$2,068,875	\$13.79
Total Construction Cost	\$30,392,024	\$202.62	\$30,195,000	\$201.30	\$30,006,206	\$200.05	\$29,653,875	\$197.69

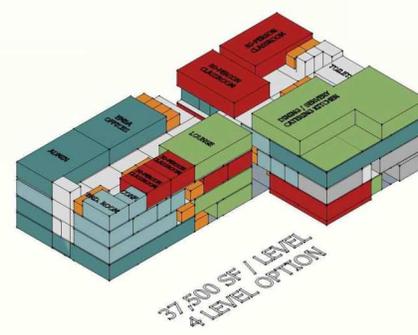
3 LEVEL OPTION



3.5 LEVEL OPTION



4 LEVEL OPTION



5 LEVEL OPTION

